

MEMORANDUM

TO: City Planning Commission, Committee of the Whole
FROM: Shanna Sether, Senior City Planner, (612) 673-2307
DATE: June 30, 2016
SUBJECT: White Castle, 600 Central Ave NE (proposed address)

SITE DATA

Existing Zoning	C2 Neighborhood Corridor Commercial District UA University Area Overlay District
Lot Area	28,248 square feet / .648 acres
Ward(s)	3
Neighborhood(s)	Marcy-Holmes Neighborhood Association, adjacent to Nicollet Island-East Bank Neighborhood Association
Designated Future Land Use	Commercial
Land Use Features	Activity Center (East Hennepin) Commercial Corridor (Central Avenue NE) Community Corridor (East Hennepin)
Small Area Plan(s)	Marcy-Holmes Neighborhood Master Plan (2003) Central Area Small Area Plan (2008)

The existing block bound by Central Ave NE, 6th St SE, East Hennepin Ave and 7th St SE has an existing mixed use building, a storefront commercial building, a fast food restaurant (White Castle) and an automobile convenience facility (Holiday). The proposed project would require the demolition of all of the existing structures and the applicant would subdivide the block into two parcels. Parcel A would be for a new Holiday station store, with a car wash in a separate building. Parcel B would be for a new White Castle with a drive-through facility. The properties would have cross access easements to allow for shared access for vehicle and delivery/loading truck circulation.

PROJECT DESCRIPTION

Proposed Parcel B would be for a new fast-food restaurant with a drive-thru, outdoor seating and customer parking lot, centered on the site. A fast-food restaurant is only allowed as a conditional use in the C2 District where there is at least 660 feet of continuous C2, C3S, C4 or industrial zoning fronting along the same side of the street as the fast food restaurant, without interruption by a residence, office

residence, C1, C3A or Pedestrian Oriented Overlay District. The subject property has over 660 feet of continuous C2 and I1 zoning along East Hennepin Ave. The new 2,865 square foot restaurant would be located up to the corner at Central Avenue NE and 6th St SE. There would be a pedestrian entrance facing Central Ave NE and the dining room at the front of the restaurant. The proposed exterior building materials would be a combination masonry stone and brick veneer. There is one existing pylon sign on the property and the applicant is proposing to remove the existing sign to allow for two freestanding signs. The building would also have a three wall signs, attached to the wall that extends above the roof and would face north towards the parking area, west towards Central Ave NE and south towards 6th St SE.

The applicant is proposing to add one loading space at the rear of the proposed building and a 12-space parking lot at the center of the site. Staff has concerns with having the pedestrian access from the parking area to the front door of the building through the drive-through exit lane. If this condition cannot be avoided, staff would prefer to see significant pedestrian safety improvements such as an elevated walkway and crosswalk paint to clearly identify the pedestrian access. The site does appear to be missing the required off-street bicycle parking. The minimum bicycle requirement for a fast-food restaurant is three spaces where at least one space meets the minimum short-term requirement. The Preliminary Development Review report, with Public Works comments, is attached to this memorandum.

The minimum landscape requirement is 4,894 square feet and the applicant has provided 5,536 square feet. The minimum tree and shrub requirement for the site is 10 and 49, respectively. The proposed landscape plan shows 6 canopy trees and 41 shrubs. All four of the proposed building walls face a public street or an on-site parking area and require a minimum of 30% windows. The applicant has shown elevation drawings showing that the proposed building meet this requirement on one of four facades; facing Central Ave NE. The applicant will be seeking alternative compliance for the following site plan review requirements:

- Minimum shrubs and canopy trees – both for overall quantity and one tree per 25 feet of parking lot frontage along East Hennepin Ave.
- Screening of the loading area.
- Minimum windows facing north, east and south.

APPLICATIONS

Based on staff's preliminary review, the following land use applications have been identified:

- Conditional use permit to allow for a new fast-food restaurant.
- Variance to increase the number of freestanding signs from one to two.
- Variance to increase the maximum height of two freestanding signs from 8 feet to approximately 10 feet.
- Site plan review.

Additional applications may be required, depending on the plans that the applicant formally submits.

APPLICABLE POLICIES

Staff has identified the following policies in the *Minneapolis Plan for Sustainable Growth*, which are relevant to the proposed project:

Land Use Policy 1.9: Through attention to the mix and intensity of land uses and transit service, the City will support development along Community Corridors that enhances residential livability and pedestrian access.

- I.9.3 Discourage uses that diminish the transit and pedestrian oriented character of Community Corridors, such as automobile services and drive-through facilities.

Land Use Policy 1.10: Support development along Commercial Corridors that enhances the street's character, fosters pedestrian movement, expands the range of goods and services available, and improves the ability to accommodate automobile traffic.

- I.10.2 Encourage commercial development, including active uses on the ground floor, where Commercial Corridors intersect with other designated corridors.
- I.10.3 Discourage uses that diminish the transit and pedestrian character of Commercial Corridors, such as some automobile services and drive-through facilities, where Commercial Corridors intersect other designated corridors.
- I.10.4 Encourage a height of at least two stories for new buildings along Commercial Corridors, in keeping with neighborhood character.

Land Use Policy 1.12: Support Activity Centers by preserving the mix and intensity of land uses and by enhancing the design features that give each center its unique urban character.

- I.12.1 Encourage a variety of commercial and residential uses that generate activity all day long and into the evening.
- I.12.3 Encourage active uses on the ground floor of buildings in Activity Centers.
- I.12.4 Discourage uses that diminish the transit and pedestrian character of Activity Centers, such as automobile services, surface parking lots, and drive-through facilities.
- I.12.5 Encourage a height of at least two stories for new buildings in Activity Centers, in keeping with neighborhood character.
- I.12.8 Support district parking strategies in Activity Centers, including shared parking facilities with uniform signage, and other strategies.
- I.12.9 Encourage architectural design, building massing and site plans to create or improve public and semi-public spaces in Activity Centers.
- I.12.10 Encourage developments to incorporate climate sensitive site and building design practices.

Urban Design Policy 10.18: Reduce the visual impact of automobile parking facilities.

- 10.18.1 Require that parking lots meet or exceed the landscaping and screening requirements of the zoning code, especially along transit corridors, adjacent to residential areas, and areas of transition between land uses.
- 10.18.2 Parking lots should maintain the existing street face in developed areas and establish them in undeveloped areas through the use of fencing, walls, landscaping or a combination thereof along property lines.
- 10.18.3 Locate parking lots to the rear or interior of the site.
- 10.18.4 Provide walkways within parking lots in order to guide pedestrians through the site.

- 10.18.5 Design parking structures so sloping floors do not dominate the appearance of the walls.
- 10.18.6 The ground floor of parking structures should be designed with active uses along the street walls except where frontage is needed to provide for vehicular and pedestrian access.
- 10.18.7 Minimize the width of ingress and egress lanes along the public right of way in order to provide safe pedestrian access across large driveways.
- 10.18.8 Encourage appropriate land uses to share parking lots to reduce the size and visual impact of parking facilities.

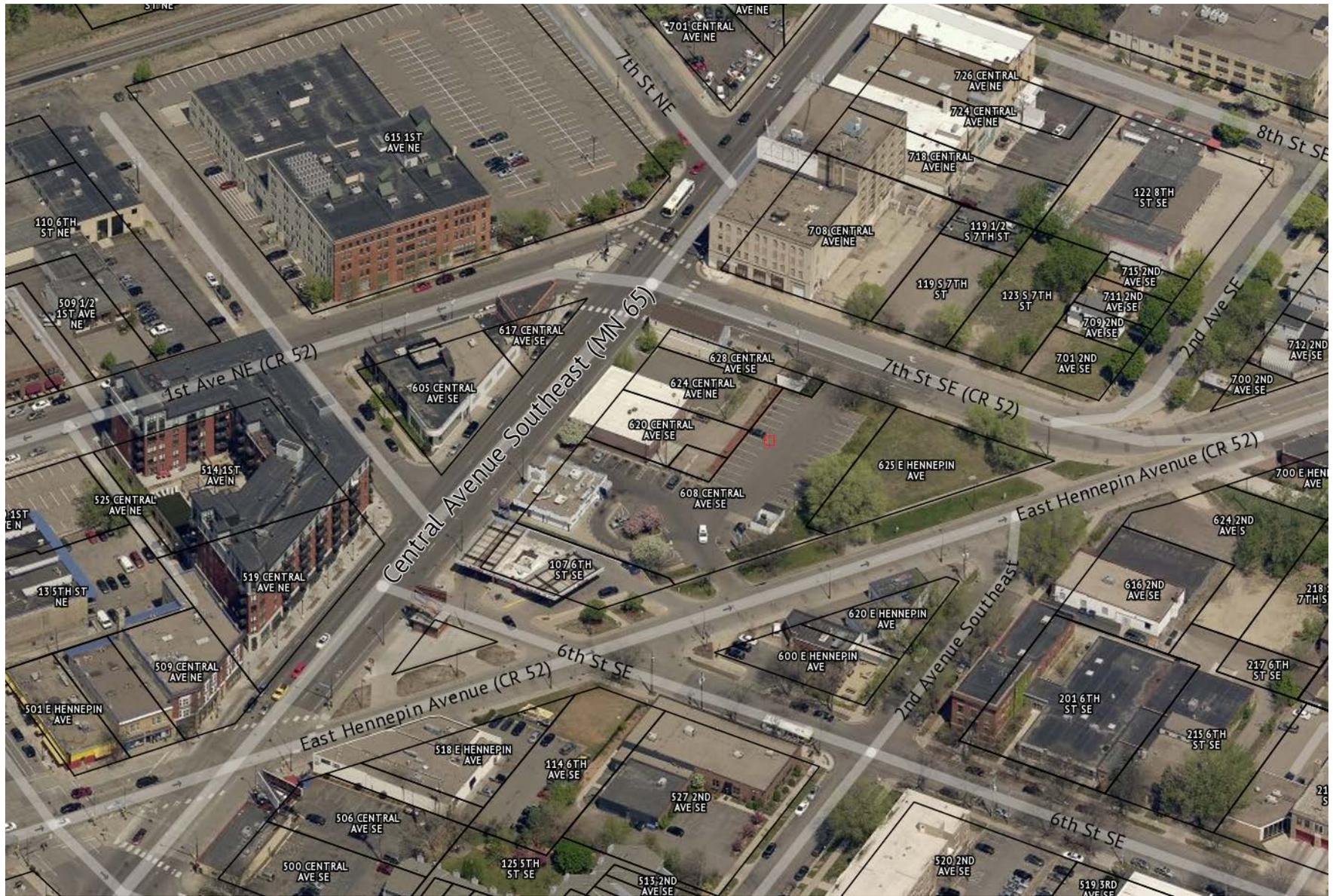
Staff recognizes that these some of these policies do not generally support a new drive-through facility for a fast-food restaurant. However, there is an existing White Castle on the block. The applicant has met the minimum landscaped area, but needs to provide additional landscape materials and screening to be in compliance with Chapter 530 Site Plan Review. The entire block will be redeveloped with this plan and the applicant will be rebuilding all of the existing public sidewalks adjacent to the subject property to meet current sidewalk standards.

In addition to the policies found in the comprehensive plan, the subject property is also located within the study area for the *Central Avenue Small Area Plan*. The small area plan identifies the future land use classification is mixed-use, with a development intensity of transit oriented development. The Plan also includes recommendations for the area including improving ‘pedestrian access to and throughout the area, through a logical but quirky network of lanes, alleys, passages and streets.’ The street pattern is not a typical grid, due to the angle of Central Ave NE and East Hennepin, which make this a unique block with a relatively direct connection via the existing public infrastructure.

The subject property is located in the study area for the *Marcy-Holmes Neighborhood Master Plan*. The Plan identifies the subject property as ‘general commercial’. Additional policy specific to the proposed land use is that “[a]uto oriented businesses should not be exempt from providing pedestrian access and amenities. Parking lots should be well defined along their edges with landscaping and low hedges. Front doors to such establishments may be oriented to the parking lots, however, they should nonetheless be visible to and accessible from the sidewalk.” The proposed site plan improvements and public sidewalk improvements are consistent with the language found in the Master Plan.

FEEDBACK

The applicant has submitted an incomplete land use application. The applicant will most likely be scheduled for the August 1, 2016, City Planning Commission public hearing. Staff is requesting feedback on the overall redevelopment, proposed land use applications and alternative compliance items requested.





555 W. Goodale St., Columbus, Ohio 43215
PH 614/228-5781 – FAX 614/224-1787

May 24, 2016

Site Narrative for:

**White Castle Restaurant (MN #29)
608 Central Ave. Minneapolis, MN 55414**

The existing subject parcel is located on the east side of Central Ave. and north of the intersection of E. Hennepin Ave. and consists of 34,166 S.F. or 0.784 Acres. It is the current site of the White Castle fast-food restaurant. This will be a joint redevelopment with the current Holiday-Gas site to the south of the White Castle. After the properties are combined the White Castle will be redeveloped on approximately 28,248 S.F. or 0.648 Acre.

The existing 2,475 S.F. white castle will be demolished and replaced with a new ground-up construction. The proposed restaurant will be a 2,865 S.F. which includes a 220 S.F. enclosed area for storage and matching trash enclosure. The dining area will have seating for 50 customers and there will be outdoor patio seating. The restaurant operation will have a drive-thru service with two (2) windows, one for pre-pay and the other for product pick-up. Both inside dining area and drive-thru operations will be twenty-four (24) hour operation with six to eight (6-8) employees per shift. The new design and architecture of the building will add more quality and character to the site.

All existing on-site features will be demolished including pavement, curbing, light poles, landscaping, some utilities, menu board and clearance detector. The existing drive-cuts will be demolished and realigned to service both White Castle and Holiday-Gas.

The delivery area is directly behind the proposed restaurant. Both frozen and dry goods will be delivered thru the rear delivery doors. The drive-thru operation may need to be closed for a short time during this period which will be off peak hours.

The proposed building will be constructed along the Central Ave. right-of-way providing an ADA accessible route to the front door. In addition, an ADA compliant parking stall will be located to the north of the building with a designated ADA parking sign mounted in front of the parking stall. An ADA compliant accessible route will include three (3) curb routes and compliant crosswalk to the building entrance.

The proposed parking lot construction includes all new pavement and paint striping. All set-backs will comply with code and those landscape areas will be maintained. There are two (2) proposed 25' high pylon signs, one along Central Ave. right-a-way and the other along Hennepin Ave. right-a-way. Both signs will have the new white castle logo.

The proposed construction includes all new lot lighting around the perimeter of the parking areas. The 24 foot (24') light poles on a two foot (2') base and 240 watt fixtures are LED XGBM Crossover flat lens products with an overall height not to exceed twenty-six feet (26'). The average foot candle maintained inside the curbing is 6.40 with building lights factored in with less than one (1) foot candle at surrounding streets.

Storm water drainage will be conveyed through new inlets and storm piping. Storm water is then conveyed to the public storm mains at 6th Street. The existing storm sewer system does not provide any water quality benefits. Due to the proposed site is under an acre storm water quality BMP will not be required and the proposed site impervious will be less than the existing.

The proposed building utilities will have all new taps. All utility mains are available in the Central Ave. and Hennepin Ave. right-a-ways.

The total construction time line of the proposed white castle, including the demolition phase, is one-hundred and five (105) working days, which is approximately twenty-one (21) weeks.

LEGEND

- ... FIRE HYDRANT
- ... WATER VALVE
- ... MANHOLE
- ... CATCH BASIN
- ... POWERPOLE
- ... LIGHT POLE
- ... GUY
- ... TRANSFORMER
- ... ELECTRIC METER
- ... TV PEDESTAL
- ... TELEPHONE PEDESTAL
- ... AIR CONDITIONER
- ... HAND HOLE
- ... SEMAPHORE
- ... GAS METER
- ... IRON MONUMENT FOUND
- ... IRON PIPE MONUMENT SET
- ... EXISTING SPOT ELEVATION
- ... SOIL BORING
- ... SIGN
- ... DECIDUOUS TREE
- ... CONIFEROUS TREE
- ... DENOTES TREE AND BRUSH LIMITS
- ... DENOTES FLARED END SECTION
- ... DENOTES FRENCH DRAIN
- ... CURB STOP
- ... CLEAN OUT
- ... BUSH
- ... BARBECUE GRILL
- ... AUTO SPRINKLER
- ... BASKETBALL HOOP
- ... BENCH
- ... WATER SPIGOT
- ... TRENCH DRAIN
- ... TRAFFIC CONTROL PANEL
- ... STORM DISPATER
- ... SATELITE DISH
- ... TELEPHONE
- ... ELECTRIC PEDESTAL
- ... FLAG POLE
- ... GROUND LITE
- ... MAILBOX
- ... ROOF DRAIN
- ... TRANSMISSION TOWER
- ... VENT PIPE
- ... WELL

SCHEDULE B:

- 9.) EASEMENT FOR ALLEY PURPOSES AS DESCRIBED IN SHERIFF'S CERTIFICATE OF SALE FILED APRIL 1, 1937, IN BOOK 1403 OF DEEDS, PAGE 441. (PARCELS 2, 3, 4, AND 5) MAPPED
- 10.) RESERVATION OF THE PERMANENT RIGHT TO USE THE SOUTHWESTERLY WALL OF A BUILDING FOR SUPPORT AS DESCRIBED IN SHERIFF'S CERTIFICATE OF SALE FILED APRIL 1, 1937, IN BOOK 1403 OF DEEDS, PAGE 441. (PARCELS 3 AND 4) NOT MAPPED
- 11.) UNRECORDED LEASE DATED AUGUST 1, 1982, BY AND BETWEEN LOUISE MERICKEL, AS LESSOR, AND WHITE CASTLE SYSTEM, INC., A DELAWARE CORPORATION, AS LESSEE, AS EVIDENCED OF RECORD BY MEMORANDUM OF LEASE DATED JUNE 21, 1982, RECORDED JULY 30, 1982, AS DOCUMENT NO. 4809334. UNRECORDED FIRST AMENDMENT OF LEASE BY AND BETWEEN THEODORE MERICKEL, AS LESSOR, AND WHITE CASTLE SYSTEM, INC., A DELAWARE CORPORATION, DATED JUNE 20, 2012, AS EVIDENCED OF RECORD BY MEMORANDUM OF MODIFIED LEASE DATED JUNE 20, 2012, RECORDED JULY 6, 2012, AS DOCUMENT NO. A9812580. (PARCEL 2) NOT MAPPED
- 12.) UNRECORDED LEASE BY AND BETWEEN THEODORE MERICKEL, A MINNESOTA INDIVIDUAL RESIDENT D/B/A MERICKEL REAL ESTATE & INVESTMENT, AS LANDLORD, AND POPULAR FRONT STUDIOS, INC. D/B/A POPULAR FRONT INTERACTIVE COMMUNICATIONS, AS TENANT, AS EVIDENCED OF RECORD BY MEMORANDUM OF LEASE DATED JUNE 2, 2005, RECORDED SEPTEMBER 19, 2005, AS DOCUMENT NO. 8656500. TENANT'S INTEREST ASSIGNED TO DENNIS KEP PROPERTIES, LLC, BY UNRECORDED ASSIGNMENT OF LEASE DATED SEPTEMBER 26, 2007, AS EVIDENCED OF RECORD BY MEMORANDUM OF ASSIGNMENT OF LEASE RECORDED OCTOBER 3, 2007, AS DOCUMENT NO. 9047130. (PARCEL 2) NOT MAPPED
- 13.) COMMERCIAL REAL ESTATE MORTGAGE EXECUTED BY MAYA & ASSOCIATES, LLC, A MINNESOTA LIMITED LIABILITY COMPANY, DATED FEBRUARY 26, 2015, RECORDED MARCH 2, 2015, AS DOCUMENT NO. A10166942, IN THE ORIGINAL PRINCIPAL AMOUNT OF \$150,000.00, IN FAVOR OF BRIDGEWATER BANK. (PARCEL 5) NOT MAPPED
- 14.) ASSIGNMENT OF LEASES AND RENTS EXECUTED BY MAYA & ASSOCIATES, LLC, A MINNESOTA LIMITED LIABILITY COMPANY, DATED FEBRUARY 26, 2015, RECORDED MARCH 2, 2015, AS DOCUMENT NO. A10166943, IN FAVOR OF BRIDGEWATER BANK. (PARCEL 5) NOT MAPPED
- 15.) RESERVATION BY THE STATE OF MINNESOTA OF ALL MINERALS AND MINERAL RIGHTS IN CONVEYANCE OF FORFEITED LANDS DATED JUNE 15, 1944, RECORDED DECEMBER 30, 1946, AS DOCUMENT NO. 2417824. (PARCEL 6) NOT MAPPED
- 16.) RIGHTS OF TENANTS UNDER UNRECORDED LEASES. NOT MAPPED

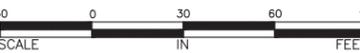
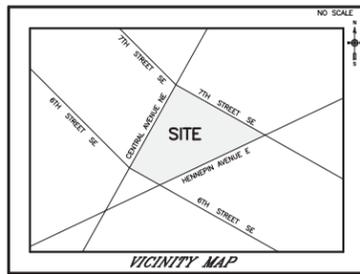
ZONING:

ZONED COMMERCIAL DISTRICT (C2)

SETBACKS:

FRONT:	0.0
SIDE:	0.0
REAR:	0.0

- E ... DENOTES ELEC. LINE
- X ... DENOTES FENCE LINE
- FO ... DENOTES FIBER OPTIC
- G ... DENOTES GAS LINE
- S ... DENOTES SANITARY SEWER
- ST ... DENOTES STORM SEWER
- T ... DENOTES TELEPHONE LINE
- TV ... DENOTES TV LINE
- OU ... DENOTES OVERHEAD UTILITY
- W ... DENOTES WATERMAIN
- WETLAND ... DENOTES WETLAND
- WETLINE ... DENOTES TREELINE
- RAIL ROAD ... DENOTES RAIL ROAD

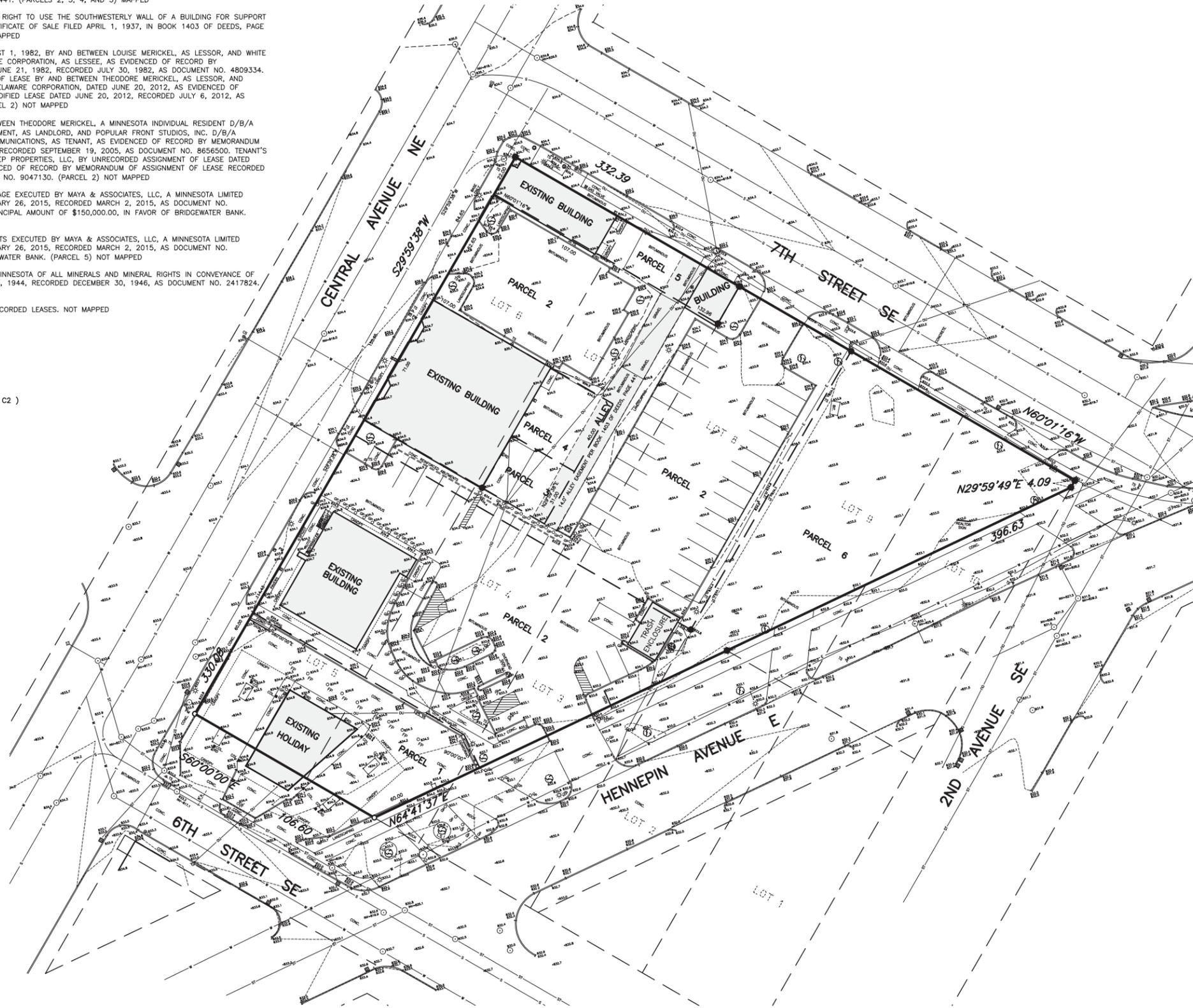


ALTERATIONS TO THIS DRAWING ARE PROHIBITED WITHOUT THE EXPRESS WRITTEN PERMISSION OF MSA COPYRIGHT 2015, MSA PROFESSIONAL SERVICES, INC.

THIS SURVEY REFLECTS ABOVE GROUND INDICATIONS OF UTILITIES AND INFORMATION AVAILABLE FROM ASBUILT DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED UNDERGROUND UTILITIES.

A.L.T.A. SURVEY FOR: HOLIDAY STORES, INC.

107 6TH STREET SE, 508, 620, 624, 628 CENTRAL AVENUE NE, 625 EAST HENNEPIN AVENUE
CITY OF MINNEAPOLIS, HENNEPIN COUNTY, MINNESOTA



LEGAL DESCRIPTION:

PARCEL 1 (107 6TH STREET)
THAT PART OF LOTS THREE (3), FOUR (4), AND FIVE (5), BLOCK TWENTY (20), MILL COMPANY'S ADDITION TO THE TOWN OF ST. ANTHONY FALLS AND DESCRIBED MORE FULLY AS FOLLOWS: COMMENCING AT THE MOST WESTERLY CORNER OF LOT FIVE (5); THENCE SOUTHERLY ALONG THE WEST LINE OF LOTS FIVE (5) AND FOUR (4), A DISTANCE OF ONE HUNDRED SIX AND 3/10THS (106.3) FEET TO THE INTERSECTION OF EAST HENNEPIN AVENUE; THENCE SOUTHEASTERLY ALONG THE NORTHERLY LINE OF EAST HENNEPIN AVENUE, A DISTANCE OF SIXTY (60) FEET; THENCE NORTHERLY AT RIGHT ANGLES TO SAID EAST HENNEPIN AVENUE ACROSS LOTS THREE (3) AND FOUR (4) A DISTANCE OF EIGHTEEN AND 9/10THS (18.8) FEET; THENCE AT AN ANGLE OF ONE HUNDRED FORTY-FIVE (145) DEGREES, FORTY-TWO (42) MINUTES AND ALONG A LINE DRAWN PARALLEL TO AND SIXTY (60) FEET DISTANT FROM THE WESTERLY LINE OF LOTS FOUR (4) AND FIVE (5) A DISTANCE OF ONE HUNDRED TWENTY-FOUR AND 6/10THS (124.6) FEET TO A POINT ON THE NORTHERLY LINE OF SAID LOT FIVE (5); THENCE WESTERLY ALONG THE NORTHERLY LINE OF SAID LOT FIVE (5) A DISTANCE OF SIXTY (60) FEET TO THE POINT OF BEGINNING AND INCLUDING ANY PORTION OF ANY STREET OR ALLEY VACATED OR TO BE VACATED, ADJOINING SAID PREMISES. INTENDED TO CONVEY: THAT PART OF LOTS THREE (3), FOUR (4), AND FIVE (5), IN BLOCK TWENTY (20) OF MILL COMPANY'S ADDITION TO THE TOWN OF ST. ANTHONY FALLS LYING SOUTHWESTERLY OF A LINE DRAWN AS FOLLOWS: COMMENCING ON THE CENTRAL AVENUE LINE OF SAID LOT FIVE (5) AT A POINT DISTANT SIXTY (60) FEET FROM SIXTH STREET SOUTHEAST; THENCE SOUTHEASTERLY PARALLEL WITH SAID SIXTH STREET TO A POINT OF INTERSECTION WITH A LINE DRAWN AT RIGHT ANGLES WITH, AND TO A POINT ON, THE EAST HENNEPIN AVENUE LINE OF SAID LOT THREE (3), SIXTY (60) FEET FROM ITS INTERSECTION WITH SAID SIXTH STREET, WHICH IS FURTHER DESCRIBED AS 107 SIXTH STREET SOUTHEAST, MINNEAPOLIS, MINNESOTA. (ABSTRACT PROPERTY)

PARCEL 2 (608 AND 624 CENTRAL AVENUE)
ALL OF THE FOLLOWING DESCRIBED LAND IN BLOCK 20, MILL CO'S ADDITION TO THE TOWN OF ST. ANTHONY FALLS, TO-WIT: THAT PART OF LOT 2 LYING NORTHERLY OF THE NORTHWESTERLY LINE OF EAST HENNEPIN AVENUE AS NOW EXISTING, ALSO THAT PART OF LOTS 3, 4 AND 5 LYING NORTHEASTERLY OF A LINE COMMENCING ON THE CENTRAL AVENUE LINE OF SAID LOT 5 AT A POINT DISTANT 60 FEET FROM SIXTH STREET SOUTHEAST; THENCE SOUTHEASTERLY PARALLEL WITH SAID SIXTH STREET TO A POINT OF INTERSECTION WITH A LINE DRAWN AT RIGHT ANGLES WITH AND TO A POINT ON THE EAST HENNEPIN AVENUE LINE OF SAID LOT 3, DISTANT 60 FEET FROM ITS INTERSECTION WITH SAID SIXTH STREET. ALSO ALL OF LOTS 6 AND 7, EXCEPTING THE FRONT OR NORTHEASTERLY 22 FEET THEREOF, THE SOUTHWESTERLY LINE THEREOF RUNNING PARALLEL WITH SEVENTH STREET SOUTHEAST; AND ALSO EXCEPTING THAT PART OF SAID LOTS 6 AND 7 COMMENCING AT A POINT ON THE CENTRAL AVENUE LINE OF SAID LOT 6, DISTANT 84.65 FEET FROM THE MOST NORTHERLY CORNER THEREOF; THENCE ALONG SAID LINE SOUTHWESTERLY 71 FEET; THENCE AT RIGHT ANGLES SOUTHEASTERLY 107 FEET; THENCE AT RIGHT ANGLES NORTHEASTERLY 21 FEET; THENCE AT RIGHT ANGLES NORTHWESTERLY TO THE POINT OF BEGINNING. ALSO ALL OF LOT 8 IN SAID BLOCK 20, ACCORDING TO THE RECORDED PLAT THEREOF ON FILE AND OF RECORD IN THE OFFICE OF THE COUNTY RECORDER, HENNEPIN COUNTY, MINNESOTA. (ABSTRACT PROPERTY)

PARCEL 3 (620 CENTRAL AVENUE)
THAT PART OF LOT 7, BLOCK 20, MILL COMPANY'S ADDITION TO THE TOWN OF ST. ANTHONY FALLS, THAT IS INCLUDED IN THE FOLLOWING DESCRIBED PARCEL: THAT PART OF LOTS 6 AND 7, BLOCK 20, MILL COMPANY'S ADDITION TO THE TOWN OF ST. ANTHONY FALLS DESCRIBED AS FOLLOWS: COMMENCING AT A POINT ON CENTRAL AVENUE LINE OF LOT 6, 84.65 FEET FROM THE MOST NORTHERLY CORNER THEREOF; THENCE ALONG SAID LINE SOUTHWESTERLY 71 FEET; THENCE AT RIGHT ANGLES SOUTHEASTERLY 107 FEET; THENCE AT RIGHT ANGLES NORTHEASTERLY 21 FEET; THENCE AT RIGHT ANGLES NORTHWESTERLY 107 FEET TO THE POINT OF BEGINNING; EXCEPT THAT PART OF SAID LOT 7 THAT IS INCLUDED IN THE FOLLOWING DESCRIBED PARCEL: THAT PART OF LOTS 6 AND 7, BLOCK 20, MILL COMPANY'S ADDITION TO THE TOWN OF ST. ANTHONY FALLS DESCRIBED AS FOLLOWS: COMMENCING AT A POINT ON CENTRAL AVENUE LINE OF LOT 6, 84.65 FEET FROM THE MOST NORTHERLY CORNER THEREOF; THENCE ALONG SAID LINE SOUTHWESTERLY 71 FEET; THENCE AT RIGHT ANGLES SOUTHEASTERLY 70 FEET; THENCE AT RIGHT ANGLES NORTHEASTERLY 31 FEET; THENCE AT RIGHT ANGLES SOUTHEASTERLY 37 FEET; THENCE AT RIGHT ANGLES NORTHEASTERLY 40 FEET; THENCE AT RIGHT ANGLES NORTHWESTERLY 107 FEET TO THE POINT OF BEGINNING. (ABSTRACT PROPERTY)

PARCEL 4 (620 CENTRAL AVENUE)
THAT PART OF LOTS 6 AND 7, BLOCK 20, MILL COMPANY'S ADDITION TO THE TOWN OF ST. ANTHONY FALLS, DESCRIBED AS FOLLOWS: COMMENCING AT A POINT ON THE CENTRAL AVENUE LINE OF LOT 6, 84.65 FEET FROM THE MOST NORTHERLY CORNER THEREOF; THENCE ALONG SAID LINE SOUTHWESTERLY 71 FEET; THENCE AT RIGHT ANGLES SOUTHEASTERLY 70 FEET; THENCE AT RIGHT ANGLES NORTHEASTERLY 31 FEET; THENCE AT RIGHT ANGLES SOUTHEASTERLY 37 FEET; THENCE AT RIGHT ANGLES NORTHEASTERLY 40 FEET; THENCE AT RIGHT ANGLES NORTHWESTERLY 107 FEET TO THE POINT OF BEGINNING. (ABSTRACT PROPERTY)

PARCEL 5 (628 CENTRAL AVENUE)
THE NORTHEASTERLY 22 FEET OF LOTS 6 AND 7, BLOCK 20, MILL COMPANY'S ADDITION TO THE TOWN OF ST. ANTHONY FALLS, ACCORDING TO THE RECORDED PLAT THEREOF, AND SITUATED IN HENNEPIN COUNTY, MINNESOTA. (ABSTRACT PROPERTY)

PARCEL 6 (625 EAST HENNEPIN)
LOT 9, BLOCK 20, EXCEPT PART TAKEN FOR STREET, AND THAT PART LYING NORTH OF EAST HENNEPIN AVENUE AS OPENED OF LOT 10, BLOCK 20, ALL IN MILL COMPANY'S ADDITION TO THE TOWN OF ST. ANTHONY FALLS. (ABSTRACT PROPERTY)

AREA:

THE PROPERTY CONTAINS 72,918 SQUARE FEET OR 1.67 ACRES

CERTIFICATION:

THE UNDERSIGNED HEREBY CERTIFIES TO HOLIDAY STORES, INC. AND FIRST AMERICAN TITLE INSURANCE COMPANY THAT THIS IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY OF THE ABOVE REAL PROPERTY SHOWING:

- THE LOCATION OF ALL BUILDINGS OR STRUCTURES THEREON;
- THE LOCATION OF ALL EASEMENTS AND ENCROACHMENTS ONTO OR FROM SUCH REAL PROPERTY THAT ARE VISIBLE ON THE REAL PROPERTY, KNOWN TO THE UNDERSIGNED OR OF RECORD;
- THE DIMENSION OF ALL SET-BACK LINES AFFECTING THE PROJECT;
- THE VISIBLE LOCATION OF ALL UTILITIES SERVING SUCH REAL PROPERTY;
- AND FLOOD HAZARD AREAS; AND
- ALL SERVICE ROADS, HIGHWAYS, BICYCLE PATHS, WALKWAYS, AND PARKING AREAS ON OR SERVING THE PROJECT.

THE UNDERSIGNED HEREBY FURTHER CERTIFIES TO HOLIDAY STORES, INC. AND FIRST AMERICAN TITLE INSURANCE COMPANY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE (i) IN ACCORDANCE WITH "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND ACSM IN 2016, AND INCLUDES ITEMS 1, 3, 4, 6, 7, 8, 9, AND 11 OF TABLE A THEREOF, AND (ii) PURSUANT TO THE ACCURACY STANDARDS (AS ADOPTED BY ALTA AND ACSM AND IN EFFECT ON THE DATE OF THIS CERTIFICATION) OF AN URBAN SURVEY.

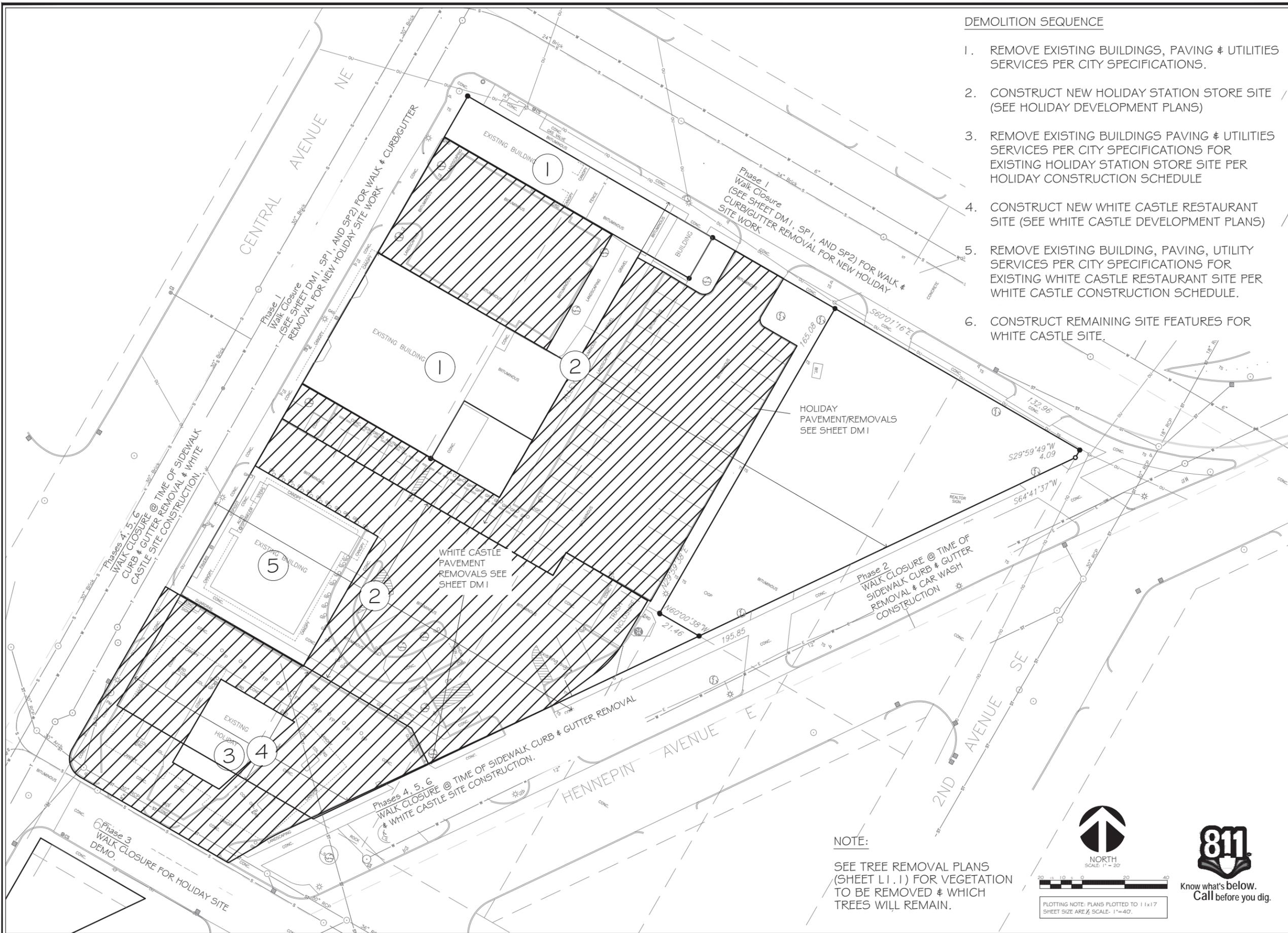
SIGNED THE 10TH DAY OF MAY, 2016.

Dennis M. Honsa
DENNIS M. HONSA
MINNESOTA LICENSE NO. 22440
FOR: MSA PROFESSIONAL SERVICES, INC.



FLOOD ZONE:

BY GRAPHIC INTERPRETATION ONLY, THIS PROPERTY LIES IN ZONE "X" AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN PER NATIONAL FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 270530357E. SAID RATE MAP HAS AN EFFECTIVE DATE OF SEPTEMBER 2, 2004. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE.



DEMOLITION SEQUENCE

1. REMOVE EXISTING BUILDINGS, PAVING & UTILITIES SERVICES PER CITY SPECIFICATIONS.
2. CONSTRUCT NEW HOLIDAY STATION STORE SITE (SEE HOLIDAY DEVELOPMENT PLANS)
3. REMOVE EXISTING BUILDINGS PAVING & UTILITIES SERVICES PER CITY SPECIFICATIONS FOR EXISTING HOLIDAY STATION STORE SITE PER HOLIDAY CONSTRUCTION SCHEDULE
4. CONSTRUCT NEW WHITE CASTLE RESTAURANT SITE (SEE WHITE CASTLE DEVELOPMENT PLANS)
5. REMOVE EXISTING BUILDING, PAVING, UTILITY SERVICES PER CITY SPECIFICATIONS FOR EXISTING WHITE CASTLE RESTAURANT SITE PER WHITE CASTLE CONSTRUCTION SCHEDULE.
6. CONSTRUCT REMAINING SITE FEATURES FOR WHITE CASTLE SITE.

NOTE:
SEE TREE REMOVAL PLANS (SHEET L1.1) FOR VEGETATION TO BE REMOVED & WHICH TREES WILL REMAIN.



20 10 5 0 20 40
 PLOTTING NOTE: PLANS PLOTTED TO 11x17 SHEET SIZE AREA 1/4" SCALE: 1"=40'



INSITES
 SITE PLANNING LANDSCAPE ARCHITECTURE
 3030 Harbor Lane North, Suite 131
 Plymouth, Minnesota 55447
 763.383.8400
 Fax 763.383.8440

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision, and that I am a duly licensed Landscape Architect under the laws of the State of Minnesota.

Signed: Robert J. Mueller
 Date: 1-23-15 Reg. No. 19306

PROJECT: 15760 MN #29 RP



WHITE CASTLE SYSTEM, INC.
 555 WEST GOODALE STREET
 COLUMBUS, OHIO 43215
 CONTACT: GLEN DAVIDSON
 PHONE: 614.559.2651
 FAX: 614.224.1787

THE INFORMATION AND DRAWINGS ENCLOSED ARE THE EXCLUSIVE PROPERTY OF WHITE CASTLE SYSTEM, INC. AND ARE TO BE HELD IN COMPLETE CONFIDENCE. THE ENCLOSED CONTENTS ARE NOT TO BE REPRODUCED IN ANY MANNER WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF WHITE CASTLE SYSTEM, INC.



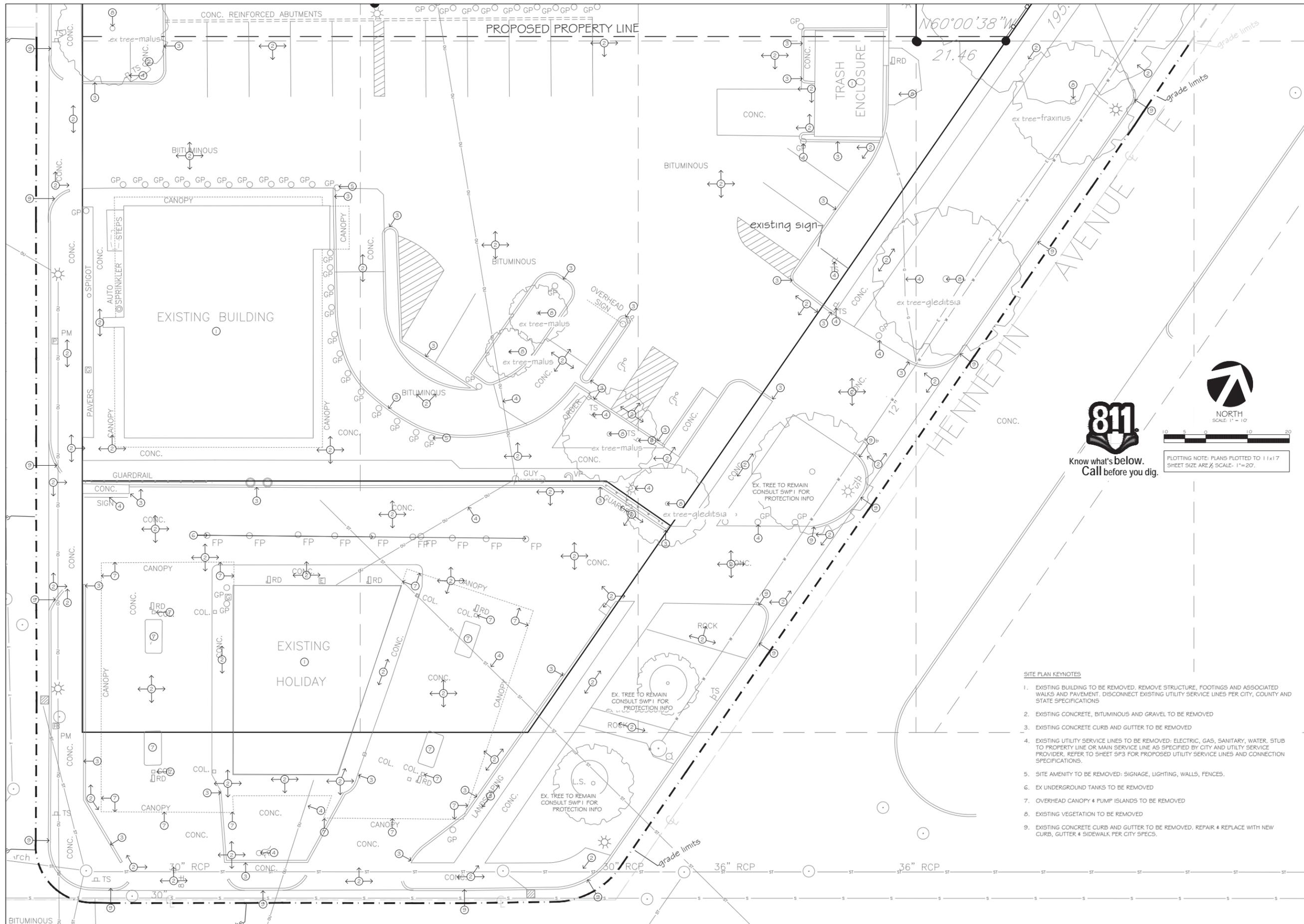
Holiday
STATIONSTORE
#0009
 MINNEAPOLIS, MN

PROJECT NUMBER:	-----
DRAWN BY:	X
CHECKED BY:	X
MARK:	REVISION / ISSUE:
	DATE:
	3-24-2016
	3-25-2016
	5-16-2016
	5-24-2016
	6-20-2016

ALL QUESTIONS RELATED TO BIDDING AND CONSTRUCTION OF THIS PROJECT SHALL BE DIRECTED TO HOLIDAY COMPANIES PROJECT MANAGER:
JAKE BAUER
 4567 AMERICAN BLVD. WEST
 MINNEAPOLIS, MN 55437-1123
 (652) 830-8839 (PHONE)
 jake.bauer@holidaycompanies.com

MASTER DEMO PHASING PLAN

M-DM1



WHITE CASTLE SYSTEM, INC.
 555 WEST GOODALE STREET
 COLUMBUS, OHIO 43215
 CONTACT: GLEN DAVIDSON
 PHONE: 614.559.2651
 FAX: 614.224.1787

INSITES
 SITE PLANNING LANDSCAPE ARCHITECTURE
 3030 Harbor Lane North, Suite 131
 Plymouth, Minnesota 55447
 763.383.8400
 fax 763.383.8440

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision, and that I am a duly licensed Landscape Architect under the laws of the State of Minnesota.

Signed: Robert J. Mueller
 Date: 1-23-15 Reg. No. 19306

PROJECT: 15760



PLOTTING NOTE: PLANS PLOTTED TO 11x17 SHEET SIZE ARE 1/2" SCALE. 1"=20'.

SITE PLAN KEYNOTES

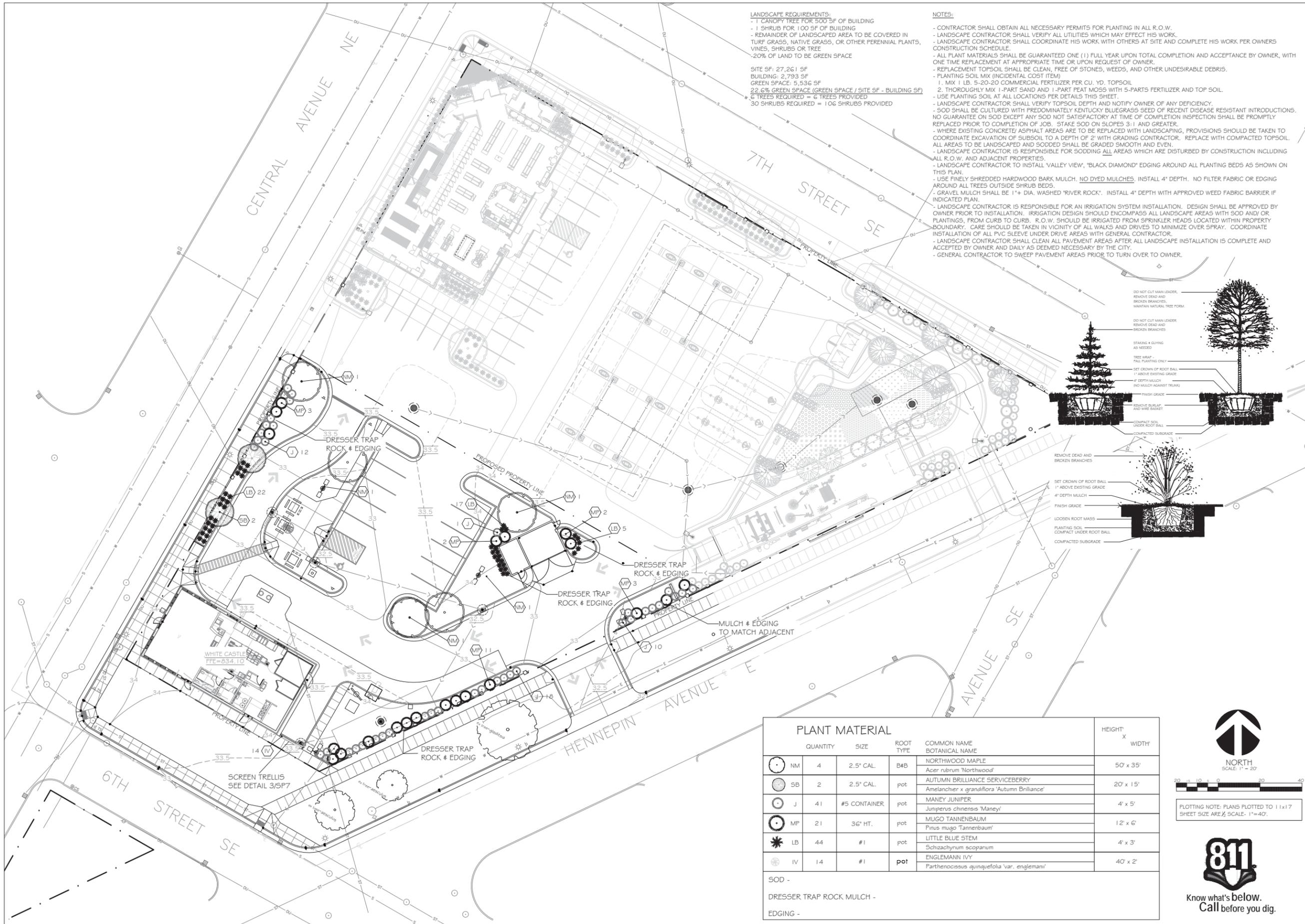
- EXISTING BUILDING TO BE REMOVED. REMOVE STRUCTURE, FOOTINGS AND ASSOCIATED WALKS AND PAVEMENT. DISCONNECT EXISTING UTILITY SERVICE LINES PER CITY, COUNTY AND STATE SPECIFICATIONS
- EXISTING CONCRETE, BITUMINOUS AND GRAVEL TO BE REMOVED
- EXISTING CONCRETE CURB AND GUTTER TO BE REMOVED
- EXISTING UTILITY SERVICE LINES TO BE REMOVED: ELECTRIC, GAS, SANITARY, WATER. STUB TO PROPERTY LINE OR MAIN SERVICE LINE AS SPECIFIED BY CITY AND UTILITY SERVICE PROVIDER. REFER TO SHEET SP3 FOR PROPOSED UTILITY SERVICE LINES AND CONNECTION SPECIFICATIONS.
- SITE AMENITY TO BE REMOVED: SIGNAGE, LIGHTING, WALLS, FENCES.
- EX UNDERGROUND TANKS TO BE REMOVED
- OVERHEAD CANOPY & PUMP ISLANDS TO BE REMOVED
- EXISTING VEGETATION TO BE REMOVED
- EXISTING CONCRETE CURB AND GUTTER TO BE REMOVED. REPAIR & REPLACE WITH NEW CURB, GUTTER & SIDEWALK PER CITY SPECS.

MN #29 RP

BUILDING SUBMITTAL DATE:	
BD DATE:	
ISSUED FOR CONSTRUCTION:	
ISSUE:	
5/24/15	SUBMITTAL
6/20/15	SUBMITTAL
PROJECT NUMBER: 15760	
DRAWN BY: ALM	
CHECKED BY:	
SHEET TITLE	

DM I

SITE DEMO PLAN



WHITE CASTLE SYSTEM, INC.
 555 WEST GOODALE STREET
 COLUMBUS, OHIO 43215
 CONTACT: GLEN DAVIDSON
 PHONE: 614.559.2651
 FAX: 614.224.1787

INSITES
 SITE PLANNING LANDSCAPE ARCHITECTURE
 3030 Harbor Lane North, Suite 131
 Plymouth, Minnesota 55447
 763.383.8400
 Fax: 763.383.8440

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision, and that I am a duly licensed Landscape Architect under the laws of the State of Minnesota.

Signed: Robert J. Mueller
 Date: 1-23-15 Reg. No. 19306

PROJECT: 15760



WHITE CASTLE
 608 CENTRAL AVE. NE
 MINNEAPOLIS, MN 55414

MN #29 RP

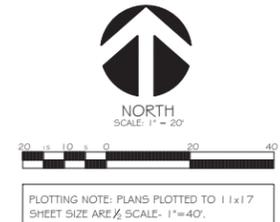
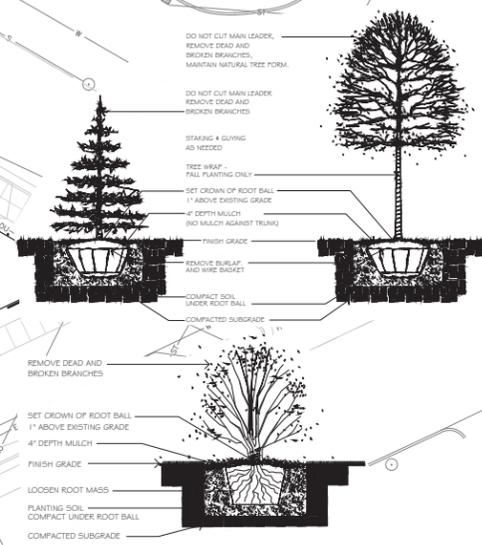
BUILDING SUBMITTAL DATE:	
ISSUED FOR CONSTRUCTION:	
ISSUE:	
S/G411 G	SUBMITTAL
G/2011 G	SUBMITTAL

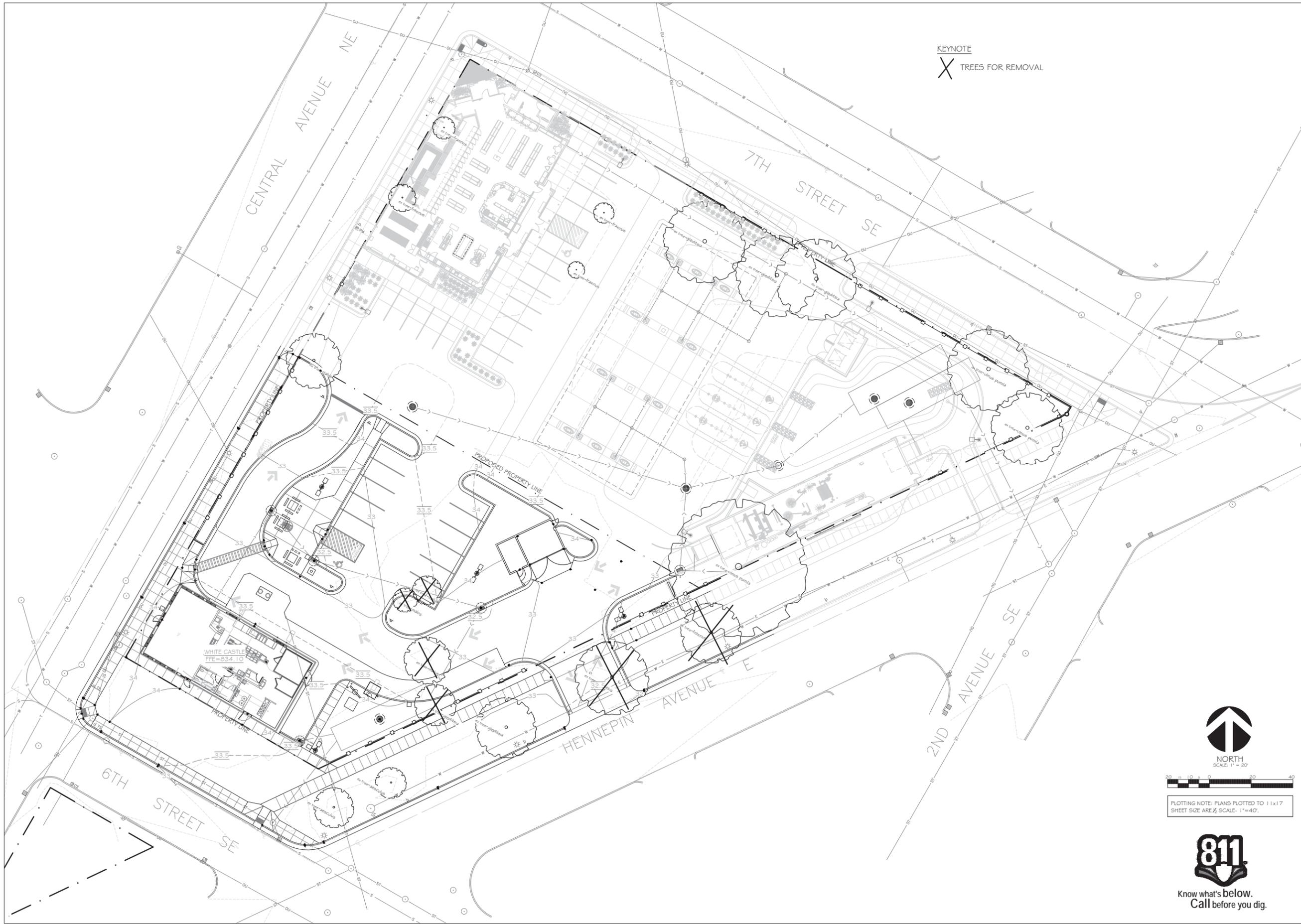
PROJECT NUMBER:	15760
DRAWN BY:	AM
CHECKED BY:	
SHEET TITLE	

L1

LANDSCAPE PLAN

PLANT MATERIAL				HEIGHT	X	WIDTH
QUANTITY	SIZE	ROOT TYPE	COMMON NAME BOTANICAL NAME			
NM 4	2.5" CAL.	B&B	NORTHWOOD MAPLE <i>Acer rubrum 'Northwood'</i>	50'	x	35'
SB 2	2.5" CAL.	pot	AUTUMN BRILLIANCE SERVICEBERRY <i>Amelanchier x grandiflora 'Autumn Brilliance'</i>	20'	x	15'
J 41	#5 CONTAINER	pot	MANEY JUNIPER <i>Juniperus chinensis 'Maney'</i>	4'	x	5'
MP 21	36" HT.	pot	MUGO TANNENBAUM <i>Pinus mugo 'Tannenbaum'</i>	12'	x	6'
LB 44	#1	pot	LITTLE BLUE STEM <i>Schizachyrium scapanum</i>	4'	x	3'
IV 14	#1	pot	ENGLMANN IVY <i>Parthenocissus quinquefolia 'var. engelmanni'</i>	40'	x	2'
SOD -						
DRESSER TRAP ROCK MULCH -						
EDGING -						





KEYNOTE
 X TREES FOR REMOVAL

WHITE CASTLE SYSTEM, INC.
 555 WEST GOODALE STREET
 COLUMBUS, OHIO 43215
 CONTACT: GLEN DAVIDSON
 PHONE: 614.559.2651
 FAX: 614.224.1787

INSITES
 SITE PLANNING LANDSCAPE ARCHITECTURE
 3030 Harbor Lane North, Suite 131
 Plymouth, Minnesota 55447
 763.383.8400
 fax 763.383.8440

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision, and that I am a duly licensed Landscape Architect under the laws of the State of Minnesota.

Signed _____
 Robert J. Mueller

Date 1-23-15 Reg. No. 19306

PROJECT: 15760



WHITE CASTLE
 608 CENTRAL AVE. NE
 MINNEAPOLIS, MN 55414

MN #29 RP

BUILDING SUBMITTAL DATE:	
BD DATE:	
ISSUED FOR CONSTRUCTION:	
ISSUE:	
5/24/15	SUBMITTAL
6/20/15	SUBMITTAL
PROJECT NUMBER: 15760	
DRAWN BY: ALM	
CHECKED BY:	
SHEET TITLE:	

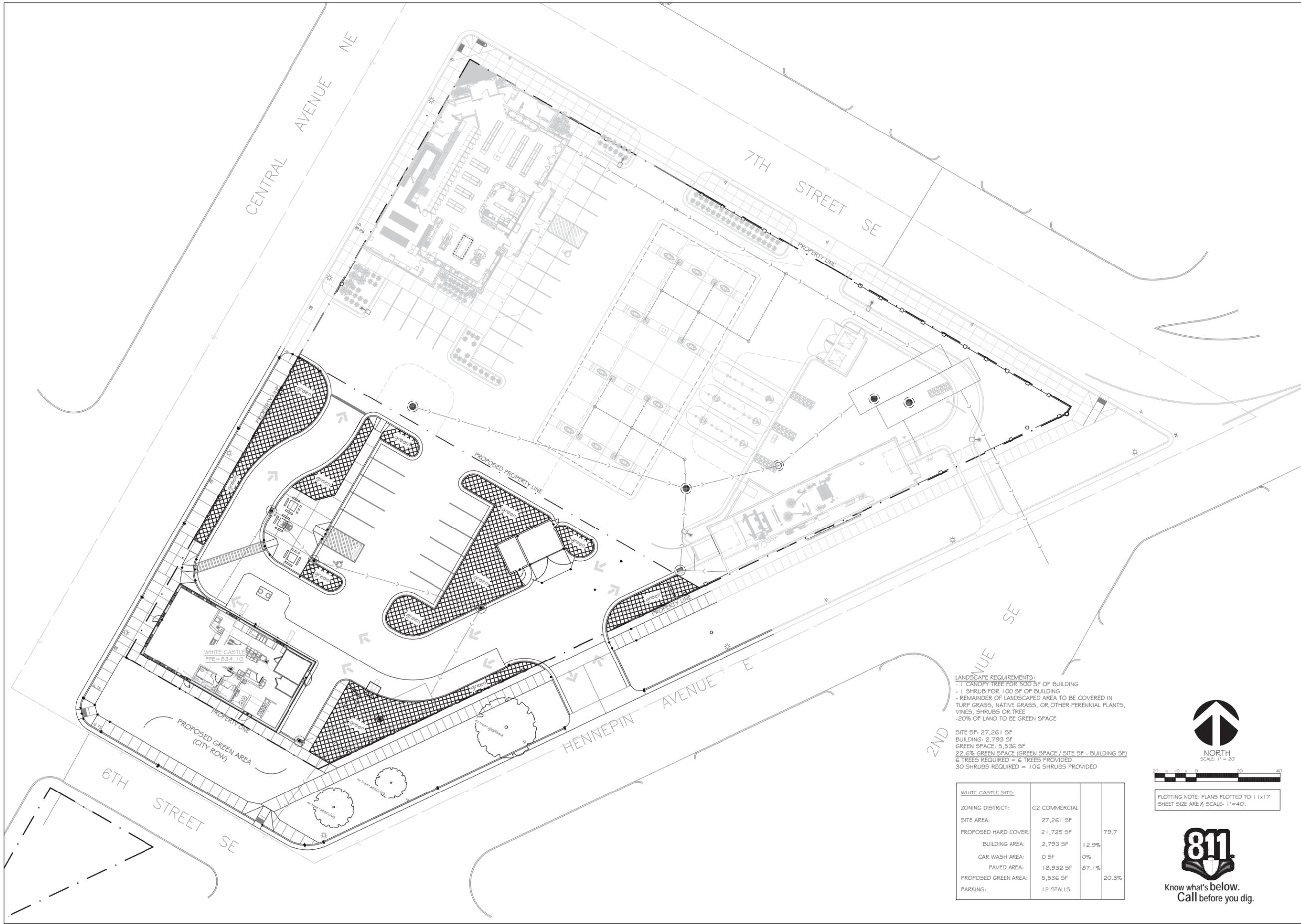


PLOTTING NOTE: PLANS PLOTTED TO 11x17 SHEET SIZE AREA SCALE: 1"=40'



L I . I

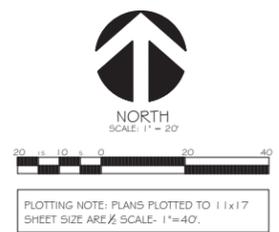
EXISTING TREE PLAN



LANDSCAPE REQUIREMENTS:
 - 1 CANOPY TREE FOR 500 SF OF BUILDING
 - 1 SHRUB FOR 100 SF OF BUILDING
 - REMAINDER OF LANDSCAPED AREA TO BE COVERED IN TURF GRASS, NATIVE GRASS, OR OTHER PERENNIAL PLANTS, VINES, SHRUBS OR TREE
 - 20% OF LAND TO BE GREEN SPACE

SITE SF: 27,261 SF
 BUILDING: 2,793 SF
 GREEN SPACE: 5,536 SF
 22.6% GREEN SPACE (GREEN SPACE / SITE SF - BUILDING SF)
 6 TREES REQUIRED = 6 TREES PROVIDED
 30 SHRUBS REQUIRED = 106 SHRUBS PROVIDED

WHITE CASTLE SITE:		
ZONING DISTRICT:	C2 COMMERCIAL	
SITE AREA:	27,261 SF	
PROPOSED HARD COVER:	21,725 SF	79.7
BUILDING AREA:	2,793 SF	12.9%
CAR WASH AREA:	0 SF	0%
PAVED AREA:	18,932 SF	67.1%
PROPOSED GREEN AREA:	5,536 SF	20.3%
PARKING:	12 STALLS	



WHITE CASTLE SYSTEM, INC.
 555 WEST GOODALE STREET
 COLUMBUS, OHIO 43215
 CONTACT: GLEN DAVIDSON
 PHONE: 614.559.2651
 FAX: 614.224.1787

INSITES
 SITE PLANNING LANDSCAPE ARCHITECTURE
 3030 Harbor Lane North, Suite 131
 Plymouth, Minnesota 55447
 763.383.8400
 Fax 763.383.8440

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision, and that I am a duly licensed Landscape Architect under the laws of the State of Minnesota.

Signed: Robert J. Mueller
 Date: 1-23-15 Reg. No. 19306

PROJECT: 15760



WHITE CASTLE
 608 CENTRAL AVE. NE
 MINNEAPOLIS, MN 55414

MN #29 RP

BUILDING SUBMITTAL DATE:	
ISSUED FOR CONSTRUCTION:	
ISSUE:	
5/24/15	SUBMITTAL
6/20/15	SUBMITTAL
PROJECT NUMBER: 15760	
DRAWN BY: AM	
CHECKED BY:	
SHEET TITLE	

L1.2

PROPOSED GREEN SPACE

SITE PLAN LAYOUT NOTES

SITE PLAN PREPARED FROM TOPO SURVEY BY:

MSA PROFESSIONAL SERVICES, INC.
DENNIS M. HONSA
SIGNED THE 10TH DAY OF MAY, 2016.

REFER TO SURVEY FOR ADDITIONAL SITE INFORMATION

CURBS ARE DIMENSIONED TO FACE OF CURB

UNLESS SHOWN OTHERWISE ON THIS DRAWING, CONTRACTOR SHALL PROVIDE CONTROL JOINTS, CONSTRUCTION JOINTS, AND EXPANSION JOINTS IN SLAB ON GRADE, SIDEWALKS, AND DRIVES
CONTROL JOINT MAXIMUM DISTANCE: WALKS- 5' O.C., ALL OTHERS- 10' O.C. SAW CUT
CONTROL JOINTS MIN. ONE-QUARTER CONCRETE THICKNESS.
EXPANSION JOINT MAXIMUM DISTANCE: WALKS- 20' O.C., ALL OTHER- 40' O.C. DOWEL ALL
EXPANSION JOINTS MAXIMUM 24" O.C.

CONCRETE IN ALL DRIVE AREAS SHALL BE A MINIMUM OF 6" DEPTH WITH COMPACTED
CRUSHED ROCK BASE BELOW. REINFORCE AS NEEDED WITH 6"x6" WELDED WIRE MESH
AND/ OR #3 REINFORCING BARS A MINIMUM OF 18" O.C. (VERIFY W/ SOILS REPORT)

CAULK ALL CONTROL, CONSTRUCTION AND EXPANSION JOINTS IN CONCRETE AT DRIVE
AREAS.

ALL APPROACHES AND REPLACEMENT CONCRETE CURB AND GUTTER IN CITY R.O.W. TO BE
INSTALLED PER CITY STANDARD DETAILS AND SPECIFICATIONS.

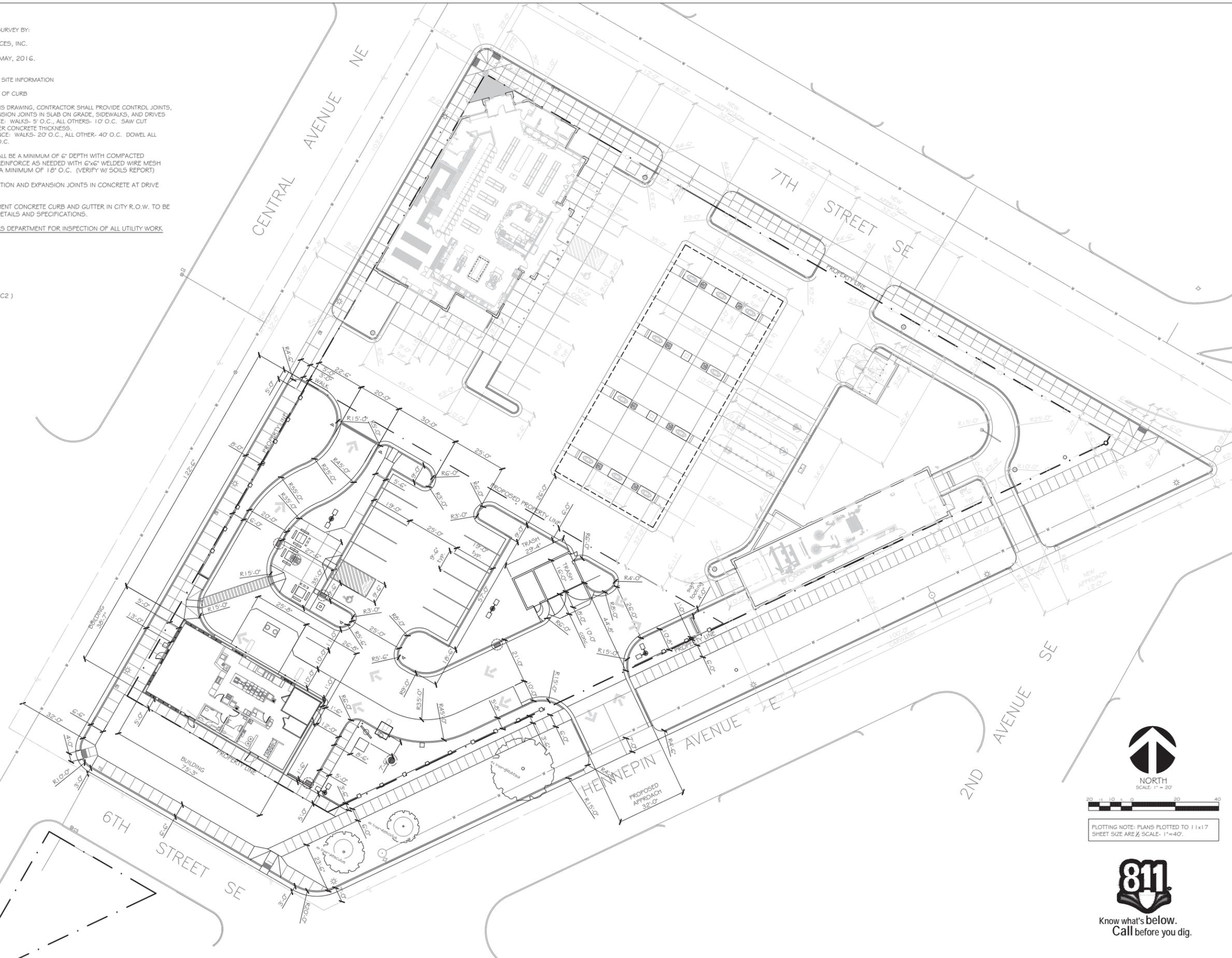
CONTACT THE CITY PUBLIC WORKS DEPARTMENT FOR INSPECTION OF ALL UTILITY WORK

ZONING:

ZONED COMMERCIAL DISTRICT (C2)

BUILDING SETBACKS:

FRONT YARD 0'
REAR YARD 0'
SIDE YARD 0'



WHITE CASTLE SYSTEM, INC.
555 WEST GOODALE STREET
COLUMBUS, OHIO 43215
CONTACT: GLEN DAVIDSON
PHONE: 614.559.2651
FAX: 614.224.1787

THE INFORMATION AND DRAWINGS CONTAINED ARE THE EXCLUSIVE PROPERTY OF WHITE CASTLE SYSTEM, INC. AND ARE TO BE USED ONLY FOR THE PROJECT SPECIFICALLY IDENTIFIED HEREON. ANY REUSE OR REPRODUCTION IN ANY MANNER WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF WHITE CASTLE SYSTEM, INC. IS PROHIBITED.

INSITES
SITE PLANNING LANDSCAPE ARCHITECTURE
3030 Harbor Lane North, Suite 131
Plymouth, Minnesota 55447
763.383.8400
1-800-383-8440

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision, and that I am a duly licensed Landscape Architect under the laws of the State of Minnesota.

Signed: Robert J. Mueller

Date: 1-23-15 Reg. No. 19306

PROJECT: 15760



WHITE CASTLE
608 CENTRAL AVE. NE
MINNEAPOLIS, MN 55414

MN #29 RP

BUILDING SUBMITTAL DATE:	
ISSUED FOR CONSTRUCTION:	
ISSUE:	
5/24/16	SUBMITTAL
6/20/16	SUBMITTAL
PROJECT NUMBER: 15760	
DRAWN BY: ALM	
CHECKED BY:	
SHEET TITLE	



NORTH
SCALE: 1" = 20'



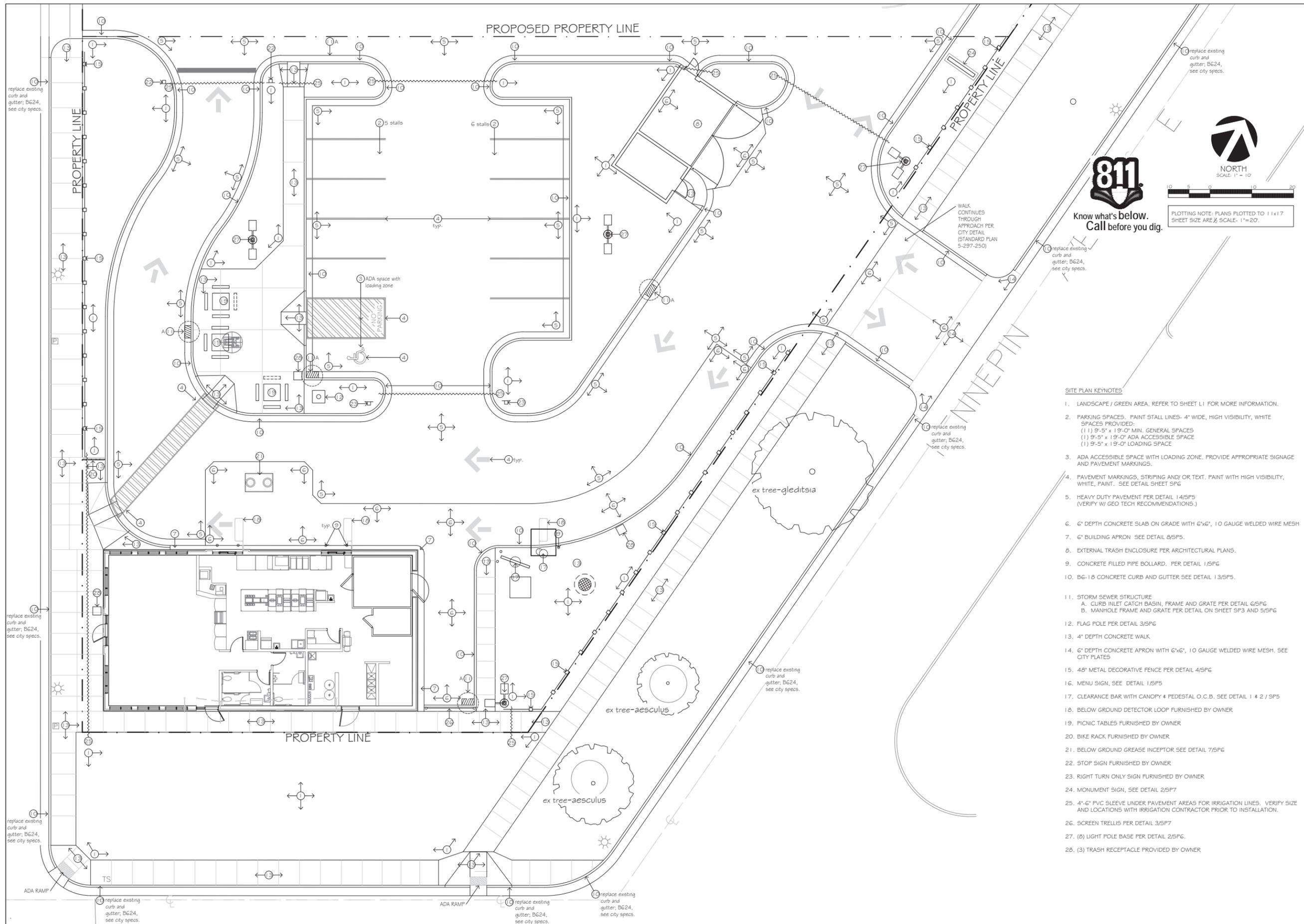
PLOTTING NOTE: PLANS PLOTTED TO 11x17 SHEET SIZE ARE 1/2" SCALE - 1"=40'



Know what's below.
Call before you dig.

SPI

SITE DIMENSION
PLAN



WHITE CASTLE SYSTEM, INC.
 555 WEST GOODALE STREET
 COLUMBUS, OHIO 43215
 CONTACT: GLEN DAVIDSON
 PHONE: 614.559.2651
 FAX: 614.224.1787

THE INFORMATION AND DRAWINGS CONTAINED HEREIN ARE THE EXCLUSIVE PROPERTY OF WHITE CASTLE SYSTEM, INC. AND ARE TO BE USED ONLY FOR THE PROJECT SPECIFICALLY IDENTIFIED HEREIN. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED IN ANY MANNER WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF WHITE CASTLE SYSTEM, INC.



Know what's below.
 Call before you dig.



SCALE: 1" = 10'

PLOTTING NOTE: PLANS PLOTTED TO 11x17 SHEET SIZE ARE 1/2" SCALE. 1"=20'.

INSITES
 SITE PLANNING LANDSCAPE ARCHITECTURE
 3030 Harbor Lane North, Suite 131
 Plymouth, Minnesota 55447
 763.383.8400
 fax: 763.383.8440

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision, and that I am a duly licensed Landscape Architect under the laws of the State of Minnesota.

Signed: Robert J. Mueller

Date: 1-23-15 Reg. No. 19306

PROJECT: 15760



WHITE CASTLE
 608 CENTRAL AVE. NE
 MINNEAPOLIS, MN 55414

MN #29 RP

BUILDING SUBMITTAL DATE:	
ISSUED FOR CONSTRUCTION:	
ISSUE:	
5/24/15	SUBMITTAL
6/20/15	SUBMITTAL
PROJECT NUMBER: 15760	
DRAWN BY: ALM	
CHECKED BY:	
SHEET TITLE	

SPI.1

SITE KEYNOTE PLAN

SITE PLAN KEYNOTES

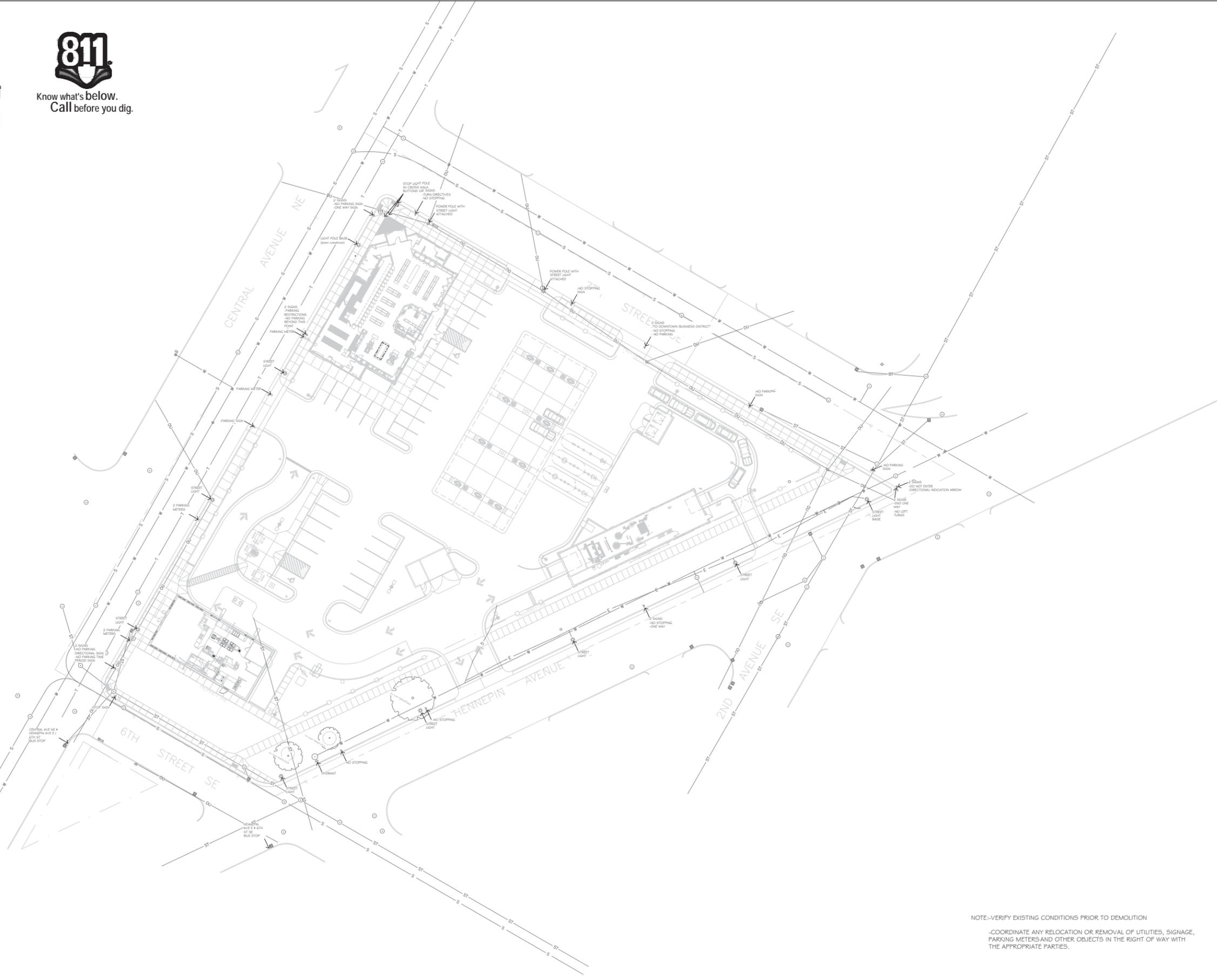
1. LANDSCAPE / GREEN AREA. REFER TO SHEET L1 FOR MORE INFORMATION.
2. PARKING SPACES. PAINT STALL LINES- 4" WIDE, HIGH VISIBILITY, WHITE SPACES PROVIDED:
 (1) 9'-5" x 19'-0" MIN. GENERAL SPACES
 (1) 9'-5" x 19'-0" ADA ACCESSIBLE SPACE
 (1) 9'-5" x 19'-0" LOADING SPACE
3. ADA ACCESSIBLE SPACE WITH LOADING ZONE. PROVIDE APPROPRIATE SIGNAGE AND PAVEMENT MARKINGS.
4. PAVEMENT MARKINGS, STRIPING AND/ OR TEXT. PAINT WITH HIGH VISIBILITY, WHITE, PAINT. SEE DETAIL SHEET SP6
5. HEAVY DUTY PAVEMENT PER DETAIL 14/SP5 (VERIFY W/ GEO TECH RECOMMENDATIONS.)
6. 6" DEPTH CONCRETE SLAB ON GRADE WITH 6"x6", 10 GAUGE WELDED WIRE MESH
7. 6" BUILDING APRON SEE DETAIL 8/SP5.
8. EXTERNAL TRASH ENCLOSURE PER ARCHITECTURAL PLANS.
9. CONCRETE FILLED PIPE BOLLARD. PER DETAIL 1/SP6
10. B6-1 & B CONCRETE CURB AND GUTTER SEE DETAIL 13/SP5.
11. STORM SEWER STRUCTURE
 A. CURB INLET CATCH BASIN, FRAME AND GRATE PER DETAIL 6/SP6
 B. MANHOLE FRAME AND GRATE PER DETAIL ON SHEET SP3 AND 5/SP6
12. FLAG POLE PER DETAIL 3/SP6
13. 4" DEPTH CONCRETE WALK
14. 6" DEPTH CONCRETE APRON WITH 6"x6", 10 GAUGE WELDED WIRE MESH. SEE CITY PLATES
15. 48" METAL DECORATIVE FENCE PER DETAIL 4/SP6
16. MENU SIGN, SEE DETAIL 1/SP5
17. CLEARANCE BAR WITH CANOPY & PEDESTAL O.C.B. SEE DETAIL 1 & 2 / SP5
18. BELOW GROUND DETECTOR LOOP FURNISHED BY OWNER
19. PICNIC TABLES FURNISHED BY OWNER
20. BIKE RACK FURNISHED BY OWNER
21. BELOW GROUND GREASE INCEPTOR SEE DETAIL 7/SP6
22. STOP SIGN FURNISHED BY OWNER
23. RIGHT TURN ONLY SIGN FURNISHED BY OWNER
24. MONUMENT SIGN, SEE DETAIL 2/SP7
25. 4"-6" PVC SLEEVE UNDER PAVEMENT AREAS FOR IRRIGATION LINES. VERIFY SIZE AND LOCATIONS WITH IRRIGATION CONTRACTOR PRIOR TO INSTALLATION.
26. SCREEN TRELLIS PER DETAIL 3/SP7
27. (8) LIGHT POLE BASE PER DETAIL 2/SP6.
28. (3) TRASH RECEPTACLE PROVIDED BY OWNER



PLOTTING NOTE: PLANS PLOTTED TO 11x17 SHEET SIZE ARE 1/2" SCALE- 1"=60\'



Know what's below.
Call before you dig.



INSITES
SITE PLANNING LANDSCAPE ARCHITECTURE
3030 Harbor Lane North, Suite 131
Plymouth, Minnesota 55447
763.383.8400
Fax: 763.383.8440

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision, and that I am a duly licensed Landscape Architect under the laws of the State of Minnesota.

Signed: Robert J. Mueller
Date: 1-23-15 Reg. No. 19306

PROJECT: 15760 MN #29 RP



WHITE CASTLE
608 CENTRAL AVE. NE
MINNEAPOLIS, MN 55414

WHITE CASTLE SYSTEM, INC.
555 WEST GOODALE STREET
COLUMBUS, OHIO 43215
CONTACT: GLEN DAVIDSON
PHONE: 614.559.2651
FAX: 614.224.1787

THE INFORMATION AND DRAWINGS ENCLOSED ARE THE EXCLUSIVE PROPERTY OF WHITE CASTLE SYSTEM, INC. AND ARE TO BE HELD IN COMPLETE CONFIDENCE. THE ENCLOSED CONTENTS ARE NOT TO BE REPRODUCED IN ANY MANNER WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF WHITE CASTLE SYSTEM, INC.



Holiday
STATIONSTORE
#0009
MINNEAPOLIS, MN

PROJECT NUMBER:	-----	
DRAWN BY:	X	
CHECKED BY:	X	
MARK:	REVISION / ISSUE:	DATE:
	SITE PLAN REVIEW	3-24-2016
	SUBMITTAL	3-25-2016
	FOR REVIEW	5-18-2016
	SUBMITTAL	5-24-2016
	SUBMITTAL	6-20-2016

ALL QUESTIONS RELATED TO BIDDING AND CONSTRUCTION OF THIS PROJECT SHALL BE DIRECTED TO HOLIDAY COMPANIES PROJECT MANAGER:
JAKE BAUER
4567 AMERICAN BLVD. WEST
MINNEAPOLIS, MN 55437-1123
(952) 830-8839 (PHONE)
jake.bauer@holidaycompanies.com

PUBLIC R.O.W.
SIGN AND
LIGHTS

SP1.2

NOTE:-VERIFY EXISTING CONDITIONS PRIOR TO DEMOLITION
-COORDINATE ANY RELOCATION OR REMOVAL OF UTILITIES, SIGNAGE, PARKING METERS AND OTHER OBJECTS IN THE RIGHT OF WAY WITH THE APPROPRIATE PARTIES.

PLAN NOTES:

- REFER TO OTHER PROJECT PLANS AND INFORMATION RELATED TO THIS PROJECT PRIOR TO BEGINNING ANY GRADING WORK.

- PLAN PREPARED FROM SURVEY BY:
DENNIS M. HONSA
MINNESOTA LICENSE NO. 22440
FOR: MSA PROFESSIONAL SERVICES

- CONTRACTOR SHALL LOCATE ALL UTILITIES WHICH MAY AFFECT THIS WORK AND NOTIFY OWNER OF ANY CONFLICTS.

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED ELEVATIONS PRIOR TO START OF CONSTRUCTION. VERIFY CRITICAL ELEVATIONS TO ENSURE CONFORMANCE WITH GRADING PLAN, PARTICULARLY WITH WALK AND/OR PAVEMENTS TO REMAIN. MEET EXISTING GRADES ALONG STREETS, PROPERTY LINES AND DRIVEWAY ENTRANCES. RESTORE ALL EXISTING PAVEMENTS THAT REMAIN TO THEIR ORIGINAL, IF NOT BETTER CONDITION. NOTIFY OWNER OF ANY CONFLICTS.

- AREAS NOT PAVED AND TO BE LANDSCAPED SHALL RECEIVE MINIMUM OF 4" DEPTH COMPACTED TOPSOIL.

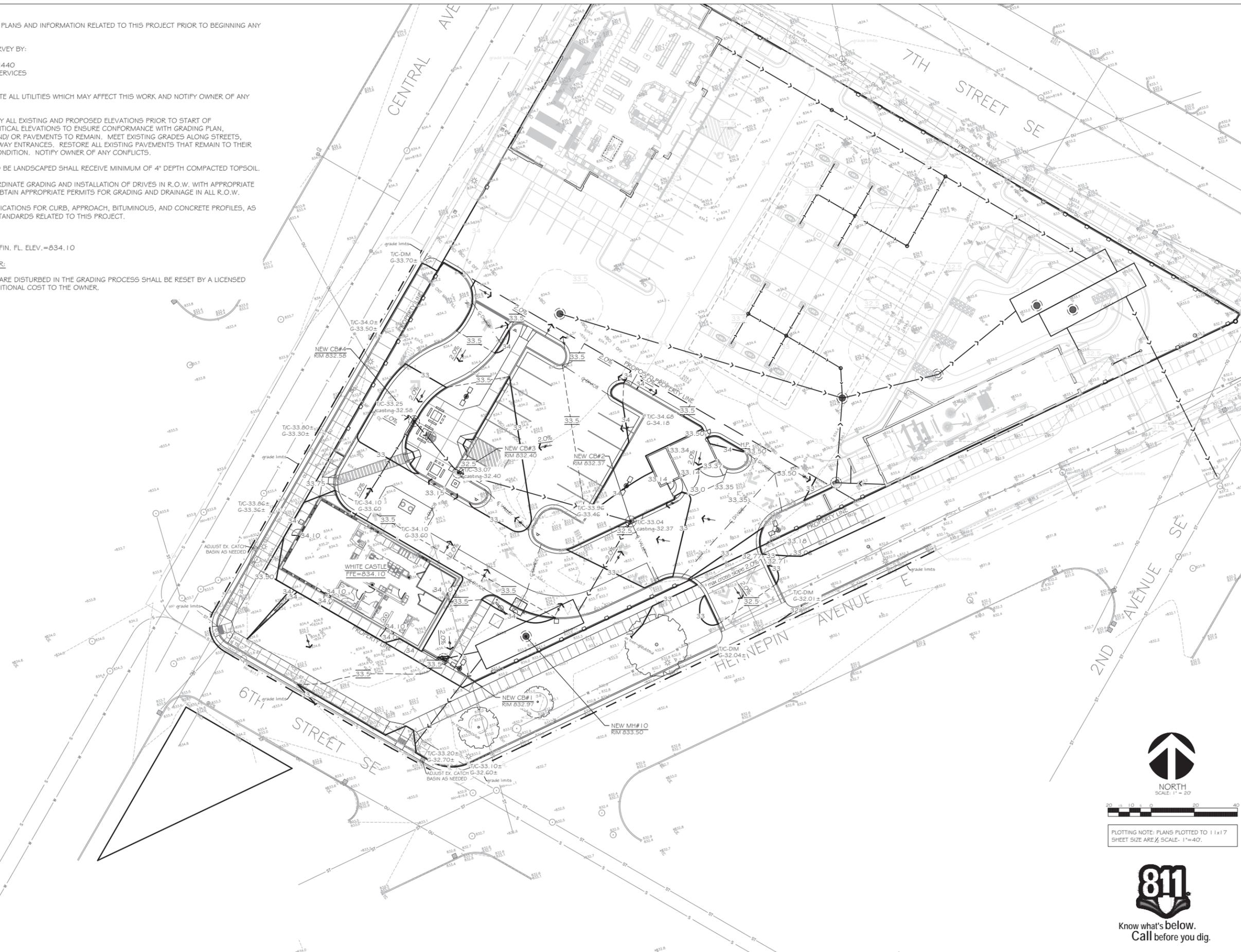
- CONTRACTOR SHALL COORDINATE GRADING AND INSTALLATION OF DRIVES IN R.O.W. WITH APPROPRIATE GOVERNMENT AGENCIES. OBTAIN APPROPRIATE PERMITS FOR GRADING AND DRAINAGE IN ALL R.O.W.

- REFER TO OWNER'S SPECIFICATIONS FOR CURB, APPROACH, BITUMINOUS, AND CONCRETE PROFILES, AS WELL AS ADDITIONAL SITE STANDARDS RELATED TO THIS PROJECT.

FINISHED FLOOR ELEV.
PROPOSED WHITE CASTLE - FIN. FL. ELEV. = 834.10

NOTE GRADING CONTRACTOR:

ANY PROPERTY IRONS THAT ARE DISTURBED IN THE GRADING PROCESS SHALL BE RESET BY A LICENSED LAND SURVEYOR AT NO ADDITIONAL COST TO THE OWNER.



WHITE CASTLE SYSTEM, INC.
555 WEST GOODALE STREET
COLUMBUS, OHIO 43215
CONTACT: GLEN DAVIDSON
PHONE: 614.559.2651
FAX: 614.224.1787

THE INFORMATION AND DRAWINGS CONTAINED HEREIN ARE THE EXCLUSIVE PROPERTY OF WHITE CASTLE SYSTEM, INC. AND ARE TO BE USED ONLY FOR THE PROJECT SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR REPRODUCTION IN ANY MANNER WITHOUT THE WRITTEN AUTHORIZATION OF WHITE CASTLE SYSTEM, INC. IS STRICTLY PROHIBITED.

INSITES
SITE PLANNING LANDSCAPE ARCHITECTURE
3030 Harbor Lane North, Suite 131
Plymouth, Minnesota 55447
763.383.8400
1-813-383-8400

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision, and that I am a duly licensed Landscape Architect under the laws of the State of Minnesota.

Signed: Robert J. Mueller

Date: 1-23-15 Reg. No. 19306

PROJECT: 15760



WHITE CASTLE
608 CENTRAL AVE. NE
MINNEAPOLIS, MN 55414

MN #29 RP

BUILDING SUBMITTAL DATE:

BD DATE:

ISSUED FOR CONSTRUCTION:

ISSUE:

5/24/15	SUBMITTAL
6/20/15	SUBMITTAL

PROJECT NUMBER: 15760
DRAWN BY: ALM
CHECKED BY:

SHEET TITLE

SP2

GRADE PLAN



NORTH

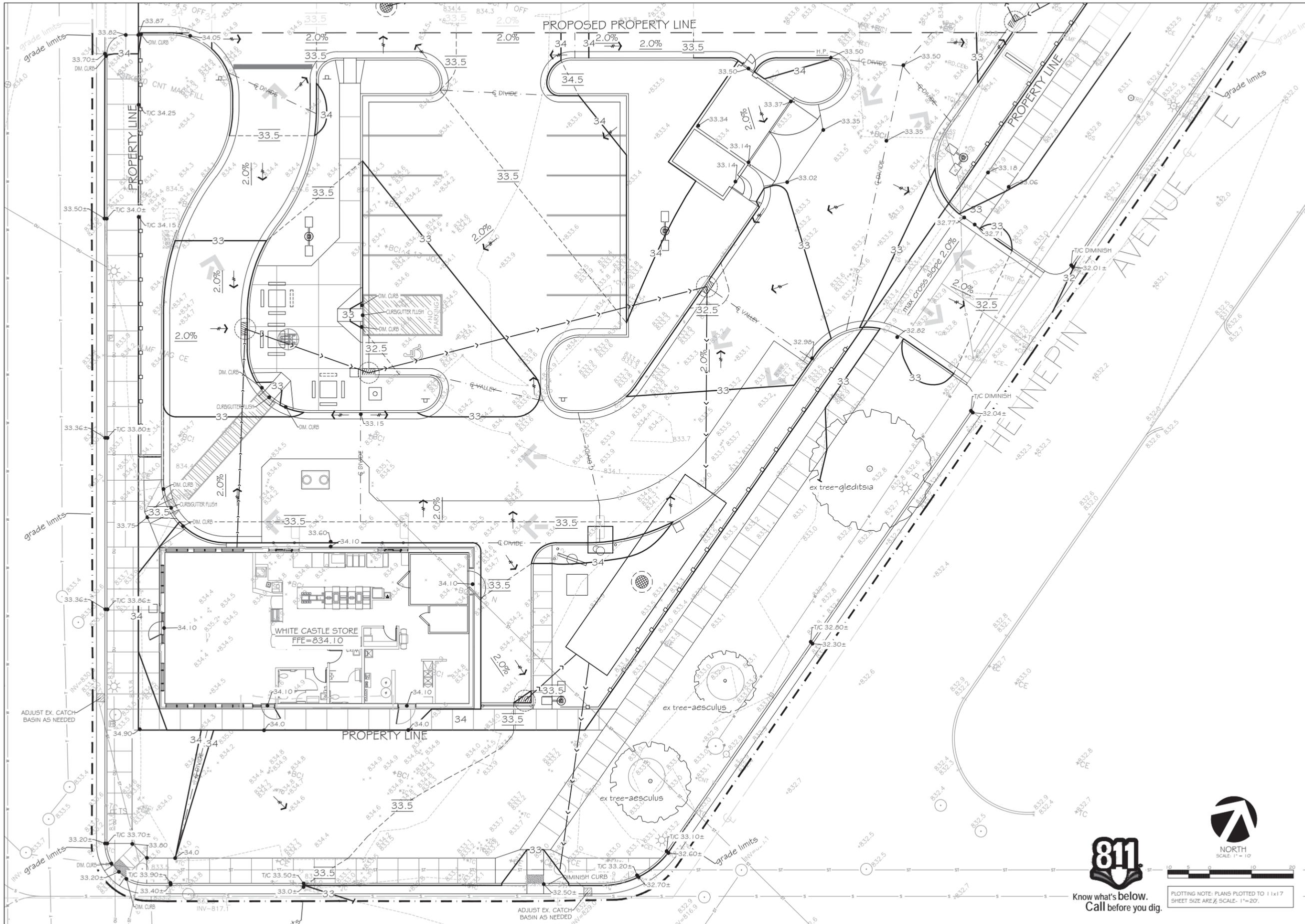
SCALE: 1" = 20'



PLOTING NOTE: PLANS PLOTTED TO 11x17 SHEET SIZE ARE 1/2 SCALE. 1"=40'



Know what's below.
Call before you dig.



WHITE CASTLE SYSTEM, INC.
 555 WEST GOODALE STREET
 COLUMBUS, OHIO 43215
 CONTACT: GLEN DAVIDSON
 PHONE: 614.559.2651
 FAX: 614.224.1787

INSITES
 SITE PLANNING LANDSCAPE ARCHITECTURE
 3030 Harbor Lane North, Suite 131
 Plymouth, Minnesota 55447
 763.383.8400
 fax 763.383.8440

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision, and that I am a duly licensed Landscape Architect under the laws of the State of Minnesota.

Signed: Robert J. Mueller
 Date: 1-23-15 Reg. No. 19306

PROJECT: 15760



WHITE CASTLE
 608 CENTRAL AVE. NE
 MINNEAPOLIS, MN 55414

MN #29 RP

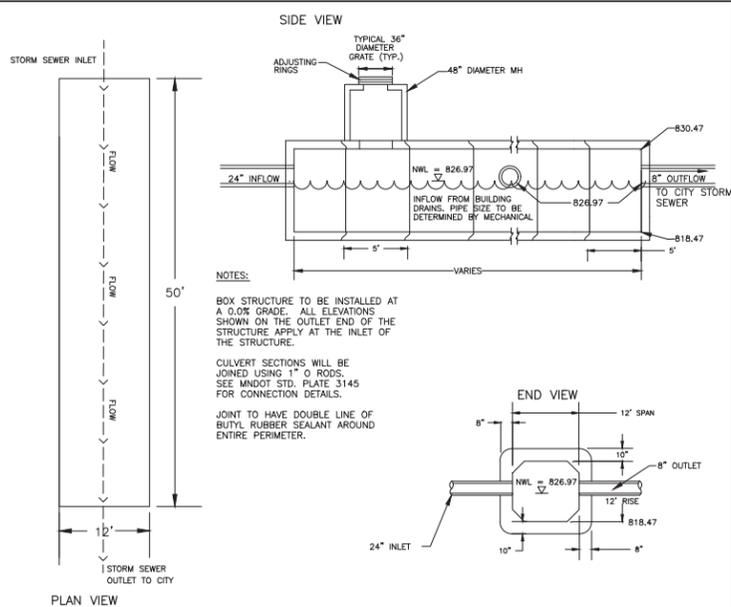
BUILDING SUBMITTAL DATE:	
RD DATE:	
ISSUED FOR CONSTRUCTION:	
ISSUE:	
5/24/15	SUBMITTAL
6/20/15	SUBMITTAL
PROJECT NUMBER: 15760	
DRAWN BY: AM	
CHECKED BY:	
SHEET TITLE:	

SP2.1

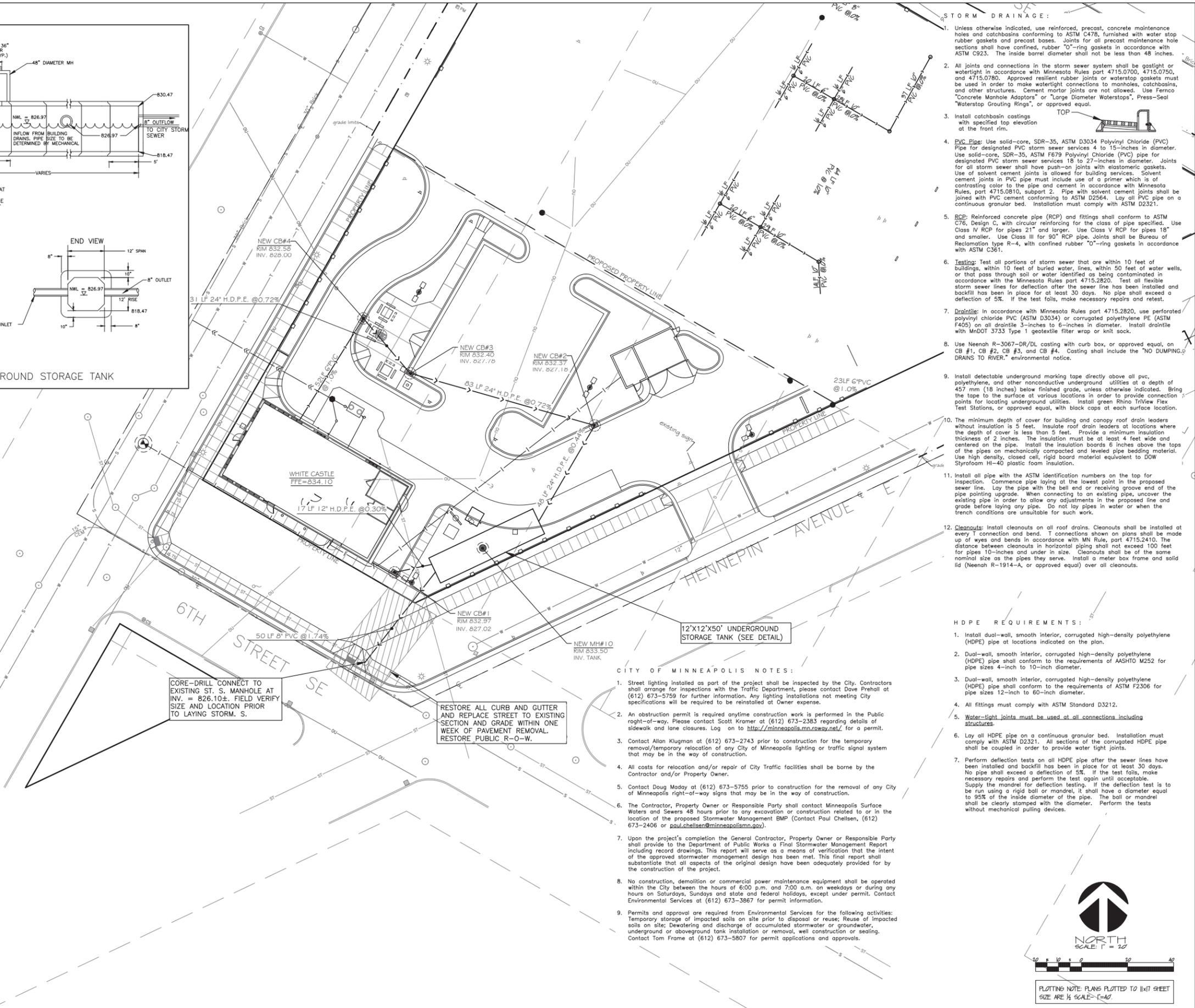


PLOTTING NOTE: PLANS PLOTTED TO 11x17 SHEET SIZE ARE 1/2" SCALE. 1"=20'.

GRADE PLAN
 DETAIL



REINFORCED CONCRETE UNDERGROUND STORAGE TANK



- STORM DRAINAGE:**
- Unless otherwise indicated, use reinforced, precast, concrete maintenance holes and catchbasins conforming to ASTM C478, furnished with water stop rubber gaskets and precast bases. Joints for all precast maintenance hole sections shall have confined, rubber "O"-ring gaskets in accordance with ASTM C923. The inside barrel diameter shall not be less than 48 inches.
 - All joints and connections in the storm sewer system shall be gastight or watertight in accordance with Minnesota Rules part 4715.0700, 4715.0750, and 4715.0760. Approved resilient rubber joints or waterstop gaskets must be used in order to make watertight connections to manholes, catchbasins, and other structures. Cement mortar joints are not allowed. Use Fernco "Concrete Manhole Adaptors" or "Large Diameter Waterstops", Press-Seal "Waterstop Grouting Rings", or approved equal.
 - Install catchbasin castings with specified top elevation at the front rim.
 - PVC Pipe:** Use solid-core, SDR-35, ASTM D3034 Polyvinyl Chloride (PVC) Pipe for designated PVC storm sewer services 4 to 15-inches in diameter. Use solid-core, SDR-35, ASTM F679 Polyvinyl Chloride (PVC) pipe for designated PVC storm sewer services 18 to 27-inches in diameter. Joints for all storm sewer shall have push-on joints with elastomeric gaskets. Use of solvent cement joints is allowed for building services. Solvent cement joints in PVC pipe must include use of a primer which is of contrasting color to the pipe and cement in accordance with Minnesota Rules, part 4715.0810, subpart 2. Pipe with solvent cement joints shall be joined with PVC cement conforming to ASTM D2564. Lay all PVC pipe on a continuous granular bed. Installation must comply with ASTM D2321.
 - RCP:** Reinforced concrete pipe (RCP) and fittings shall conform to ASTM C76, Design C, with circular reinforcing for the class of pipe specified. Use Class IV RCP for pipes 21" and larger. Use Class V RCP for pipes 18" and smaller. Use Class III for 90" RCP pipe. Joints shall be Bureau of Reclamation type R-4, with confined rubber "O"-ring gaskets in accordance with ASTM C361.
 - Testing:** Test all portions of storm sewer that are within 10 feet of buildings, within 10 feet of buried water, lines, within 50 feet of water wells, or that pass through soil or water identified as being contaminated in accordance with the Minnesota Rules part 4715.2820. Test all flexible storm sewer lines for deflection after the sewer line has been installed and backfill has been in place for at least 30 days. No pipe shall exceed a deflection of 5%. If the test fails, make necessary repairs and retest.
 - Use Neenah R-3067-DR/DL** casting with curb box, or approved equal, on CB #1, CB #2, CB #3, and CB #4. Casting shall include the "NO DUMPING" DRAINS TO RIVER," environmental notice.
 - Install detectable underground marking tape directly above all pvc, polyethylene, and other nonconductive underground utilities at a depth of 457 mm (18 inches) below finished grade, unless otherwise indicated. Bring the tape to the surface at various locations in order to provide connection points for locating underground utilities. Install green Rhino TriView Flex Test Stations, or approved equal, with black caps at each surface location.
 - The minimum depth of cover for building and canopy roof drain leaders without insulation is 5 feet. Insulate roof drain leaders at locations where the depth of cover is less than 5 feet. Provide a minimum insulation thickness of 2 inches. The insulation must be at least 4 feet wide and centered on the pipe. Install the insulation boards 6 inches above the tops of the pipes on mechanically compacted and leveled pipe bedding material. Use high density, closed cell, rigid board material equivalent to DOW Styrofoam HI-40 plastic foam insulation.
 - Install all pipe with the ASTM identification numbers on the top for inspection. Commence pipe laying at the lowest point in the proposed sewer line. Lay the pipe with the bell end or receiving groove end of the pipe pointing up. When connecting to an existing pipe, uncover the existing pipe in order to allow any adjustments in the proposed line and grade before laying any pipe. Do not lay pipes in water or when the trench conditions are unsuitable for such work.
 - Cleanouts:** Install cleanouts on all roof drains. Cleanouts shall be installed at every T connection and bend. T connections shown on plans shall be made up of wyes and bends in accordance with MN Rule, part 4715.2410. The distance between cleanouts in horizontal piping shall not exceed 100 feet for pipes 10-inches and under in size. Cleanouts shall be of the same nominal size as the pipes they serve. Install a meter box frame and solid lid (Neenah R-1914-A, or approved equal) over all cleanouts.

HDPE REQUIREMENTS:

- Install dual-wall, smooth interior, corrugated high-density polyethylene (HDPE) pipe at locations indicated on the plan.
- Dual-wall, smooth interior, corrugated high-density polyethylene (HDPE) pipe shall conform to the requirements of AASHTO M252 for pipe sizes 4-inch to 10-inch diameter.
- Dual-wall, smooth interior, corrugated high-density polyethylene (HDPE) pipe shall conform to the requirements of ASTM F2306 for pipe sizes 12-inch to 60-inch diameter.
- All fittings must comply with ASTM Standard D3212.
- Water-tight joints must be used at all connections including structures.**
- Lay all HDPE pipe on a continuous granular bed. Installation must comply with ASTM D2321. All sections of the corrugated HDPE pipe shall be coupled in order to provide water tight joints.
- Perform deflection tests on all HDPE pipe after the sewer lines have been installed and backfill has been in place for at least 30 days. No pipe shall exceed a deflection of 5%. If the test fails, make necessary repairs and perform the test again until acceptable. Supply the mandrel for deflection testing. If the deflection test is to be run using a rigid ball or mandrel, it shall have a diameter equal to 95% of the inside diameter of the pipe. The ball or mandrel shall be clearly stamped with the diameter. Perform the tests without mechanical pulling devices.

CITY OF MINNEAPOLIS NOTES:

- Street lighting installed as part of the project shall be inspected by the City. Contractors shall arrange for inspections with the Traffic Department, please contact Dave Prehall at (612) 673-5759 for further information. Any lighting installations not meeting City specifications will be required to be reinstated at Owner expense.
- An obstruction permit is required anytime construction work is performed in the Public right-of-way. Please contact Scott Kramer at (612) 673-2383 regarding details of sidewalk and lane closures. Log on to <http://minneapolis.mn.gov> for a permit.
- Contact Allan Klugman at (612) 673-2743 prior to construction for the temporary removal/temporary relocation of any City of Minneapolis lighting or traffic signal system that may be in the way of construction.
- All costs for relocation and/or repair of City Traffic facilities shall be borne by the Contractor and/or Property Owner.
- Contact Doug Maday at (612) 673-5755 prior to construction for the removal of any City of Minneapolis right-of-way signs that may be in the way of construction.
- The Contractor, Property Owner or Responsible Party shall contact Minneapolis Surface Waters and Sewers 48 hours prior to any excavation or construction related to or in the location of the proposed Stormwater Management BMP (Contact Paul Chelisen, (612) 673-2406 or paul.chelisen@minneapolismn.gov).
- Upon the project's completion the General Contractor, Property Owner or Responsible Party shall provide to the Department of Public Works a Final Stormwater Management Report including record drawings. This report will serve as a means of verification that the intent of the approved stormwater management design has been met. This final report shall substantiate that all aspects of the original design have been adequately provided for by the construction of the project.
- No construction, demolition or commercial power maintenance equipment shall be operated within the City between the hours of 6:00 p.m. and 7:00 a.m. on weekdays or during any hours on Saturdays, Sundays and state and federal holidays, except under permit. Contact Environmental Services at (612) 673-3867 for permit information.
- Permits and approval are required from Environmental Services for the following activities: Temporary storage of impacted soils on site prior to disposal or reuse; Reuse of impacted soils on site; Dewatering and discharge of accumulated stormwater or groundwater, underground or aboveground tank installation or removal, well construction or sealing. Contact Tom Frame at (612) 673-5807 for permit applications and approvals.

CORE-DRILL CONNECT TO EXISTING ST. S. MANHOLE AT INV. = 826.10±. FIELD VERIFY SIZE AND LOCATION PRIOR TO LAYING STORM. S.

RESTORE ALL CURB AND GUTTER AND REPLACE STREET TO EXISTING SECTION AND GRADE WITHIN ONE WEEK OF PAVEMENT REMOVAL. RESTORE PUBLIC R-O-W.

12'X12'X50' UNDERGROUND STORAGE TANK (SEE DETAIL)

WHITE CASTLE SYSTEM, INC.
505 WEST GOODALE STREET
COLUMBUS, OHIO 43215
CONTACT: GLEN DAVIDSON
PHONE: 614.559.2651
FAX: 614.224.1787



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
Brian H. Munksgaard
Brian H. Munksgaard
DATE: 6/20/16 REG. NO. 23468

PROJECT: 15760



WHITE CASTLE
608 CENTRAL AVE. NE
MINNEAPOLIS, MN 55414

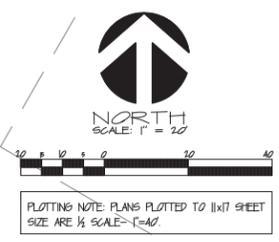
MN #29 RP

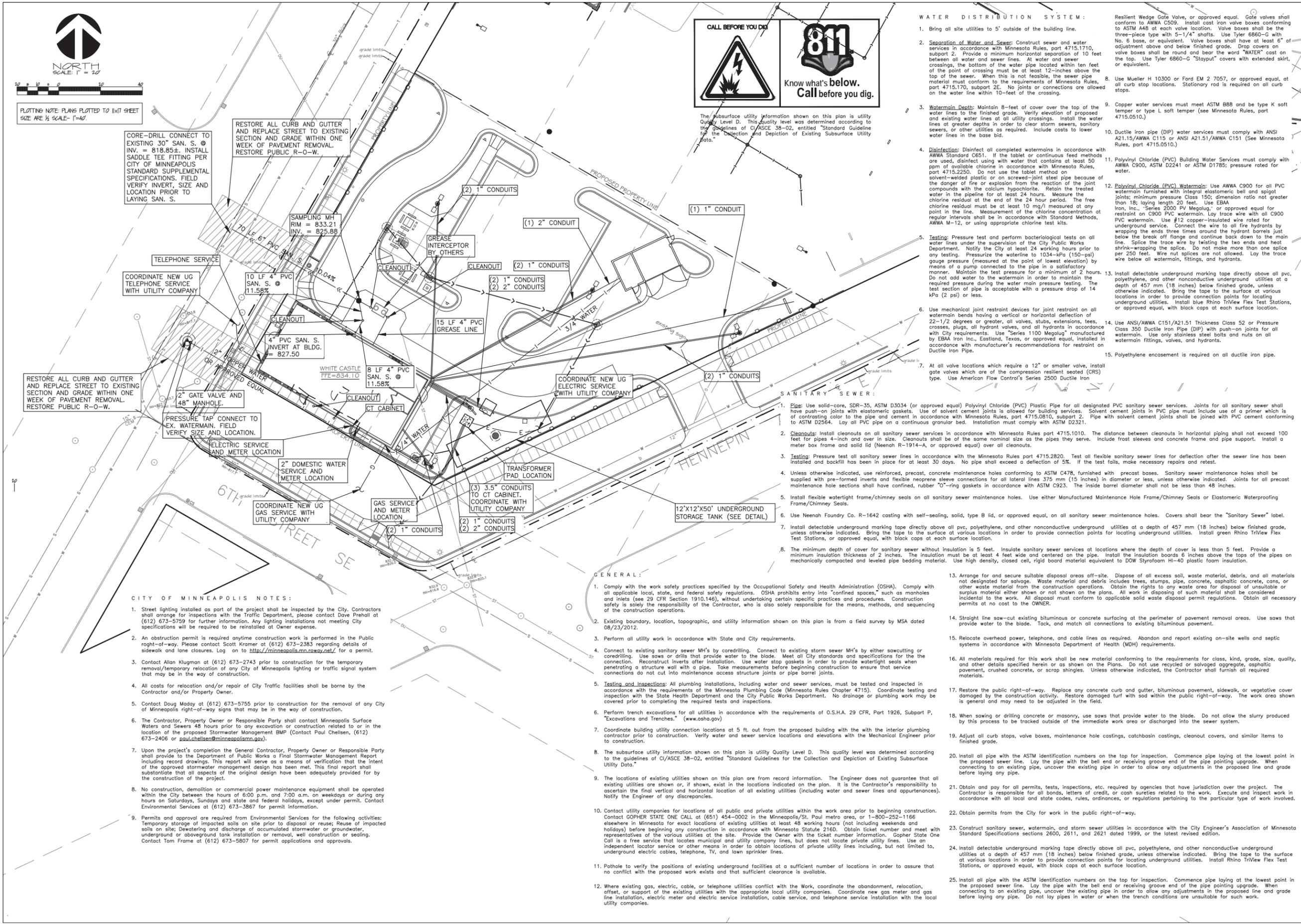
ISSUE FOR CONSTRUCTION:	
ISSUE:	
5/24/16	SUBMITTAL
6/20/16	SUBMITTAL
PROJECT NUMBER:	15760
DRAWN BY:	ALM
CHECKED BY:	

SHEET TITLE
STORM SEWER PLAN
SP3



The subsurface utility information shown on this plan is utility Quality Level D. This quality level was determined according to the guidelines of CI/ASCE 38-02, entitled "Standard Guideline for the Collection and Depiction of Existing Subsurface Utility Data."





PLOTTING NOTE: PLANS PLOTTED TO 11x17 SHEET SIZE ARE 1/2" SCALE - 1"=40'

CORE-DRILL CONNECT TO EXISTING 30" SAN. S. @ INV. = 818.85'. INSTALL SADDLE TEE FITTING PER CITY OF MINNEAPOLIS STANDARD SUPPLEMENTAL SPECIFICATIONS. FIELD VERIFY INVERT, SIZE AND LOCATION PRIOR TO LAYING SAN. S.

RESTORE ALL CURB AND GUTTER AND REPLACE STREET TO EXISTING SECTION AND GRADE WITHIN ONE WEEK OF PAVEMENT REMOVAL. RESTORE PUBLIC R-O-W.

COORDINATE NEW UG TELEPHONE SERVICE WITH UTILITY COMPANY

RESTORE ALL CURB AND GUTTER AND REPLACE STREET TO EXISTING SECTION AND GRADE WITHIN ONE WEEK OF PAVEMENT REMOVAL. RESTORE PUBLIC R-O-W.

PRESSURE TAP CONNECT TO EX. WATERMAIN. FIELD VERIFY SIZE AND LOCATION.

ELECTRIC SERVICE AND METER LOCATION

2" DOMESTIC WATER SERVICE AND METER LOCATION

COORDINATE NEW UG GAS SERVICE WITH UTILITY COMPANY

COORDINATE NEW UG GAS SERVICE WITH UTILITY COMPANY

CITY OF MINNEAPOLIS NOTES:

- Street lighting installed as part of the project shall be inspected by the City. Contractors shall arrange for inspections with the Traffic Department, please contact Dave Prenz at (612) 673-5759 for further information. Any lighting installations not meeting City specifications will be required to be reinstated at Owner expense.
- An obstruction permit is required anytime construction work is performed in the Public right-of-way. Please contact Scott Kramer at (612) 673-2383 regarding details of sidewalk and lane closures. Log on to <http://minneapolis.mn.gov> for a permit.
- Contact Allan Klugman at (612) 673-2743 prior to construction for the temporary removal/temporary relocation of any City of Minneapolis lighting or traffic signal system that may be in the way of construction.
- All costs for relocation and/or repair of City Traffic facilities shall be borne by the Contractor and/or Property Owner.
- Contact Doug Maday at (612) 673-5755 prior to construction for the removal of any City of Minneapolis right-of-way signs that may be in the way of construction.
- The Contractor, Property Owner or Responsible Party shall contact Minneapolis Surface Waters and Sewers 48 hours prior to any excavation or construction related to or in the location of the proposed Stormwater Management BMP. (Contact Paul Chelisen, (612) 673-2406 or paul.chelisen@minneapolismn.gov).
- Upon the project's completion the General Contractor, Property Owner or Responsible Party shall provide to the Department of Public Works a Final Stormwater Management Report including record drawings. This report will serve as a means of verification that the intent of the approved stormwater management design has been met. This final report shall substantiate that all aspects of the original design have been adequately provided for by the construction of the project.
- No construction, demolition or commercial power maintenance equipment shall be operated within the City between the hours of 6:00 p.m. and 7:00 a.m. on weekdays or during any hours on Saturdays, Sundays and state and federal holidays, except under permit. Contact Environmental Services at (612) 673-3867 for permit information.
- Permits and approval are required from Environmental Services for the following activities: Temporary storage of impacted soils on site prior to disposal or reuse; Reuse of impacted soils on site; Dewatering and discharge of accumulated stormwater or groundwater; underground or aboveground tank installation or removal, well construction or sealing. Contact Tom Frame at (612) 673-5807 for permit applications and approvals.



The subsurface utility information shown on this plan is utility Quality Level D. This quality level was determined according to the guidelines of C/ASCE 38-02, entitled "Standard Guidelines for the Collection and Depiction of Existing Subsurface Utility Data."

WATER DISTRIBUTION SYSTEM:

- Bring all site utilities to 5' outside of the building line.
- Separation of Water and Sewer:** Construct sewer and water services in accordance with Minnesota Rules, part 4715.1710, subpart 2. Provide a minimum horizontal separation of 10 feet between all water and sewer lines. At water and sewer crossings, the bottom of the water pipe located within ten feet of the point of crossing must be at least 12-inches above the top of the sewer. When this is not feasible, the sewer pipe material must conform to the requirements of Minnesota Rules, part 4715.170, subpart 2E. No joints or connections are allowed on the water line within 10-feet of the crossing.
- Watermain Depth:** Maintain 8-feet of cover over the top of the water lines to the finished grade. Verify elevation of proposed and existing water lines at all utility crossings. Install the water lines at greater depths in order to clear storm sewers, sanitary sewers, or other utilities as required. Include casts to lower water lines in the base bid.
- Disinfection:** Disinfect all completed watermains in accordance with AWWA Standard C651. If the tablet or continuous feed methods are used, disinfect using water that contains at least 50 ppm of available chlorine in accordance with Minnesota Rules, part 4715.2250. Do not use the tablet method on solvent-welded plastic or on screwed-joint steel pipe because of the danger of fire or explosion from the reaction of the joint compounds with the calcium hypochlorite. Retain the treated water in the pipeline for at least 24 hours. Measure the chlorine residual at the end of the 24 hour period. The free chlorine residual must be at least 10 mg/l measured at any point in the line. Measurement of the chlorine concentration at regular intervals shall be in accordance with Standard Methods, AWWA M-12, or using appropriate chlorine test kits.
- Testing:** Pressure test and perform bacteriological tests on all water lines under the supervision of the City Public Works Department. Notify the City at least 24 working hours prior to any testing. Pressurize the waterline to 103.4-kPa (150-psi) gauge pressure (measured at the point of lowest elevation) by means of a pump connected to the pipe in a satisfactory manner. Maintain the test pressure for a minimum of 2 hours. Do not add water to the watermain in order to maintain the required pressure during the water main pressure testing. The test section of pipe is acceptable with a pressure drop of 14 kPa (2 psi) or less.
- Use mechanical joint restraint devices for joint restraint on all watermain bends having a vertical or horizontal deflection of 22-1/2 degrees or greater, all valves, stubs, extensions, tees, crosses, plugs, all hydrant valves, and all hydrants in accordance with City requirements. Use "Series 1100 Megalug" manufactured by EBAA Iron Inc., Eastland, Texas, or approved equal, installed in accordance with manufacturer's recommendations for restraint on Ductile Iron Pipe.
- At all valve locations which require a 12" or smaller valve, install gate valves which are of the compression resilient seated (CRS) type. Use American Flow Control's Series 2500 Ductile Iron

Resilient Wedge Gate Valve, or approved equal. Gate valves shall conform to AWWA C506. Install cast iron valve boxes conforming to ASTM A48 at each valve location. Valve boxes shall be the three-piece type with 5-1/4" shafts. Use Tyler 6860-G with No. 6 base, or equivalent. Valve boxes shall have at least 6" adjustment above and below finished grade. Drop covers on valve boxes shall be round and bear the word "WATER" cast on the top. Use Tyler 6860-G "Stayout" covers with extended skirt, or equivalent.

Use Mueller H 10300 or Ford EM 2 7057, or approved equal, at all curb stop locations. Stationary rod is required on all curb stops.

Copper water services must meet ASTM B88 and be type K soft temper or type L soft temper (see Minnesota Rules, part 4715.0510).

Ductile iron pipe (DIP) water services must comply with ANSI A21.15/AWWA C115 or ANSI A21.51/AWWA C151 (See Minnesota Rules, part 4715.0510).

Polyvinyl Chloride (PVC) Building Water Services must comply with AWWA C900, ASTM D2241 or ASTM D1785; Pressure rated for water.

Polyvinyl Chloride (PVC) Watermain: Use AWWA C900 for all PVC watermain furnished with integral elastomeric bell and gasket joints; minimum pressure Class 150; dimension ratio not greater than 18; laying length 20 feet. Use EBAA Iron, Inc., "Series 2000 PV Megalug," or approved equal for restraint on C900 PVC watermain. Lay trace wire with all C900 PVC watermain. Use #12 copper-insulated wire rated for underground service. Connect the wire to all fire hydrants by wrapping the ends three times around the hydrant barrels just below the break off flange and continue back down to the main line. Splice the trace wire by twisting the two ends and heat shrink-wrapping the splice. Do not make more than one splice per 250 feet. Wire nut splices are not allowed. Lay the trace wire below all watermain, fittings, and hydrants.

Install detectable underground marking tape directly above all pvc, polyethylene, and other nonconductive underground utilities at a depth of 457 mm (18 inches) below finished grade, unless otherwise indicated. Bring the tape to the surface at various locations in order to provide connection points for locating underground utilities. Install blue Rhino TrView Flex Test Stations, or approved equal, with black caps at each surface location.

Use ANSI/AWWA C151/A21.51 Thickness Class 52 or Pressure Class 350 Ductile Iron Pipe (DIP) with push-on joints for all watermain fittings, valves, and hydrants.

Polyethylene encasement is required on all ductile iron pipe.

SANITARY SEWER:

- Use solid-core, SDR-35, ASTM D3034 (or approved equal) Polyvinyl Chloride (PVC) Plastic Pipe for all designated PVC sanitary sewer services. Joints for all sanitary sewer shall have push-on joints with elastomeric gaskets. Use of solvent cement joints is allowed for building services. Solvent cement joints in PVC pipe must include use of a primer which is of contrasting color to the pipe and cement in accordance with Minnesota Rules, part 4715.0810, subpart 2. Pipe with solvent cement joints shall be joined with PVC cement conforming to ASTM D2564. Lay all PVC pipe on a continuous granular bed. Installation must comply with ASTM D2321.
- Cleanouts: Install cleanouts on all sanitary sewer services in accordance with Minnesota Rules part 4715.1010. The distance between cleanouts in horizontal piping shall not exceed 100 feet for pipes 4-inch and over in size. Cleanouts shall be of the same nominal size as the pipes they serve. Include frost sleeves and concrete frame and pipe support. Install a meter box frame and solid lid (Neneah R-1914-A, or approved equal) over all cleanouts.
- Testing: Pressure test all sanitary sewer lines in accordance with the Minnesota Rules part 4715.2820. Test all flexible sanitary sewer lines for deflection after the sewer line has been installed and backfill has been in place for at least 30 days. No pipe shall exceed a deflection of 5%. If the test fails, make necessary repairs and retest.
- Unless otherwise indicated, use reinforced, precast, concrete maintenance holes conforming to ASTM C478, furnished with precast bases. Sanitary sewer maintenance holes shall be supplied with pre-formed inverts and flexible neoprene sleeve connections for all lateral lines 375 mm (15 inches) in diameter or less, unless otherwise indicated. Joints for all precast maintenance hole sections shall have confined, rubber "O"-ring gaskets in accordance with ASTM C923. The inside barrel diameter shall not be less than 48 inches.
- Install flexible watertight frame/chimney seals on all sanitary sewer maintenance holes. Use either Manufactured Borehole Hole Frame/Chimney Seals or Elastomeric Waterproofing Frame/Chimney Seals.
- Use Neneah Foundry Co. R-1642 casting with self-sealing, solid, type B lid, or approved equal, on all sanitary sewer maintenance holes. Covers shall bear the "Sanitary Sewer" label.
- Install detectable underground marking tape directly above all pvc, polyethylene, and other nonconductive underground utilities at a depth of 457 mm (18 inches) below finished grade, unless otherwise indicated. Bring the tape to the surface at various locations in order to provide connection points for locating underground utilities. Install green Rhino TrView Flex Test Stations, or approved equal, with black caps at each surface location.
- The minimum depth of cover for sanitary sewer without insulation is 5 feet. Insulate sanitary sewer services at locations where the depth of cover is less than 5 feet. Provide a minimum insulation thickness of 2 inches. The insulation must be at least 4 feet wide and centered on the pipe. Install the insulation boards 6 inches above the tops of the pipes on mechanically compacted and leveled pipe bedding material. Use high density, closed cell, rigid board material equivalent to DOW Styrofoam HI-40 plastic foam insulation.

GENERAL:

- Comply with the work safety practices specified by the Occupational Safety and Health Administration (OSHA). Comply with all applicable local, state, and federal safety regulations. OSHA prohibits entry into "confined spaces," such as manholes and inlets (see 29 CFR, Section 1910.146), without undertaking certain specific practices and procedures. Construction safety is solely the responsibility of the Contractor, who is also solely responsible for the means, methods, and sequencing of the construction operations.
- Existing boundary, location, topographic, and utility information shown on this plan is from a field survey by MSA dated 08/23/2012.
- Perform all utility work in accordance with State and City requirements.
- Connect to existing sanitary sewer MH's by coredrilling. Connect to existing storm sewer MH's by either sawcutting or coredrilling. Use saws or drills that provide water to the blade. Meet all City standards and specifications for the connection. Reconstruct inverts after installation. Use water stop gaskets in order to provide watertight seals when penetrating a structure wall with a pipe. Take measurements before beginning construction to ensure that service connections do not cut into maintenance access structure joints or pipe barrel joints.
- Testing and Inspections:** All plumbing installations, including water and sewer services, must be tested and inspected in accordance with the requirements of the Minnesota Plumbing Code (Minnesota Rules Chapter 4715). Coordinate testing and inspection with the State Health Department and the City Public Works Department. No drainage or plumbing work may be covered prior to completing the required tests and inspections.
- Perform trench excavations for all utilities in accordance with the requirements of O.S.H.A. 29 CFR, Part 1926, Subpart P, "Excavations and Trenches." (www.osha.gov)
- Coordinate building utility connection locations at 5 ft. out from the proposed building with the interior plumbing contractor prior to construction. Verify water and sewer service locations and elevations with the Mechanical Engineer prior to construction.
- The subsurface utility information shown on this plan is utility Quality Level D. This quality level was determined according to the guidelines of C/ASCE 38-02, entitled "Standard Guidelines for the Collection and Depiction of Existing Subsurface Utility Data."
- The locations of existing utilities shown on this plan are from record information. The Engineer does not guarantee that all existing utilities are shown or, if shown, exist in the locations indicated on the plan. It is the Contractor's responsibility to ascertain the final vertical and horizontal location of all existing utilities (including water and sewer lines and appurtenances). Notify the Engineer of any discrepancies.
- Contact utility companies for locations of all public and private utilities within the work area prior to beginning construction. Contact GOPHER STATE ONE CALL at (651) 454-0002 in the Minneapolis/St. Paul metro area, or 1-800-252-1166 elsewhere in Minnesota for exact locations of existing utilities at least 48 working hours (not including weekends and holidays) before beginning any construction in accordance with Minnesota Statute 216D. Obtain ticket number and meet with representatives of the various utilities at the site. Provide the ticket number information. Gopher State One Call is a free service that locates municipal and utility company lines, but does not locate private utility lines. Use an independent locator service or other means in order to obtain locations of private utility lines including, but not limited to, underground electric cables, telephone, TV, and lawn sprinkler lines.
- Pothole to verify the positions of existing underground facilities at a sufficient number of locations in order to assure that no conflict with the proposed work exists and that sufficient clearance is available.
- Where existing gas, electric, cable, or telephone utilities conflict with the Work, coordinate the abandonment, relocation, offset, or support of the existing utilities with the appropriate local utility companies. Coordinate new gas meter and gas line installation, electric meter and electric service installation, cable service, and telephone service installation with the local utility companies.

13. Arrange for and secure suitable disposal areas off-site. Dispose of all excess soil, waste material, debris, and all materials not designated for salvage. Waste material and debris includes trees, stumps, pipe, concrete, asphaltic concrete, cans, or other waste material from the construction operations. Obtain the rights to any waste area for disposal of unsuitable or surplus material either shown or not shown on the plans. All work in disposing of such material shall be considered incidental to the work. All disposal must conform to applicable solid waste disposal permit regulations. Obtain all necessary permits at no cost to the OWNER.

14. Straight line saw-cut existing bituminous or concrete surfacing at the perimeter of pavement removal areas. Use saws that provide water to the blade. Tack, and match all connections to existing bituminous pavement.

15. Relocate overhead power, telephone, and cable lines as required. Abandon and report existing on-site wells and septic systems in accordance with Minnesota Department of Health (MDH) requirements.

16. All materials required for this work shall be new material conforming to the requirements for class, kind, grade, size, quality, and other details specified herein or as shown on the Plans. Do not use recycled or salvaged aggregate, asphaltic pavement, crushed concrete, or scrap shingles. Unless otherwise indicated, the Contractor shall furnish all required materials.

17. Restore the public right-of-way. Replace any concrete curb and gutter, bituminous pavement, sidewalk, or vegetative cover damaged by the construction activity. Restore damaged turf with sod within the public right-of-way. The work area shown is general and may need to be adjusted in the field.

18. When sawing or drilling concrete or masonry, use saws that provide water to the blade. Do not allow the slurry produced by this process to be tracked outside of the immediate work area or discharged into the sewer system.

19. Adjust all curb stops, valve boxes, maintenance hole castings, catchbasin castings, cleanout covers, and similar items to finished grade.

20. Install all pipe with the ASTM identification numbers on the top for inspection. Commence pipe laying at the lowest point in the proposed sewer line. Lay the pipe with the bell end or receiving groove end of the pipe pointing upgrade. When connecting to an existing pipe, uncover the existing pipe in order to allow any adjustments in the proposed line and grade before laying any pipe.

21. Obtain and pay for all permits, tests, inspections, etc. required by agencies that have jurisdiction over the project. The Contractor is responsible for all bonds, letters of credit, or cash sureties related to the work. Execute and inspect work in accordance with all local and state codes, rules, ordinances, or regulations pertaining to the particular type of work involved.

22. Obtain permits from the City for work in the public right-of-way.

23. Construct sanitary sewer, watermain, and storm sewer utilities in accordance with the City Engineer's Association of Minnesota Standard Specifications sections 2600, 2611, and 2621 dated 1999, or the latest revised edition.

24. Install detectable underground marking tape directly above all pvc, polyethylene, and other nonconductive underground utilities at a depth of 457 mm (18 inches) below finished grade, unless otherwise indicated. Bring the tape to the surface at various locations in order to provide connection points for locating underground utilities. Install Rhino TrView Flex Test Stations, or approved equal, with black caps at each surface location.

25. Install all pipe with the ASTM identification numbers on the top for inspection. Commence pipe laying at the lowest point in the proposed sewer line. Lay the pipe with the bell end or receiving groove end of the pipe pointing upgrade. When connecting to an existing pipe, uncover the existing pipe in order to allow any adjustments in the proposed line and grade before laying any pipe. Do not lay pipes in water or when the trench conditions are unsuitable for such work.

WHITE CASTLE SYSTEM, INC.
555 WEST GOODALE STREET
COLUMBUS, OHIO 43215
CONTACT: GLEN DAVIDSON
PHONE: 614.559.2651
FAX: 614.224.1787

THE INFORMATION AND DRAWINGS CONTAINED ARE THE SOLE PROPERTY OF WHITE CASTLE SYSTEM, INC. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN PERMISSION OF WHITE CASTLE SYSTEM, INC.



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
Brian H. Muldstock
Brian H. Muldstock
DATE: 6/20/16 REG. NO. 23468

PROJECT: 15760

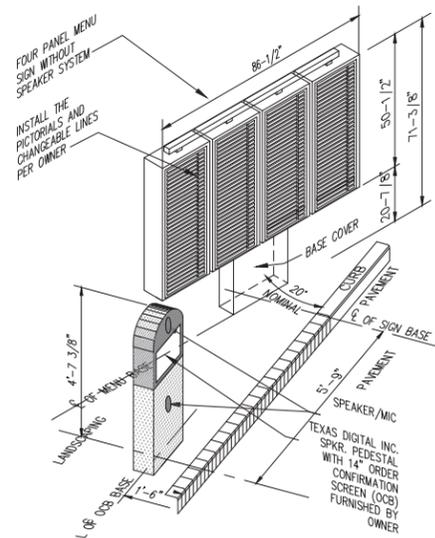


WHITE CASTLE
608 CENTRAL AVE. NE
MINNEAPOLIS, MN 55414

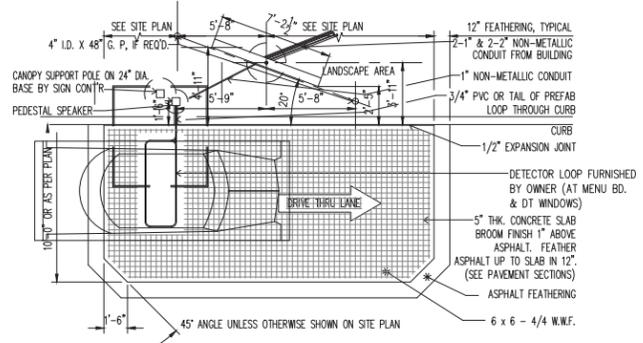
MN #29 RP

BUILDING SUBMITTAL DATE:	
ISSUE DATE:	
ISSUED FOR CONSTRUCTION:	
ISSUE:	
5/24/16	SUBMITTAL
6/20/16	SUBMITTAL
PROJECT NUMBER: 15760	
DRAWN BY: ADP	
CHECKED BY:	
SHEET TITLE	

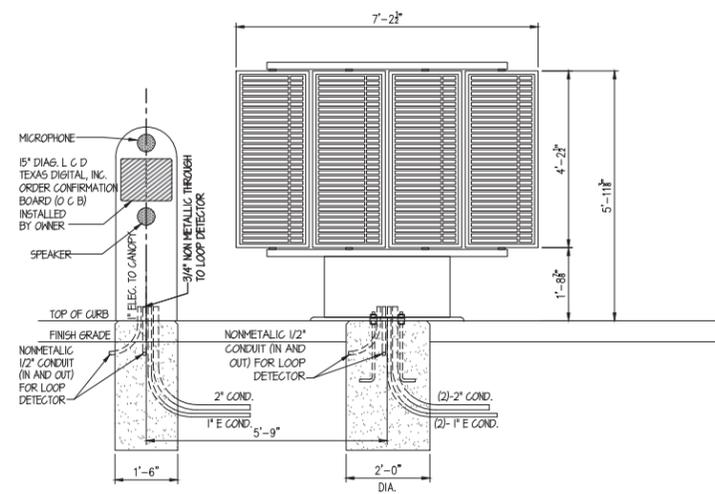
UTILITY PLAN
SP4



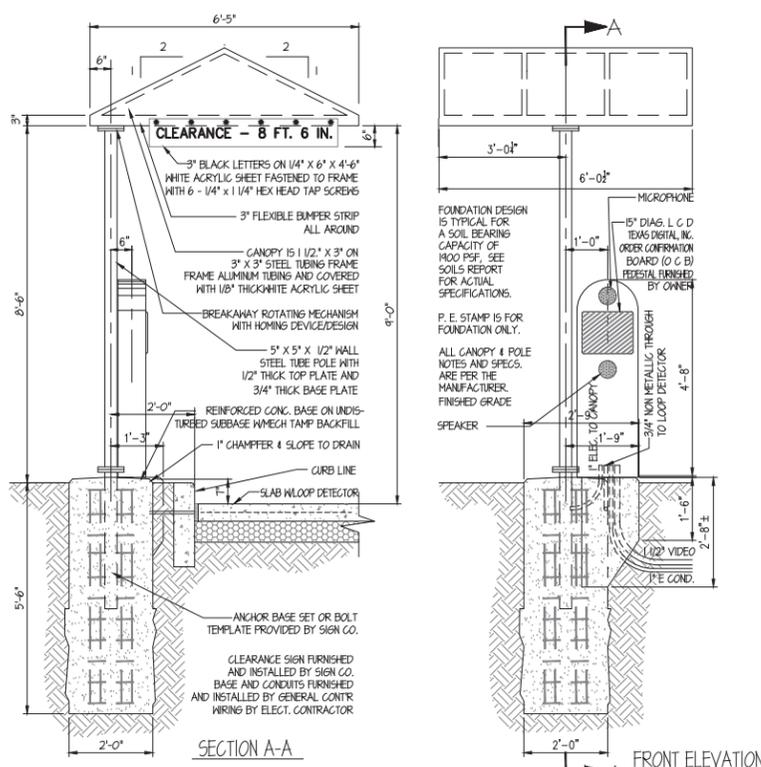
MENU SIGN WITH PEDESTAL OCB
SCALE: 3/8" = 1'-0" 1



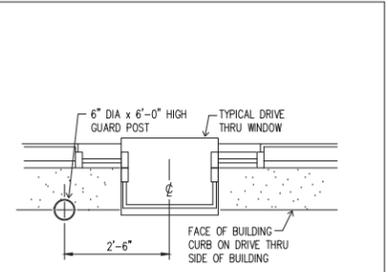
MENU ORDER SIGN W/INTEGRAL LCD SCREEN & CONCRETE APRON
SCALE: 3/16" = 1'-0" 2



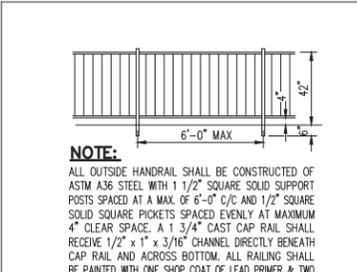
MENU BOARD & PEDESTAL OCB
SCALE: 1/2" = 1'-0" 3



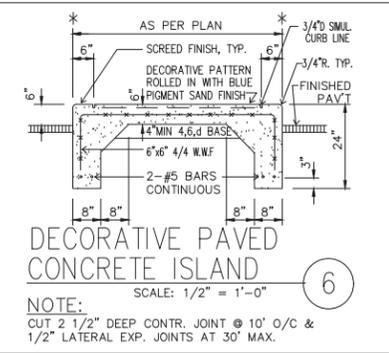
SIGN - CLEARANCE - WITH CANOPY & PEDESTAL O C B
SCALE: 1/2" = 1'-0" 4



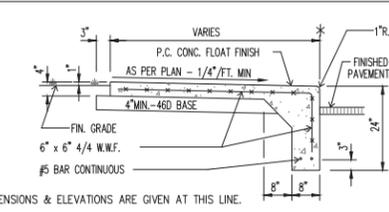
GUARD POSTS AT D.T. WINDOWS
SCALE: 1/2" = 1'-0" 5



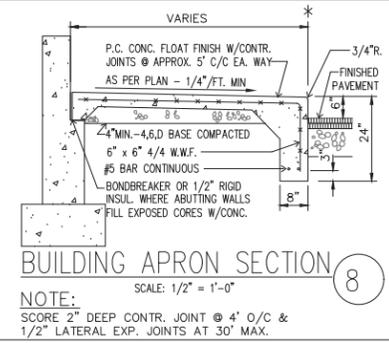
HANDRAIL DETAIL
SCALE: 1/4" = 1'-0" 6



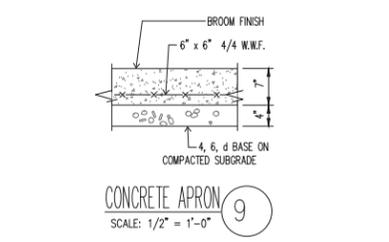
DECORATIVE PAVED CONCRETE ISLAND
SCALE: 1/2" = 1'-0" 7



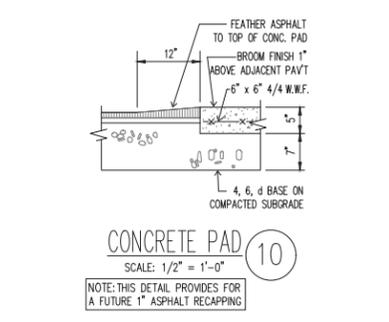
CURBED SIDEWALK DETAIL
SCALE: 1/2" = 1'-0" 8



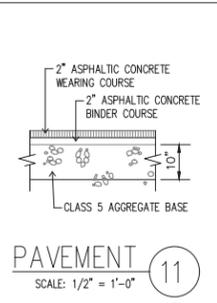
BUILDING APRON SECTION
SCALE: 1/2" = 1'-0" 9



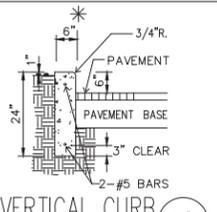
CONCRETE APRON
SCALE: 1/2" = 1'-0" 10



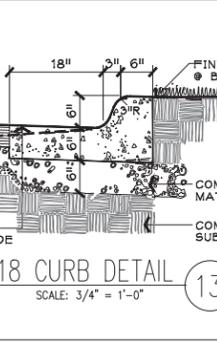
CONCRETE PAD
SCALE: 1/2" = 1'-0" 11



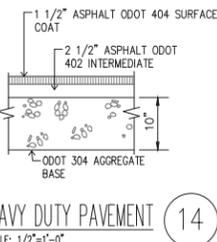
PAVEMENT
SCALE: 1/2" = 1'-0" 12



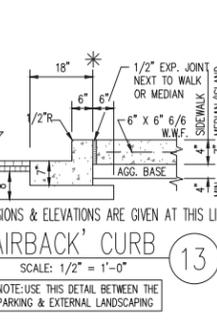
VERTICAL CURB
SCALE: 1/2" = 1'-0" 13



B6-18 CURB DETAIL
SCALE: 3/4" = 1'-0" 14



HEAVY DUTY PAVEMENT
SCALE: 1/2" = 1'-0" 15



'CHAIRBACK' CURB
SCALE: 1/2" = 1'-0" 16

WHITE CASTLE SYSTEM, INC.
555 WEST GOODALE STREET
COLUMBUS, OHIO 43215
CONTACT: GLEN DAVIDSON
PHONE: 614.559.2651
FAX: 614.224.1787

INSITES
SITE PLANNING LANDSCAPE ARCHITECTURE
3030 Harbor Lane North, Suite 131
Plymouth, Minnesota 55447
763.383.8400
Fax: 763.383.8440

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision, and that I am a duly licensed Landscape Architect under the laws of the State of Minnesota.

Signed: Robert J. Mueller
Date: 1-23-15 Reg. No. 19306

PROJECT: 15760



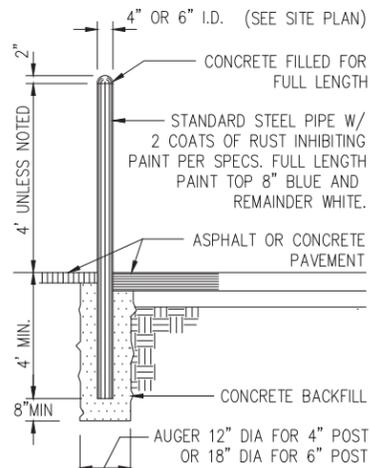
WHITE CASTLE
608 CENTRAL AVE. NE
MINNEAPOLIS, MN 55414

MN #29 RP
BUILDING SUBMITTAL DATE:
BD DATE:
ISSUED FOR CONSTRUCTION:
ISSUE:
5/24/15 SUBMITTAL
6/20/15 SUBMITTAL

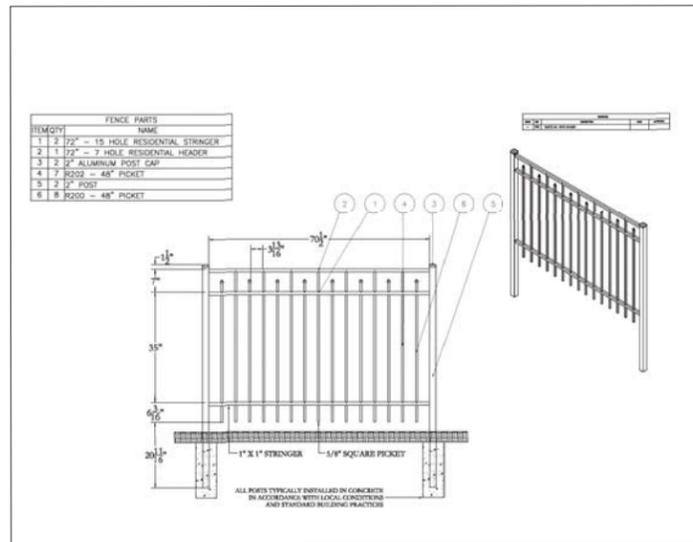
PROJECT NUMBER: 15760
DRAWN BY: ALM
CHECKED BY:
SHEET TITLE:

SP5

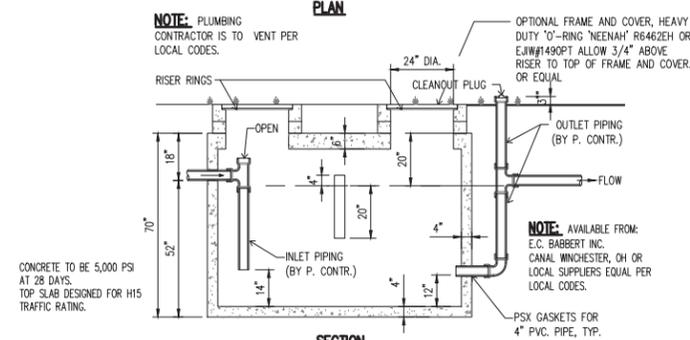
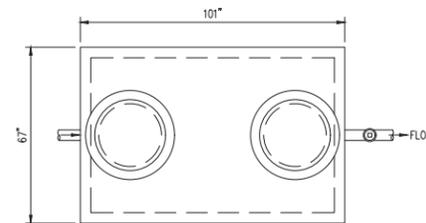
DETAIL SHEET



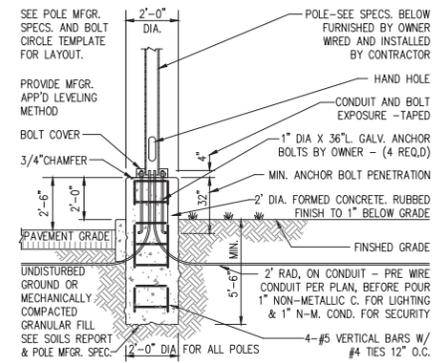
PIPE BOLLARD
SCALE: 3/8" = 1'-0" ①



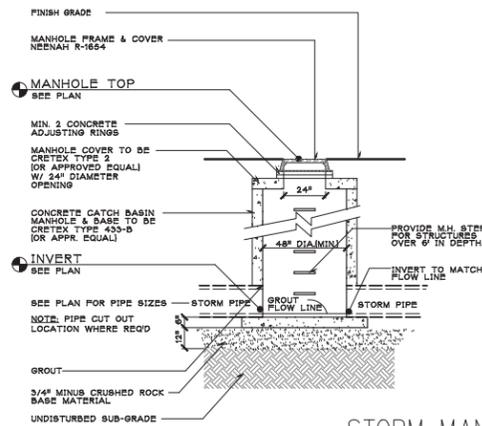
48" DECORATIVE METAL FENCE
NOT TO SCALE ④



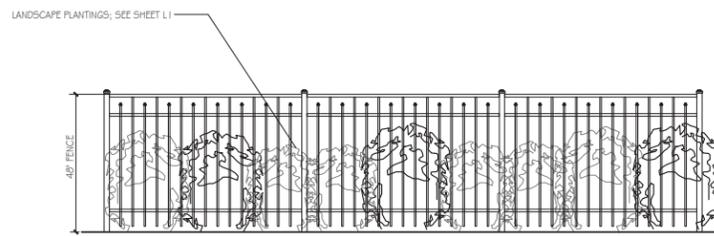
1000 GAL. GREASE INTERCEPTOR
3/8" = 1'-0" ⑦



LIGHT POLE BASE - SECTION
SCALE: 1/4" = 1'-0" ②

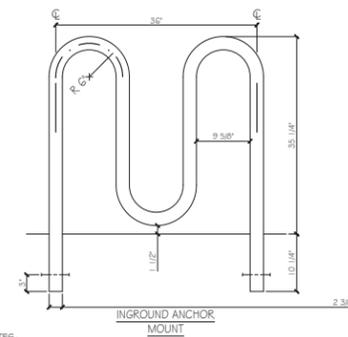


STORM MANHOLE
SCALE: 1/4" = 1'-0" ⑤

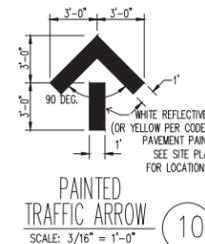


ILLUSTRATIVE FENCE WITH PLANTING
NOT TO SCALE ⑧

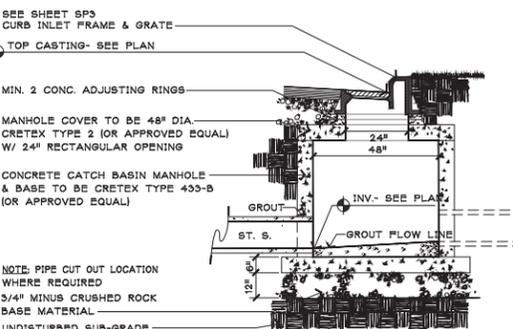
The Original **RIBBON BIKE RACK**
A A A RIBBON BIKE RACK COMPANY
521 FIFTH AVENUE, 17TH FLOOR
NEW YORK, NY 10175
TOLL FREE: 1 (800) 849-3486
www.ribbonrack.com



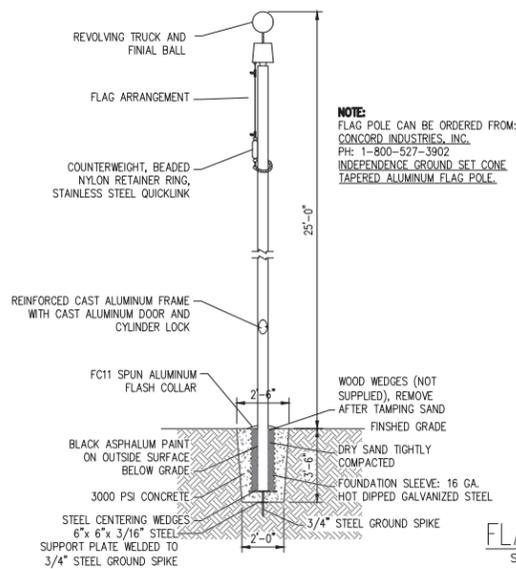
RIBBON BIKE RACK
NOT TO SCALE ⑨



PAINTED TRAFFIC ARROW
SCALE: 3/16" = 1'-0" ⑩



CATCH BASIN DETAIL
NOT TO SCALE ⑥



FLAG POLE DETAIL
SCALE: 1/4" = 1'-0" ③

WHITE CASTLE SYSTEM, INC.
555 WEST GOODALE STREET
COLUMBUS, OHIO 43215
CONTACT: GLEN DAVIDSON
PHONE: 614.559.2651
FAX: 614.224.1787

INSITES
SITE PLANNING LANDSCAPE ARCHITECTURE
3930 Harbor Lane North, Suite 131
Plymouth, Minnesota 55447
763.383.8400
Fax: 763.383.8400

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision, and that I am a duly licensed Landscape Architect under the laws of the State of Minnesota.

Signed: Robert J. Mueller
Date: 1-23-15 Reg. No. 19306

PROJECT: 15760



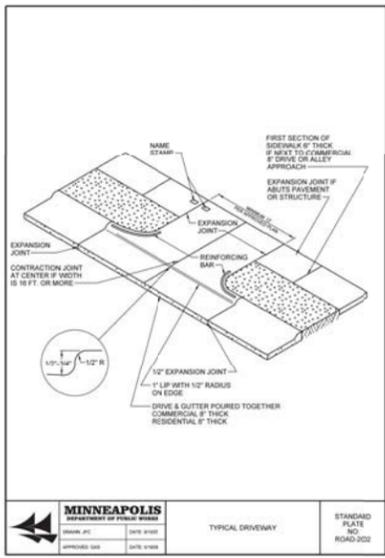
WHITE CASTLE
608 CENTRAL AVE. NE
MINNEAPOLIS, MN 55414

MN #29 RP

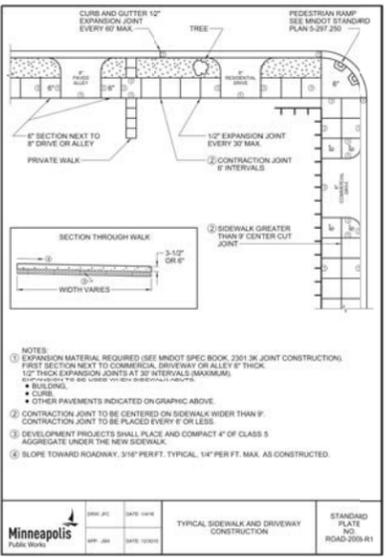
BUILDING SUBMITTAL DATE:	
ISSUED FOR CONSTRUCTION:	
ISSUE:	
5/24/15	SUBMITTAL
6/20/15	SUBMITTAL
PROJECT NUMBER: 15760	
DRAWN BY: ALM	
CHECKED BY:	
SHEET TITLE:	

SP6

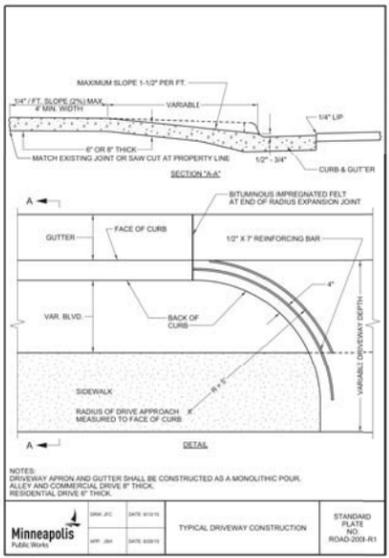
DETAIL SHEET



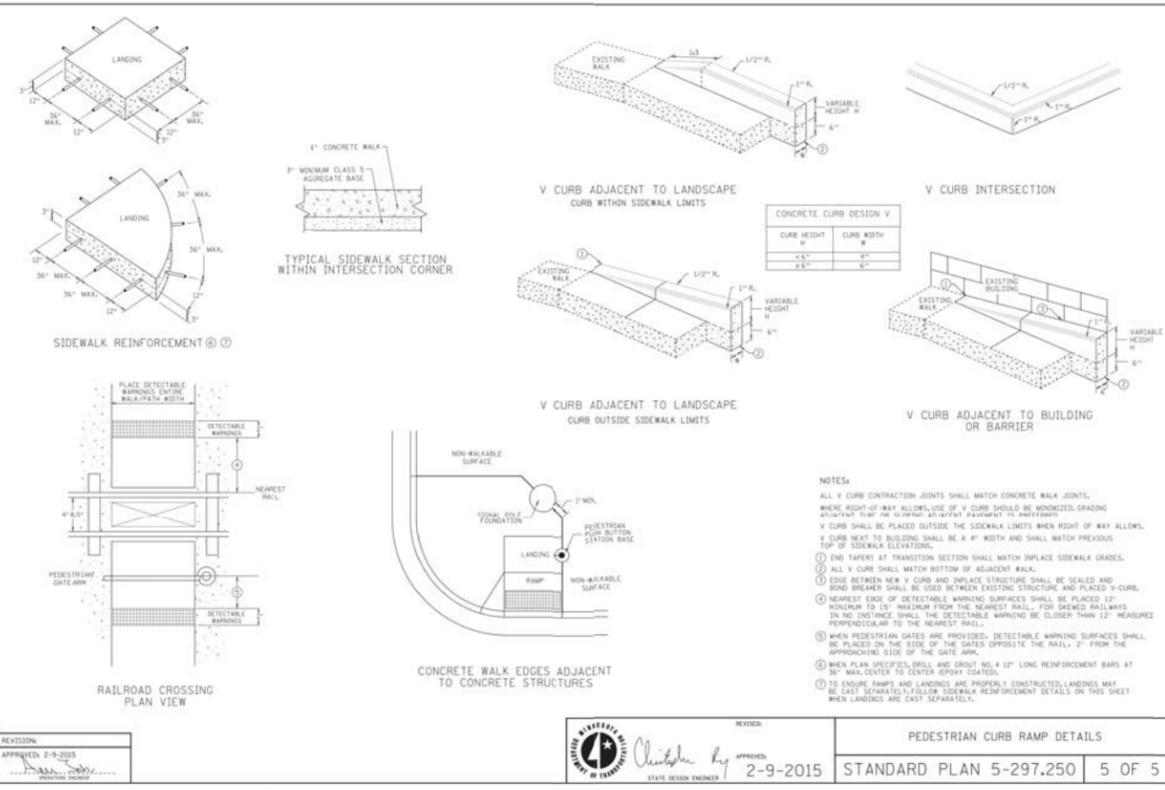
MINNEAPOLIS	STANDARD
PLANNING	PLATE
NO. 5-297-250	NO. ROAD-2022



MINNEAPOLIS	STANDARD
PLANNING	PLATE
NO. 5-297-250	NO. ROAD-2008-R1



MINNEAPOLIS	STANDARD
PLANNING	PLATE
NO. 5-297-250	NO. ROAD-2008-R1



CONCRETE CURB DESIGN V	
CURB HEIGHT	CURB WIDTH
4" - 6"	6"
8" - 12"	8"

- NOTES:
- ALL V CURB CONSTRUCTION JOINTS SHALL MATCH CONCRETE WALK JOINTS.
 - WHERE RIGHT-OF-WAY ALLOWANCE OF V CURB SHOULD BE MINIMIZED, GRADING AT WALKWAY RAMP OR SUPPORT ADJACENT PAVEMENT TO PREVENTS.
 - V CURB SHALL BE PLACED OUTSIDE THE SIDEWALK LIMITS WHEN RIGHT OF WAY ALLOWED.
 - V CURB NEXT TO BUILDING SHALL BE A 4" WIDTH AND SHALL MATCH PREVIOUS TOP OF SIDEWALK ELEVATION.
 - END TAPER AT TRANSITION SECTION SHALL MATCH IMPLACE SIDEWALK GRADE.
 - ALL V CURB SHALL MATCH BOTTOM OF ADJACENT WALK.
 - EDGE BETWEEN NEW V CURB AND IMPLACE STRUCTURE SHALL BE SEALED AND SOUND BREAKER SHALL BE USED BETWEEN EXISTING STRUCTURE AND PLACED V-CURB.
 - NEAREST EDGE OF DETECTABLE WARNING SURFACES SHALL BE PLACED 12" MINIMUM TO 15" MAXIMUM FROM THE NEAREST RAIL FOR SKEWED RAILWAYS IN NO DISTANCE SHALL THE DETECTABLE WARNING BE CLOSER THAN 12" MEASURED PERPENDICULAR TO THE NEAREST RAIL.
 - WHEN PEDESTRIAN GATES ARE PROVIDED, DETECTABLE WARNING SURFACES SHALL BE PLACED ON THE SIDE OF THE GATES OPPOSITE THE RAIL, 2' FROM THE APPROACHING SIDE OF THE GATE WALK.
 - WHEN PLUM SPECIES, DRILL AND GROUT NO. 4 12" LONG REINFORCEMENT BARS AT 30" MAX. CENTER TO CENTER EPOXY COATED.
 - TO ENSURE RAMP AND LANDINGS ARE PROPERLY CONSTRUCTED, LANDINGS MAY BE CAST SEPARATELY-FOLLOW SIDEWALK REINFORCEMENT DETAILS ON THIS SHEET WHEN LANDINGS ARE CAST SEPARATELY.

REVISIONS	APPROVED	DATE	BY
2-9-2015	[Signature]	2-9-2015	STATE DESIGN ENGINEER

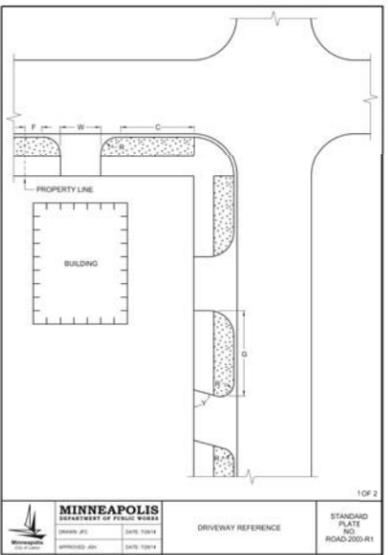
STANDARD PLAN 5-297.250	5 OF 5
-------------------------	--------

DRIVE APPROACH DIMENSIONS			
CODE	MINIMUM	MAXIMUM	
V	DRIVE APPROACH ANGLE	60-90°	60-90°
W	DRIVE APPROACH WIDTH	12' MIN.	12' MIN.
R	RADIUS OF CURVATURE OF CURB FOR DRIVE APPROACH	3' MIN.	20' MAX.
R1, R2	RADIUS OF CURVATURE	5' MIN.	30' MAX.
F	COMMON FRONTAGE CLEARANCE	5' MIN.	5' MIN.
G	DISTANCE BETWEEN DOUBLE DRIVE APPROACHES	30' MIN.	30' MIN.
C	CORNER CLEARANCE AT THE INTERSECTION OF TWO MAJOR STREETS	30' MIN.	30' MIN.
NA	CORNER CLEARANCE AT ALL OTHER INTERSECTIONS	20' MIN.	20' MIN.
NA	CLEARANCE FROM BUS STOP ZONE	60' MIN.	40' MIN.

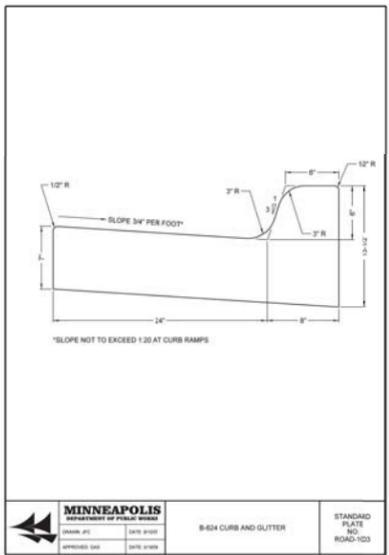
NOTE: PERIODIC CHANGES IN THE ABOVE DIMENSIONS WILL BE MADE AS NECESSARY TO IMPROVE TRAFFIC AND SAFETY ON THE PUBLIC STREETS AND SIDEWALKS.

*OR AS APPROVED BY THE CITY ENGINEER.

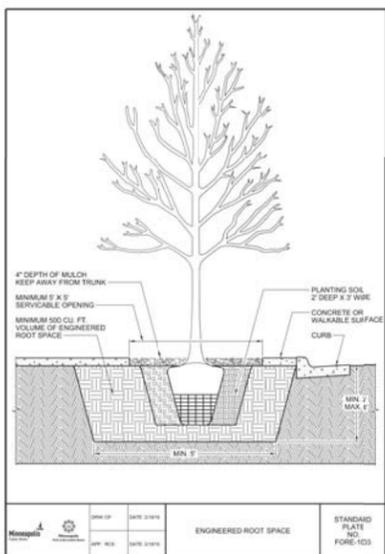
MINNEAPOLIS	STANDARD
PLANNING	PLATE
NO. 5-297-250	NO. ROAD-2008-R1



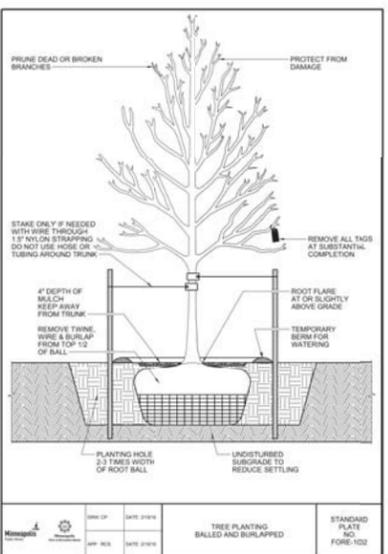
MINNEAPOLIS	STANDARD
PLANNING	PLATE
NO. 5-297-250	NO. ROAD-2008-R1



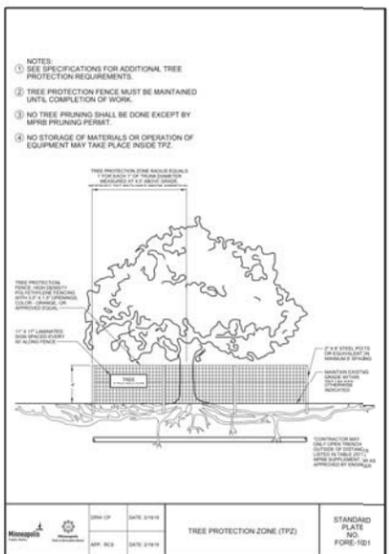
MINNEAPOLIS	STANDARD
PLANNING	PLATE
NO. 5-297-250	NO. ROAD-1023



MINNEAPOLIS	STANDARD
PLANNING	PLATE
NO. 5-297-250	NO. FORE-103



MINNEAPOLIS	STANDARD
PLANNING	PLATE
NO. 5-297-250	NO. FORE-102



MINNEAPOLIS	STANDARD
PLANNING	PLATE
NO. 5-297-250	NO. FORE-101

WHITE CASTLE SYSTEM, INC.
 555 WEST GOODALE STREET
 COLUMBUS, OHIO 43215
 CONTACT: GLEN DAVIDSON
 PHONE: 614.559.2651
 FAX: 614.224.1787

INSITES
 SITE PLANNING LANDSCAPE ARCHITECTURE
 3030 Harbor Lane North, Suite 131
 Plymouth, Minnesota 55447
 763.383.8400
 fax: 763.383.8440

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision, and that I am a duly licensed Landscape Architect under the laws of the State of Minnesota.

Signed: Robert J. Mueller
 Date: 1-23-15 Reg. No. 19306

PROJECT: 15760



WHITE CASTLE
 608 CENTRAL AVE. NE
 MINNEAPOLIS, MN 55414

BUILDING SUBMITTAL DATE:	
ISSUE FOR CONSTRUCTION:	
ISSUE:	
5/24/15	SUBMITTAL
6/20/15	SUBMITTAL
PROJECT NUMBER: 15760	
DRAWN BY: ALM	
CHECKED BY:	
SHEET TITLE	

SP8

DETAIL SHEET

Estimated Preliminary Erosion Control Quantities
(actual quantities subject to change)

Item	Quantity
Rock Construction Entrance	260 sq.yd.
Silt Sack	7(total catch basins to protect)
Erosion Control Blanket(basin)	--- sq.yd.
Rip Rap	-- cu. yd.
Silt Fence	570 l.f.
Rock Filtration dikes	-- l.f.
Bio Roll/erosion log	660 l.f.

Note: for maintenance purposes contractor shall all sufficient quantities for repair and replacement of erosion control devices throughout all phases of the projects construction.

-ALL SILT FENCE MUST BE INSTALLED BY THE CONTRACTOR AND INSPECTED BY THE CITY PRIOR TO ANY SITE WORK.

-SITE EROSION CONTROL MEASURES MUST BE IN PLACE AT ALL TIMES. SHOULD DEVICES BE REMOVED FOR WORK ACCESS, THEY SHALL BE REINSTALLED AT THE END OF EACH WORK DAY UNTIL PAVEMENTS HAVE BEEN INSTALLED AND ALL LANDSCAPE AREAS HAVE BEEN MULCHED AND SODDED. SEEDING AREAS MUST EXHIBIT MINIMUM OF 70% SOIL COVERAGE.

-REFER TO THE SWPPP PLAN NOTES AND DETAIL SHEETS SWPPP2-4 FOR MORE INFORMATION.

CRAIG G. FILERS
WHITE CASTLE SYSTEM, INC.
555 W. GOODALE ST
COLUMBUS, OH. 43211 G
614-559-2729

CONSTRUCTION SEQUENCE

- *INSTALL EROSION/SEDIMENT CONTROL MEASURES
- *INSTALL STORMWATER MANAGEMENT AND/OR POND/SEDIMENT BASINS
- *INSTALL STORM SEWER
- *INSTALL STRUCTURES
- *INSTALL PAVEMENTS
- *INSTALL LAWN LANDSCAPE
- *FLUSH STORM SEWER
- *REMOVE EROSION CONTROL MEASURES ONLY AFTER ALL PAVEMENTS HAVE BEEN INSTALLED AND ALL SOILS HAVE BEEN STABILIZED

PROJECT DATA

PROJECT START DATE	JULY 2016
PROJECT COMPLETION DATE	JULY 2017
SITE AREA DATA	
TOTAL SITE AREA	24,636 SF
PRE-CONSTRUCTION IMPERVIOUS AREA	22,802 SF
POST-CONSTRUCTION IMPERVIOUS AREA	19,640 SF
APPROX. AREA OF LAND DISTURBANCE	100%
SITE RUNOFF COEFFICIENT	
PRE-CONSTRUCTION	95
POST-CONSTRUCTION	90
SOIL DATA	
SURFACE SOIL	URBAN LAND
SUB-SURFACE SOIL	---
DEPTH OF GROUND WATER	--FT
DOWN-STREAM TRIBUTARY	MISSISSIPPI WATERSHED TWIN CITIES

U.S. Fish and Wildlife Service
National Wetlands Inventory

May 20, 2016



Wetlands

- Freshwater Emergent
- Freshwater Forested/Shrub
- Estuarine and Marine Deepwater
- Estuarine and Marine
- Freshwater Pond
- Lake
- Riverine
- Other

User Remarks:

WHITE CASTLE SYSTEM, INC.
555 WEST GOODALE STREET
COLUMBUS, OHIO 43215
CONTACT: GLEN DAVIDSON
PHONE: 614.559.2651
FAX: 614.224.1787

INSITES
SITE PLANNING LANDSCAPE ARCHITECTURE
3030 Harbor Lane North, Suite 131
Plymouth, Minnesota 55447
763.383.8400
763.383.8440

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision, and that I am a duly licensed Landscape Architect under the laws of the State of Minnesota.

Signed _____
Robert J. Mueller
Date 1-23-15 Reg. No. 19306

PROJECT: 15760



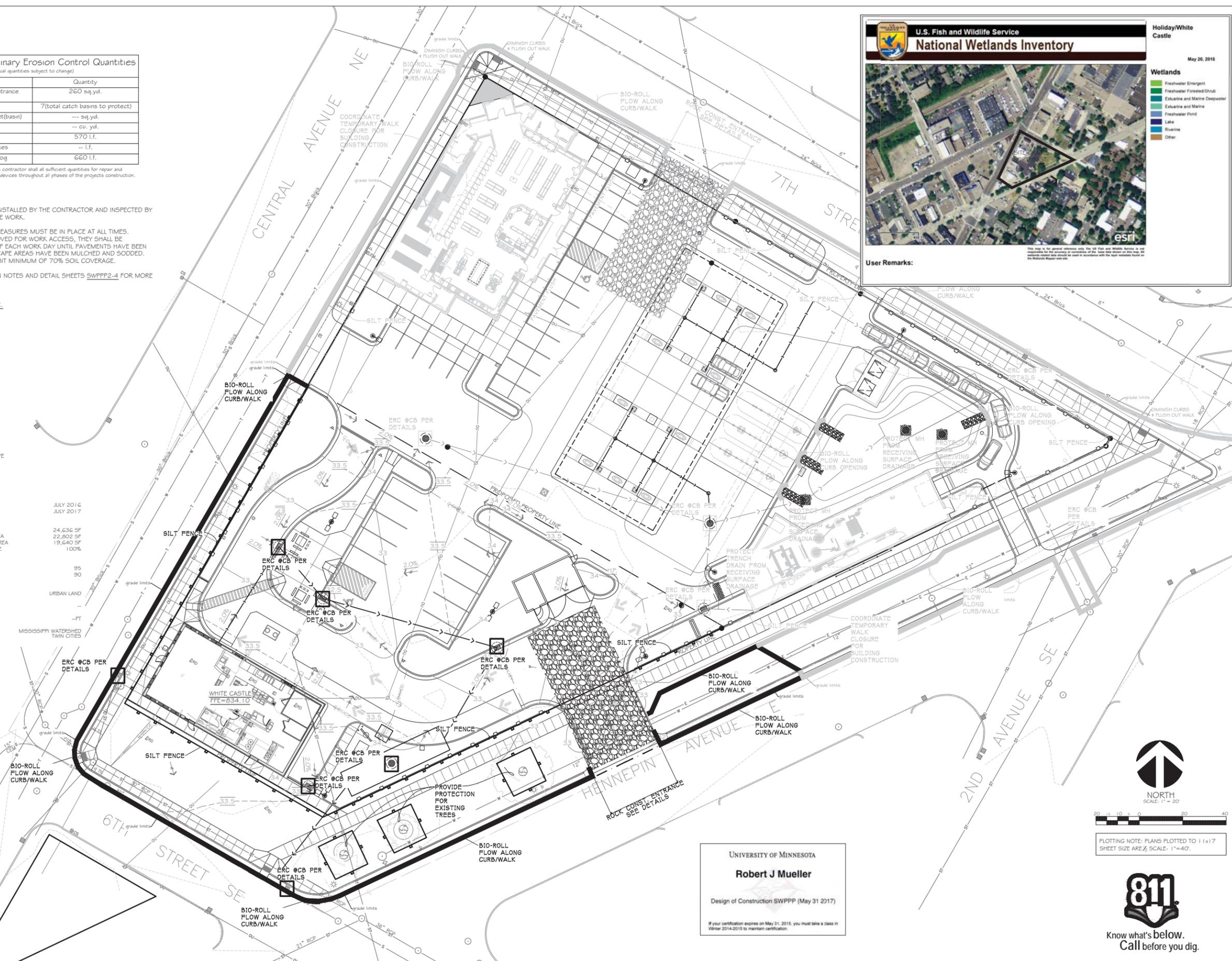
WHITE CASTLE
608 CENTRAL AVE. NE
MINNEAPOLIS, MN 55414

MN #29 RP

BUILDING SUBMITTAL DATE:	
BD DATE:	
ISSUED FOR CONSTRUCTION:	
ISSUE:	
5/24/16	SUBMITTAL
6/20/16	SUBMITTAL
PROJECT NUMBER: 15760	
DRAWN BY: ALM	
CHECKED BY:	
SHEET TITLE	

SWP 1

EROSION CONTROL PLAN



UNIVERSITY OF MINNESOTA

Robert J Mueller

Design of Construction SWPPP (May 31 2017)

If your certification expires on May 31, 2015, you must take a class in Winter 2014-2015 to maintain certification.



NORTH
SCALE: 1" = 20'



20 10 0 20 40



Know what's below.
Call before you dig.

PLOTTING NOTE: PLANS PLOTTED TO 11x17 SHEET SIZE AREA, SCALE: 1"=40'

GENERAL STORMWATER POLLUTION PREVENTION:

Apply for and obtain the General Storm Water Permit for Construction Activity from the Minnesota Pollution Control Agency.

Stormwater Pollution Prevention Plan (SWPPP): The SWPPP includes this narrative, Plan Sheets SP5, SP5.1 and SP6, and the Stormwater Management Calculations. Keep a copy of the SWPPP, all changes to it, and inspections and maintenance records at the site during the construction. During the construction process the SWPPP will have to be amended to the changes/changes performed by the contractor. The owner shall be aware of the amendments prior to changes made in the SWPPP plan. All notes, photographs, recorded dates, sketches, references, and diagrams will have to be recorded and made available as part of the SWPPP permit.

Individual(s) preparing the SWPPP for the project, overseeing implementation of the SWPPP, revising and amending the SWPPP, and at least one individual on the project performing installation, inspection, maintenance, and repairs of BMPs must be trained. The training must be done by a local, state, federal agencies, professional organization, or other entities with expertise in erosion prevention, sediment control, or permanent Stormwater management.

Responsible Parties: The contractor must designate a person knowledgeable and experienced in the application of erosion prevention and sediment control BMPs who will oversee the implementation of the SWPPP, and the installation, inspection, and maintenance of the erosion prevention and sediment control BMPs before and during construction.

Name: JAKE BAUER
Company: Holiday Companies
Address: 4567 West American Boulevard
Bloomington, MN 55437
Telephone: (952) 830-8839

The owner shall identify in the plans and permit who will have responsibility for the long term operation and maintenance of the permanent stormwater management systems.

SITE INVESTIGATION, INSTALLATION, IMPLEMENTATION :

- 1. Prior to any work, contractor shall visit the site, document existing conditions as necessary (photos, notes, etc) and note existing drainage patterns on and off site that are related to the project.
2. Install all temporary erosion and sediment control measures including silt fence, rock construction entrance(s), erosion control berms, rock filters, silt sacks, rock/earth berms, and sedimentation basins.
3. Prior to beginning site clearing and grading, protect all storm sewer inlets that receive runoff from disturbed areas.
4. Before beginning construction, install a TEMPORARY ROCK CONSTRUCTION ENTRANCE at each point where vehicles exit the construction site.
5. Avoid entire removal of trees and surface vegetation all at once whenever possible as this limits the amount of site susceptible to erosion.
6. Areas That Discharge to Special or Impaired Waters: Following initial soil disturbance or redistribution, complete permanent or temporary stabilization against erosion due to rain, wind, and running water within 7 calendar days on all disturbed or graded areas.
7. Receiving Waters - It is the contractor's responsibility to inspect the site discharge point as well as downstream to the receiving body of water.

NOTE: ALL EROSION AND SEDIMENT CONTROL DEVICES WILL BE CHECKED BY THE CONTRACTOR AFTER EACH STORM EVENT AND BE MAINTAINED, OR IMPROVED UPON AFTER EVERY STORM EVENT TO ENSURE ADEQUATE PERFORMANCE.

POLLUTION CONTROL:

- 1. Designate a Concrete Wash-out and truck wash area: Make it visible in the field to vehicle operators and note this on the SWPPP plan.
a. When washouts occur on the site, concrete washout water must be contained in a leak-proof containment facility or impermeable liner.
b. Limit external washing of trucks and other construction vehicles to a defined area preferably before the construction access/exit point.
2. Solid Waste: Properly dispose of collected sediment, asphalt and concrete millings, floating debris, paper, plastic, fabric, construction and demolition debris, and other wastes in compliance with Minnesota Pollution Control Agency requirements.
3. Hazardous Materials: Properly dispose of all waste and unused building materials (including garbage debris, cleaning wastes, oil, gasoline, paint, wastewater, toxic materials, and hazardous materials) off-site.
4. Machinery: and mechanicalized equipment that leaks waste shall have a protective barrier or containment under the device adequate to contain the waste.
5. Emergency spill station: Contractor shall locate and sign an emergency spill station that has necessary containment or cleanup devices for all workers to access.

EROSION CONTROL :

Apply necessary moisture to the construction area and haul roads to prevent the spread of dust.

Contractor shall utilize coarsely ground wood and tree mulches to cover exposed soils. Mulches shall be spread on site to supplement and use in problem areas during all phases of the construction project.

Contractor shall uses star tack or other organic substances in situations to prevent soil from eroding away by wind or rain.

Whenever possible contractor shall grade areas of soil to limit potential of erosion, to include tracking perpendicular to fall line of grades as well as diverting water flows from problematic areas on the site.

Seeding, fiber blankets, polytarps or cover mulches, disked mulches and compost can be used to cover temporarily exposed areas from wind and rain. Other methods by the contractor shall be documented in the SWPPP.

SEDIMENT CONTROL :

Inlet Sediment Control Protection Devices: The following area approved Inlet Sediment Control Devices:

- a. Road Drain Top Slab Model RD 23 (fits rough opening for 2x3' inlet), Road Drain Top Slab Model RD 27 (fits rough opening for 27" inlet), or Road Drain Top Slab Model CG 3067 (fits Neenah Casting with 35-1/4"x17-3/4" dimensions) manufactured by WIMCO, 799 Thes Drive, Shakopee, MN, 55379, Phone (952) 233-3055, or approved equal.
b. Silt Sack manufactured by ACF ENVIRONMENTAL, 2831 Cardwell Road, Richmond, VA, 23234, Phone (800) 448-3636, or approved equal.
c. InfraSafe Sediment Control Barrier. Install geotextile sock on the outside of the barrier in order to trap additional fines.
d. Ridge Bag Rock Log. Use rock logs only for curb inlets after pavement is in place.
e. Inflatable drain plugs by Interstate Products www.interstateproducts.com or approved equal.

Riprap:

Place a 450 mm (18 inch) thick layer of MNDOT 3601 Class III riprap onto a 225 mm (9 inch) thick layer of MNDOT 3601 .2.B granular filter material at locations indicated on the plan in accordance with MNDOT 251.1. Install two layers of MNDOT 3733 Type IV Geotextile fabric beneath the granular filter material. At pipe outlets configure the installation as shown on MNDOT Standard Plate No. 3133C for the size of pipe indicated and extend the geotextile fabric under the culvert apron a minimum of 3 feet.

Silt Fence:

Install silt fence along the contour (on a level horizontal plane) with the ends turned up (J-hooks) in order to help pond water behind the fence. Install the silt fence on the uphill side of the support posts. Provide a post spacing of 1.2 m (4 feet) or less. Drive posts at least 0.6 m (2 feet) into the ground. Anchor the silt fence fabric in a trench at least 152 mm (6 inches) deep and 152 mm (6 inches) wide dug on the upslope side of the support posts. Lay the fabric in the trench and then backfill and compact with a vibratory plate compactor. Make any splices in the fabric at a fence post. All splices, overlap the fabric at least 152 mm (6 inches), fold it over, and securely fasten it to the fence post. Silt fence supporting posts shall be 51 mm (2 inch) square or larger hardwood, pine, or standard T- or U-section steel posts. T- or U-section steel posts shall weigh not less than 1,8602 kg per meter (1.25 lb per lineal foot). Posts shall have a minimum length of 1524 mm (5 feet). Posts shall have projections to facilitate fastening the fabric and prevent slippage. Geotextile fabric shall meet the requirements of MNDOT Standard Specification 3086 for preassembled silt fence, furnished in a continuous roll in order to avoid splices. Geotextile fabric shall be uniform in texture and appearance and have no defects, flaws, or tears. The fabric shall contain sufficient ultraviolet (UV) ray inhibitor and stabilizers to provide a minimum two-year service life outdoors. Fabric color shall be international orange. In high traffic areas contractor shall reinforce silt fence with wire fencing and metal posts, extreme circumstances will require temporary concrete median sections to support material backing of stock piled soil or filled earth.

Install silt fence, or other effective sediment controls, around all temporary soil stockpiles. Locate soil or dirt stockpiles containing more than 10 cubic yards of material such that the downslope drainage length is no less than 6 m (25 feet) from the toe of the pile to a roadway or drainage channel. If remaining for more than seven days, stabilize the stockpiles by mulching, vegetative cover, tarps, or other means. Control erosion from all stockpiles by placing silt fence barriers around the piles. During street repair, cover construction soil or dirt stockpiles located closer than 6 m (25 feet) to a roadway or drainage channel with tarps, and protect storm sewer inlets with silt sacks or staked silt fence. Do not stock pile soil or material near catch basins or drainage ways.

Temporary Rock Construction Entrance:

Use 25 mm (1 inch) to 50 mm (2 inch) diameter rock, MNDOT Standard Specification 3137 CA-1, CA-2, CA-3, or equal Coarse Aggregate. Place the aggregate in a layer at least 152 mm (6 inches) thick across the entire width of the entrance. Extend the rock entrance at least 15 m (50 feet) into the construction zone. Use a MNDOT Standard Specification 3733 Type V permeable geotextile fabric material beneath the aggregate in order to prevent migration of soil into the rock from below. Maintain the entrance in a condition that will prevent tracking or flowing of sediment onto paved roadways. Provide periodic top dressing with additional stone as required. Close entrances not protected by temporary rock construction entrances to all construction traffic.

Temporary Sediment Basins

In the construction process or if noted on the plan the contractor shall construct temporary sediment basin(s). As per general rule the sediment basin shall be sized appropriately to a capacity related to the drainage area on a ratio of 3,600 cubic feet per acre of drainage zone entering the basin. Basins shall be inspected after every rainfall event, material removed and stabilized. If changes to the basin are made, document and amend the SWPPP plan.

DEWATERING :

If dewatering is required and sump pumps are used, all pumped water must be discharged through an erosion control facility (temporary sedimentation basin, gnt chamber, sand filter, upflow chamber, hydro-cyclone, swirl concentrator, dewatering bag or other appropriate facility) prior to leaving the construction site. Proper energy dissipation must be provided at the outlet of the pump system. Discharge clear water only. To achieve better separation of the material suspended in the water a biodegradable not toxic flocculant agent may be required. For more information and materials go to by Interstate Products www.interstateproducts.com

INSPECTIONS-MAINTENANCE-DAILY RECORD-AMEND THE SWPPP PLAN

- 1. Inspect all erosion and sediment control devices, stabilized areas, and infiltration areas on a daily basis until land-disturbing activity has ceased. Thereafter, inspect at least on a weekly basis until vegetative cover is established.
2. All inspections and maintenance activities must be recorded in writing DAILY in a detailed record(photos, sketches, etc, and kept with the SWPPP.
3. Remove all soils and sediments tracked or otherwise deposited onto adjacent property, pavement areas, sidewalks, streets, and alleys.
4. All soil hauled from the site shall be accounted for and documented in the SWPPP.
5. Maintain all temporary erosion and sediment control devices in place until the contributing drainage area has been stabilized.
6. Clean sedimentation basins, storm sewer catchbasins, ditches, and other drainage facilities as required in order to maintain their effectiveness.
7. Inspect infiltration areas to ensure that no sediment from ongoing construction activities is accumulating.
8. Every vehicle shall not track material off-site.
9. Reinforce erosion control facilities in areas where concentrated flows occur (such as swales, ditches, and areas in front of culverts and catchbasins) by backing them with snow fence, wire mesh, or stiff plastic mesh reinforcement until paving and turf establishment operations have been completed.

GENERAL SOIL STABILIZATION : (SEE LANDSCAPE PLAN FOR MORE INFORMATION)

Establishment of lawn, prairie/wildflower and/or plant bed areas will be noted on the landscape plan

to ensure stabilization of soils, restaking of sod where applicable, proper watering and much maintenance will be required. Inspect seeded or sodded areas on a timely day-to-day basis. In the event of a seeding failure, reseed and mulch the areas where the original seed has failed to grow and perform additional watering as necessary at no additional cost to the Owner. Special maintenance provisions for wild and prairie grass seeded areas as noted in the landscape plan. Promptly replace all sod that dries out to the point where it is presumed dead and all sod that has been damaged, displaced, weakened, or heavily infested with weeds at no additional cost to the Owner.

In areas to be temporarily seeded, use introduced seed mixture equivalent to MNDOT No. 250. Apply seed mixture at a rate of 78.4 kg per hectare (70 lbs per acre) in accordance with MNDOT Standard Spec. 2575. Incorporate a fertilizer (slow release type with 10 week residual) consisting of 23-0-30 (N-P-K) into the soil at an application rate of 224 kg per hectare (200 lbs per acre) by diskng prior to seeding. In problematic areas it may be necessary to us a low phosphorus organic fertilizer in cases where seeds may not germinate. If this is the case, seed and fertilizer shall be disked into the surface and mulched properly to ensure germination and uptake of the Phosphorus by the seed.

For additional reference see MNDOT Standard Spec. Table 2575-2 for season of planting introduced seed mixtures. To ensure adequate germination of the seed the work will be performed as follows: Spring- from April 1 through May 15; Fall- from August 15 to September 20; After September 20, wait until October 30 to perform dormant seeding. Dormant seeding will only be allowed if the maximum soil temperature at a depth of 25 mm (1 inch) does not exceed 4.44 degrees C (40 degrees F) in order to prevent germination.

In seeded areas with slopes steeper than 3:1 and lengths less than 15 meters (50 feet), install biodegradable erosion control blankets uniformly over the soil surface by hand within 24 hours after seeding in accordance with manufacturers recommendations. Use MNDOT Standard Spec. 3585 Straw 15, or Wood Fiber 15 type blanket.

In areas where irrigation is to be installed, contractor shall work in zones to finish grade and install the system in zones. Note- Erosion control measures shall remain in place until soils have been stabilized with sod or seeded areas that exhibit minimum of 70% lawn vegetative coverage. If silt fence has to be removed to install the irrigation system, it shall be reinstalled at the end of each work day or use bio rolls to provide protection during the installation process until lawn areas have sod and/or plant beds are mulched.

In areas to be sodded, silt fence can be removed short term for working, but exposed soil areas shall be sodded or erosion control measures shall be reinstalled at the end of each work day.

NOTE: THE PROJECTS LANDSCAPE PLAN IS PART OF THE SWPPP FOR SOIL STABILIZATION. REFERENCES SHALL BE MADE TO THE APPROVED LANDSCAPE PLAN. AMENDMENTS TO THE LANDSCAPE PLAN SHALL BE APPROVED BY THE OWNER AND DOCUMENTED AS PART OF THE SWPPP

WHITE CASTLE SYSTEM, INC.

555 WEST GOODALE STREET
COLUMBUS, OHIO 43215

CONTACT: GLEN DAVIDSON

PHONE: 614.559.2651

FAK: 614.224.1787

THE INFORMATION AND DRAWINGS CONTAINED HERE ARE THE EXCLUSIVE PROPERTY OF WHITE CASTLE SYSTEM, INC. NO PART OF THIS DRAWING OR ANY INFORMATION CONTAINED HEREIN SHOULD BE REPRODUCED OR TRANSMITTED IN ANY MANNER WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF WHITE CASTLE SYSTEM.



I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision, and that I am a duly licensed Landscape Architect under the laws of the State of Minnesota.

Signed Robert J. Mueller
Date 1-23-15 Reg. No. 19306

PROJECT: 15760



WHITE CASTLE
608 CENTRAL AVE. NE
MINNEAPOLIS, MN 55414

MN #29 RP

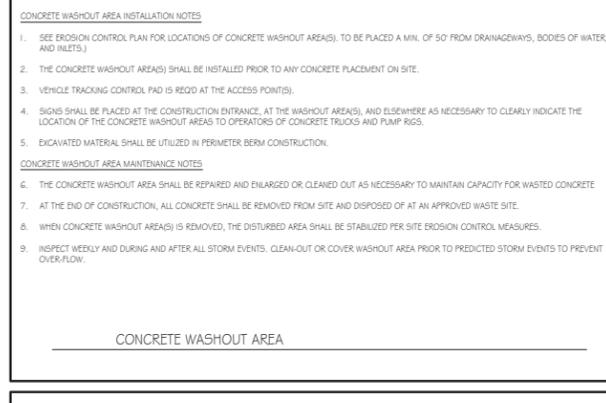
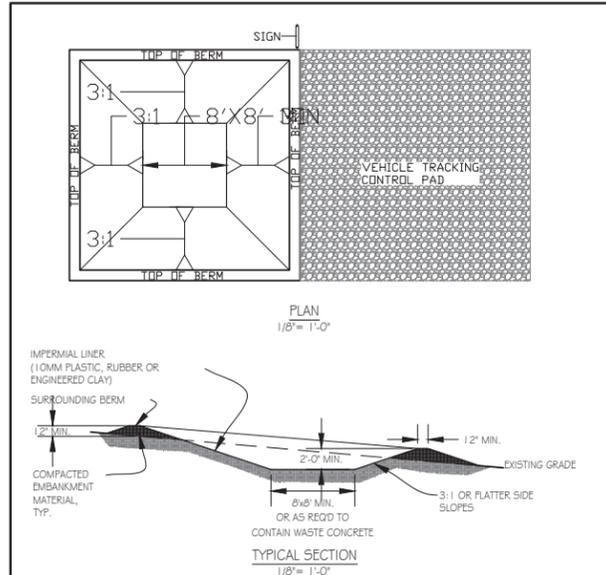
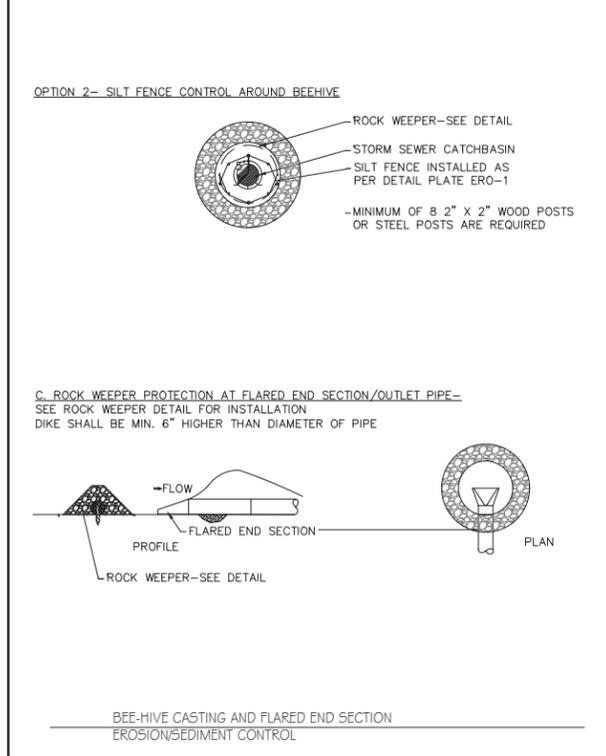
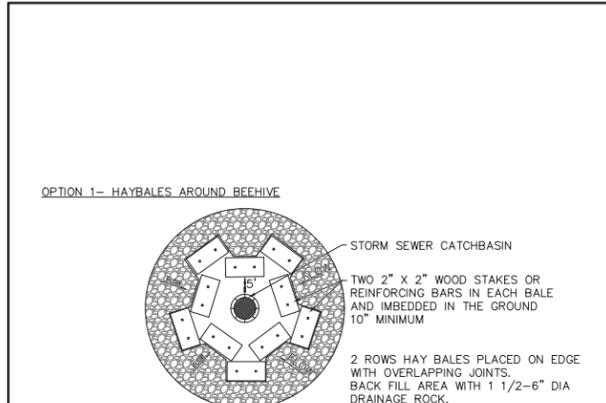
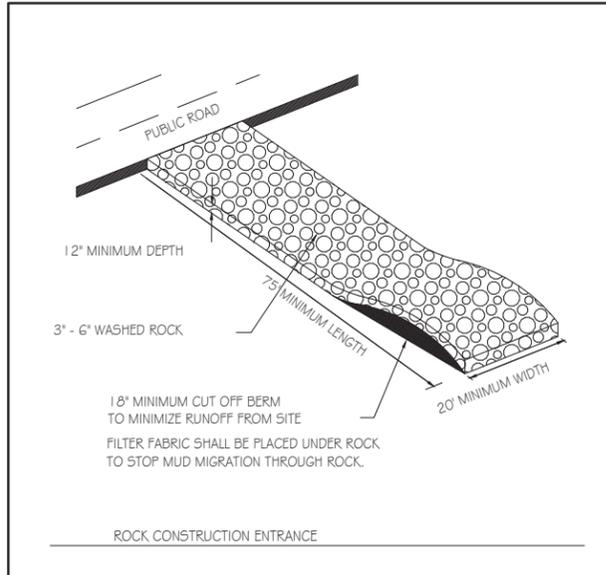
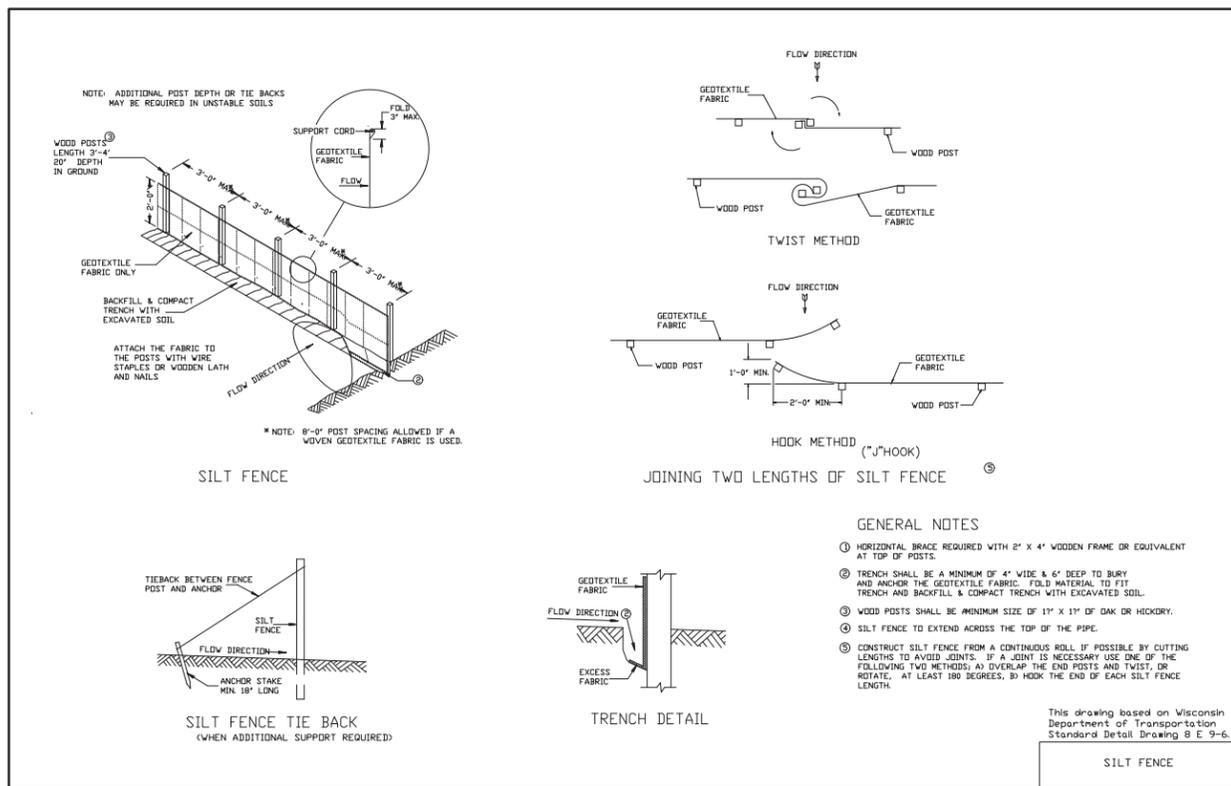
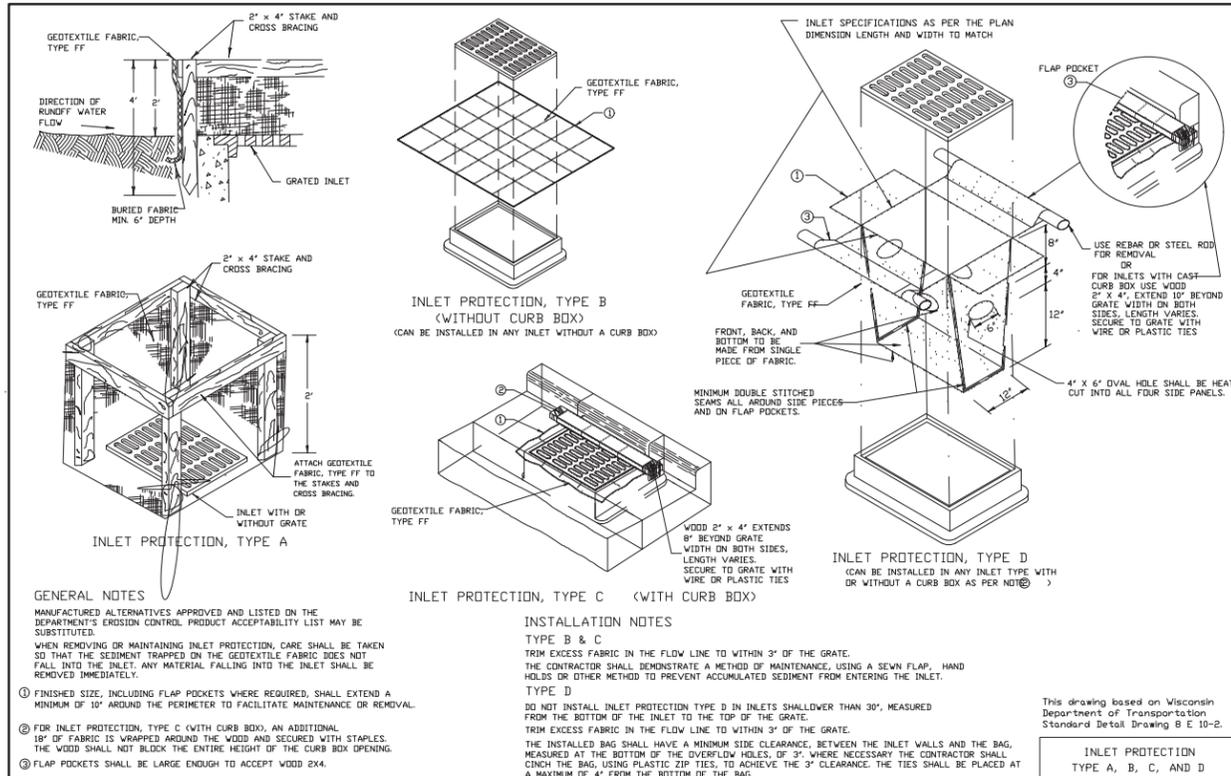
Table with columns for BUILDING SUBMITTAL DATE, ISSUE FOR CONSTRUCTION, and SHEET TITLE.

SWP2

EROSION CONTROL DETAILS

ALL EROSION CONTROL MEASURES TO BE INSTALLED AND MAINTAINED PER WDNR STANDARDS

<http://dnr.wi.gov/org/water/wm/nps/stormwater/techstds.htm>



WHITE CASTLE SYSTEM, INC.
555 WEST GOODALE STREET
COLUMBUS, OHIO 43215
CONTACT: GLEN DAVIDSON
PHONE: 614.559.2651
FAX: 614.224.1787

INSITES
SITE PLANNING LANDSCAPE ARCHITECTURE
3030 Harbor Lane North, Suite 131
Plymouth, Minnesota 55447
763.383.8400
763.383.2440

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision, and that I am a duly licensed Landscape Architect under the laws of the State of Minnesota.

Signed: Robert J. Mueller
Date: 1-23-15 Reg. No. 19306

PROJECT: 15760

WHITE CASTLE
608 CENTRAL AVE. NE
MINNEAPOLIS, MN 55414

MN #29 RP

BUILDING SUBMITAL DATE:	
ISSUED FOR CONSTRUCTION:	
ISSUE:	
5/24/16	SUBMITTAL
6/20/16	SUBMITTAL
PROJECT NUMBER:	15760
DRAWN BY:	AM
CHECKED BY:	
SHEET TITLE:	

SWP3

EROSION CONTROL DETAILS

WHITE CASTLE SYSTEM, INC.
 555 WEST GOODALE STREET
 COLUMBUS, OHIO 43215
 CONTACT: GLEN DAVIDSON
 PHONE: 614.559.2651
 FAX: 614.224.1787

THE INFORMATION AND DRAWINGS CONTAINED ARE THE EXCLUSIVE PROPERTY OF WHITE CASTLE SYSTEM, INC. AND ARE TO BE USED ONLY FOR THE PROJECT SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR REPRODUCTION IN ANY MANNER WITHOUT THE WRITTEN AUTHORIZATION OF WHITE CASTLE SYSTEM, INC. IS PROHIBITED.

INSITES
 SITE PLANNING LANDSCAPE ARCHITECTURE
 3030 Harbor Lane North, Suite 131
 Plymouth, Minnesota 55447
 763.383.8400
 Fax 763.383.8440

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision, and that I am a duly licensed Landscape Architect under the laws of the State of Minnesota.

Signed _____
 Robert J. Mueller

Date 1-23-15 Reg. No. 19306

PROJECT: 15760



WHITE CASTLE
 608 CENTRAL AVE. NE
 MINNEAPOLIS, MN 55414

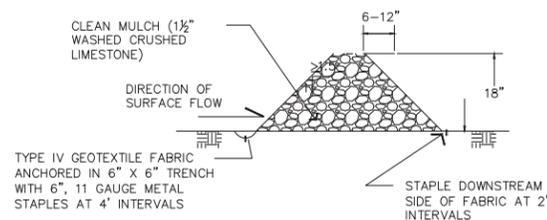
MN #29 RP

BUILDING SUBMITTAL DATE:	
ISSUED FOR CONSTRUCTION:	
ISSUE:	
5/24/15	SUBMITTAL
6/20/15	SUBMITTAL
PROJECT NUMBER: 15760	
DRAWN BY: ALM	
CHECKED BY:	
SHEET TITLE	

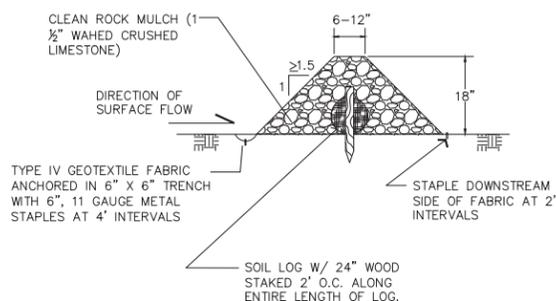
SWP4

EROSION CONTROL
 DETAILS

I. ROCK WEEPER @ MINIMAL WATER FLOWS

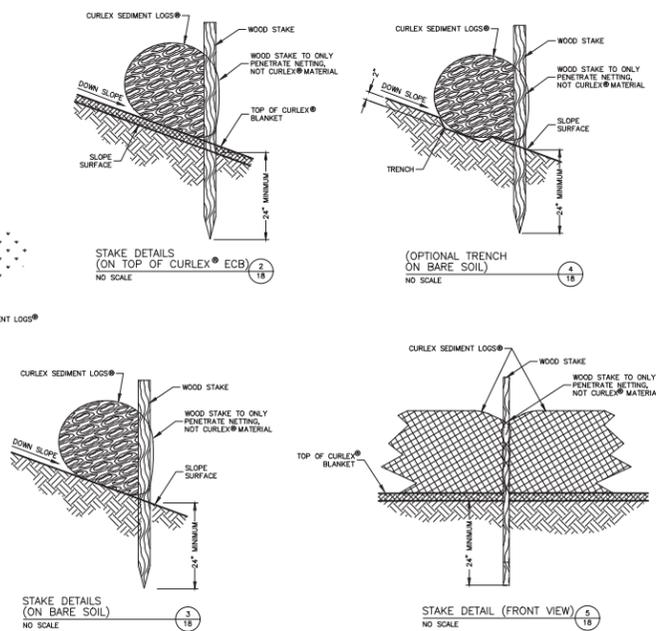
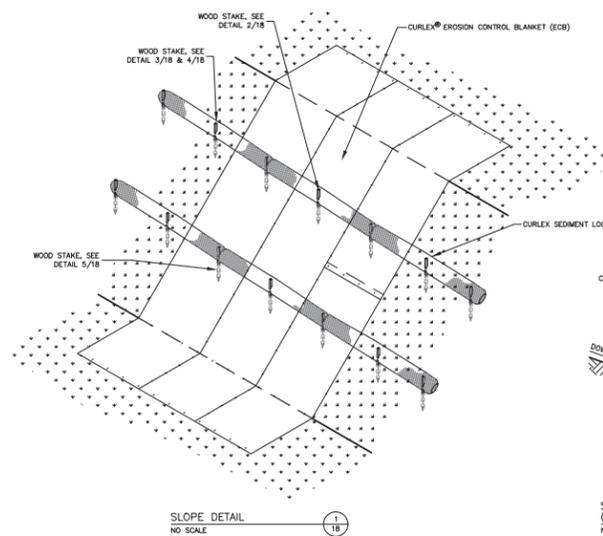


II. BIO WEEPER @ CONCENTRATED FLOWS

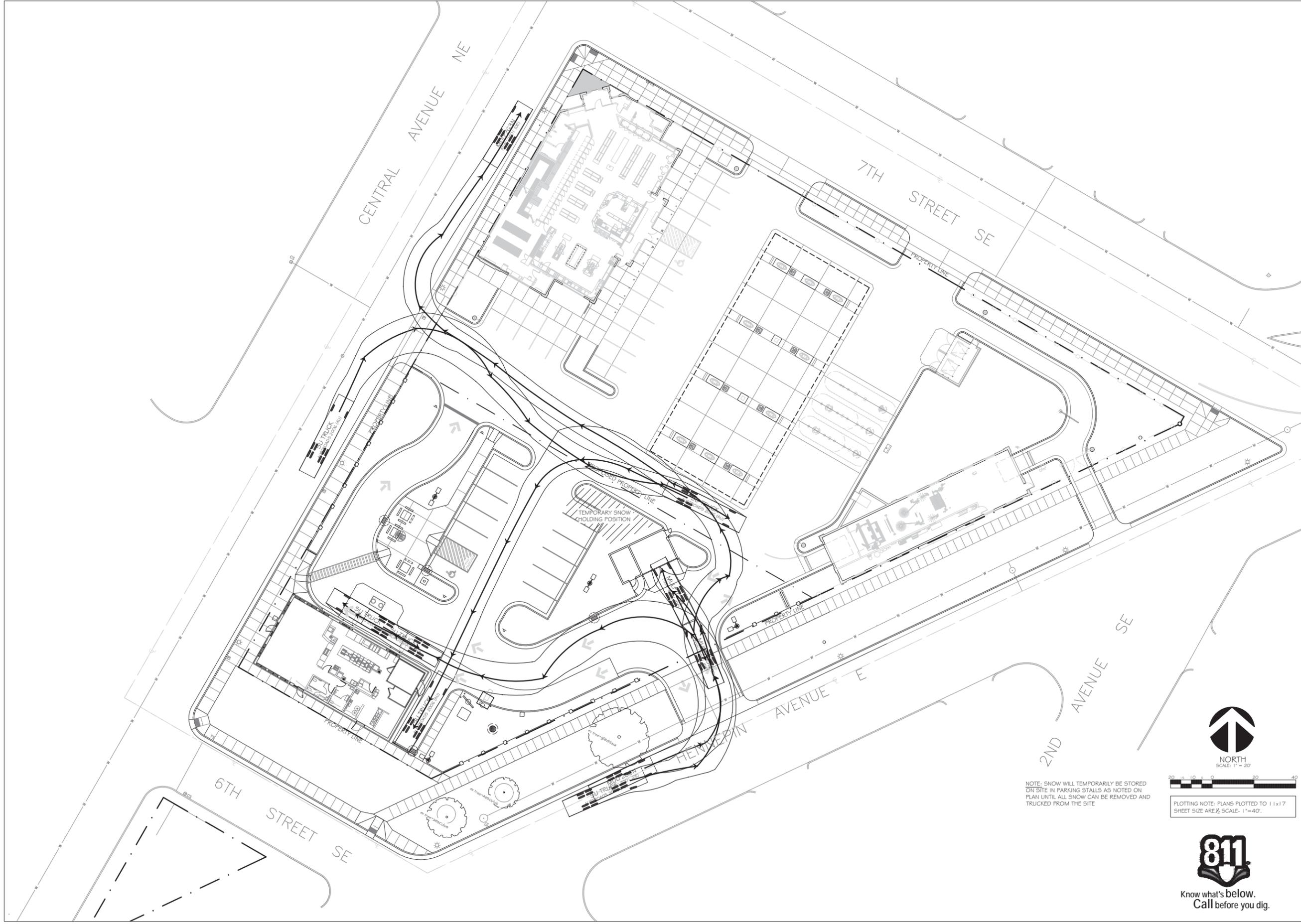


**DITCH CHECKS, ROCK WEEPERS, & ROCK BIO WEEPERS
 EROSION CONTROL**

NOTE: SEDIMENT LOGS SHALL BE "CURLLEX" BY AMERICAN EXCELSIOR COMPANY www.americalexcelior.com/erosioncontrol/ OR APPROVED EQUAL



**BIO ROLL INSTALLATION ("LOG WEEPERS")
 EROSION CONTROL**



WHITE CASTLE SYSTEM, INC.
 555 WEST GOODALE STREET
 COLUMBUS, OHIO 43215
 CONTACT: GLEN DAVIDSON
 PHONE: 614.559.2651
 FAX: 614.224.1787

INSITES
 SITE PLANNING LANDSCAPE ARCHITECTURE
 3030 Harbor Lane North, Suite 131
 Plymouth, Minnesota 55447
 763.383.8400
 Fax 763.383.8440

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision, and that I am a duly licensed Landscape Architect under the laws of the State of Minnesota.

Signed: Robert J. Mueller

Date: 1-23-15 Reg. No. 19306

PROJECT: 15760



WHITE CASTLE
 608 CENTRAL AVE. NE
 MINNEAPOLIS, MN 55414

MN #29 RP

BUILDING SUBMITTAL DATE:	
BD DATE:	
ISSUED FOR CONSTRUCTION:	
ISSUE:	
5/24/15	SUBMITTAL
6/20/15	SUBMITTAL
PROJECT NUMBER: 15760	
DRAWN BY: ALM	
CHECKED BY:	
SHEET TITLE	

SPT

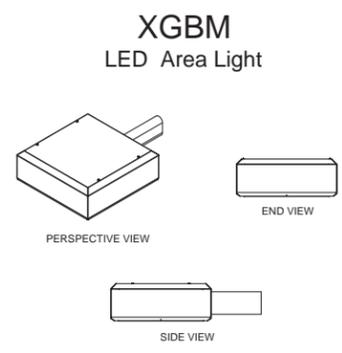
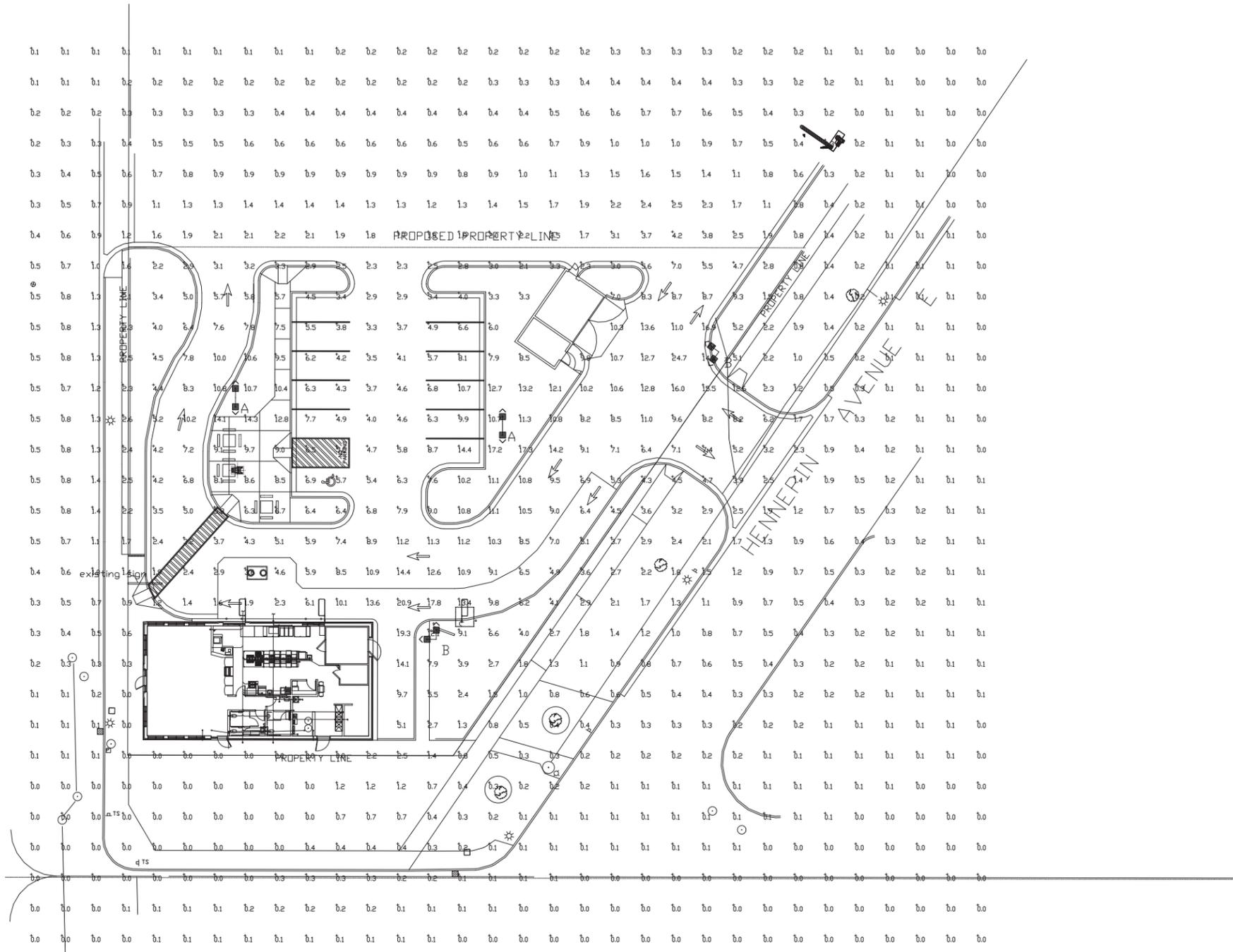
TURNING AND SNOW
 REMOVAL PLAN

NOTE: SNOW WILL TEMPORARILY BE STORED ON SITE IN PARKING STALLS AS NOTED ON PLAN UNTIL ALL SNOW CAN BE REMOVED AND TRUCKED FROM THE SITE



PLOTTING NOTE: PLANS PLOTTED TO 11x17 SHEET SIZE AREA, SCALE: 1"=40'





Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL CALC POINTS AT GRADE	Illuminance	Fc	2.24	24.7	0.0	N.A.	N.A.
PARKING/DRIVE SUMMARY	Illuminance	Fc	7.71	24.7	1.4	5.51	17.64

Luminaire Schedule								
Symbol	Qty	Label	Arrangement	Description	LLF	Lumens/Lamp	Arr. Lum. Lumens	Arr. Watts
	2	A	D180°	XGBM-FT-LED-HO-CW-D180-ON 24' POLE + 2' BASE	1.000	N.A.	58140	601.6
	2	B	2 @ 90 DEGREES	XGBM-FT-LED-HO-CW-D90 ON 24' POLE + 2' BASE	1.000	N.A.	58140	601.6

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted.

Total Project Watts
Total Watts = 2406.4

WHITE CASTLE
6TH STREET & CENTRAL
MINNEAPOLIS, MN

DATE: 5/20/16 REV: 5/26/16 SHEET 1 OF 1

SCALE: 1"=20' 0 20



FRONT ELEVATION

Gross wall area to 10' = 380 sf	Glass area = 41%
Gross wall area to 12'-6" = 475 sf	Glass area = 33%



LEFT ELEVATION

Gross wall area to 10' = 740 sf	Glass area = 23%
Gross wall area to 12'-6" = 925 sf	Glass area = 19%



REAR ELEVATION



RIGHT ELEVATION

Gross wall area to 10' = 740 sf	Glass area = 21%
Gross wall area to 12'-6" = 925 sf	Glass area = 17%

PROPOSED WHITE CASTLE RESTAURANT

608 Central Ave. NE
Minneapolis, MN 55414

PROPOSED BUILDING MATERIALS

MASONRY STONE WAINSCOT AND TOWER WITH BRICK BODY
BROWN BRICK ACCENT BANDS



WHITE CASTLE MANAGEMENT CO.
555 WEST GOODALE STREET COLUMBUS, OHIO 43215
PHONE: 614.228.5781 FAX: 614.464.0596

Context Studies



Station Store #0009
Minneapolis, MN

Committee of the Whole Submittal
June 30th, 2016

**ARCHITECTURAL
CONSORTIUM L.L.C.**

INSITES
SITE PLANNING LANDSCAPE ARCHITECTURE

Context Studies



Station Store #0009
Minneapolis, MN

Committee of the Whole Submittal
June 30th, 2016

**ARCHITECTURAL
CONSORTIUM L.L.C.**

INSITES
SITE PLANNING LANDSCAPE ARCHITECTURE

Context Studies



Station Store #0009
Minneapolis, MN

Committee of the Whole Submittal
June 30th, 2016

**ARCHITECTURAL
CONSORTIUM L.L.C.**

INSITES
SITE PLANNING LANDSCAPE ARCHITECTURE

Context Studies



Station Store #0009
Minneapolis, MN

Committee of the Whole Submittal
June 30th, 2016

**ARCHITECTURAL
CONSORTIUM L.L.C.**

INSITES
SITE PLANNING LANDSCAPE ARCHITECTURE

Context Studies



Station Store #0009
Minneapolis, MN

Committee of the Whole Submittal
June 30th, 2016

**ARCHITECTURAL
CONSORTIUM L.L.C.**

INSITES
SITE PLANNING LANDSCAPE ARCHITECTURE

White Castle South View



Station Store #0009
Minneapolis, MN

Committee of the Whole Submittal
June 30th, 2016

**ARCHITECTURAL
CONSORTIUM L.L.C.**

INSITES
SITE PLANNING LANDSCAPE ARCHITECTURE

White Castle West View



Station Store #0009
Minneapolis, MN

Committee of the Whole Submittal
June 30th, 2016

**ARCHITECTURAL
CONSORTIUM L.L.C.**

INSITES
SITE PLANNING LANDSCAPE ARCHITECTURE

This is an artists rendering. They are for discussion purposes only. See additional information for current layout, colors and materials

White Castle North View



Station Store #0009
Minneapolis, MN

Committee of the Whole Submittal
June 30th, 2016

**ARCHITECTURAL
CONSORTIUM L.L.C.**

INSITES
SITE PLANNING LANDSCAPE ARCHITECTURE

This is an artists rendering. They are for discussion purposes only. See additional information for current layout, colors and materials

Illustrative Site / Landscape Plan



**Station Store
#0009**

Minneapolis, MN

**Committee of the
Whole Submittal**

June 30th, 2016

**ARCHITECTURAL
CONSORTIUM L.L.C.**

INSITES
SITE PLANNING LANDSCAPE ARCHITECTURE



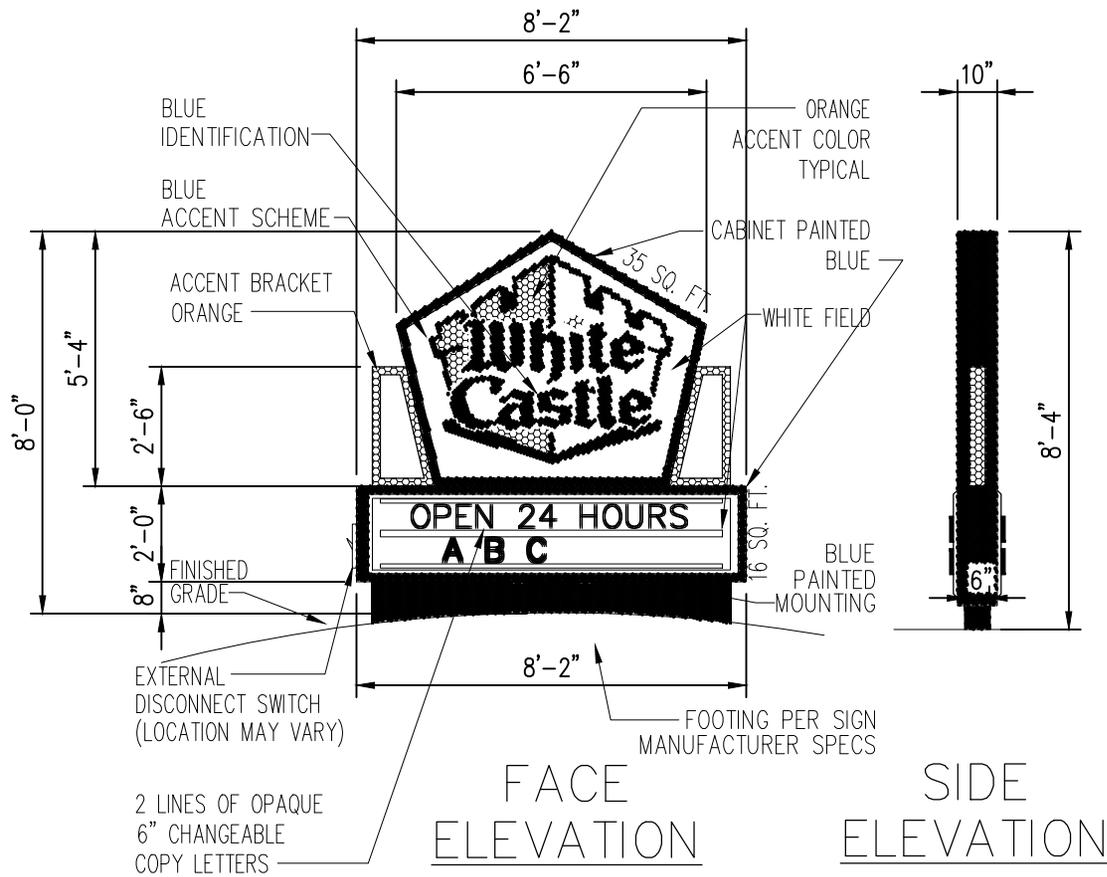








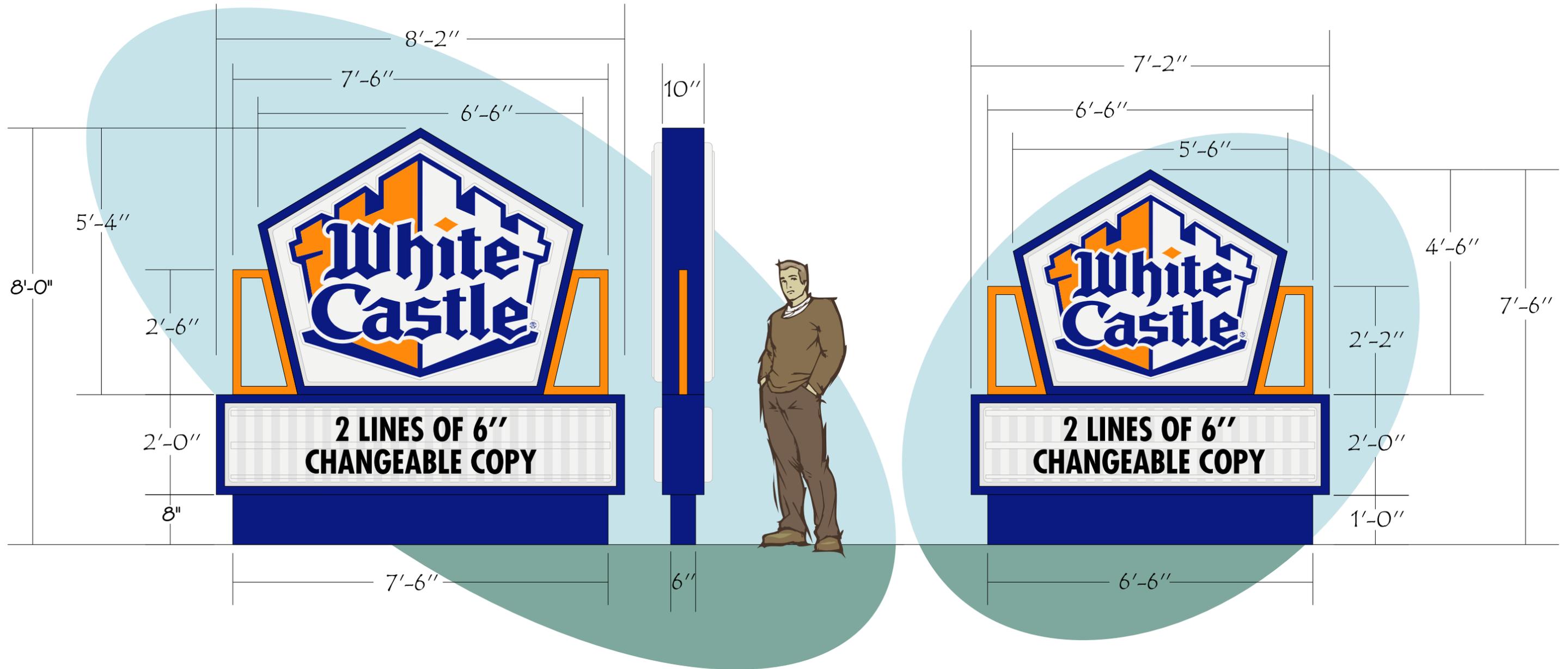




POLYGON MONUMENT 8' W/READER

2

SCALE: 1/4" = 1'-0"



INTERNALLY ILLUMINATED, DOUBLE FACE, ALUMINUM GROUND SIGN PAINTED TO MATCH PANTONE 286 BLUE, WITH DECORATIVE ACCENTS PAINTED ORANGE. TOP FACES ARE 3/16" WHITE POLYCARBONATE PAN EMBOSSED FACES DECORATED WITH 3M 3630-97 BRISTOL BLUE, AND 3M 3630-3565 ORANGE TRANSLUCENT VINYL'S. BOTTOM FACES ARE 3/16" WHITE PAN FORMED RIBBED POLYCARBONATE FACES WITH ZIP TRACK FOR 6" CHANGEABLE COPY.

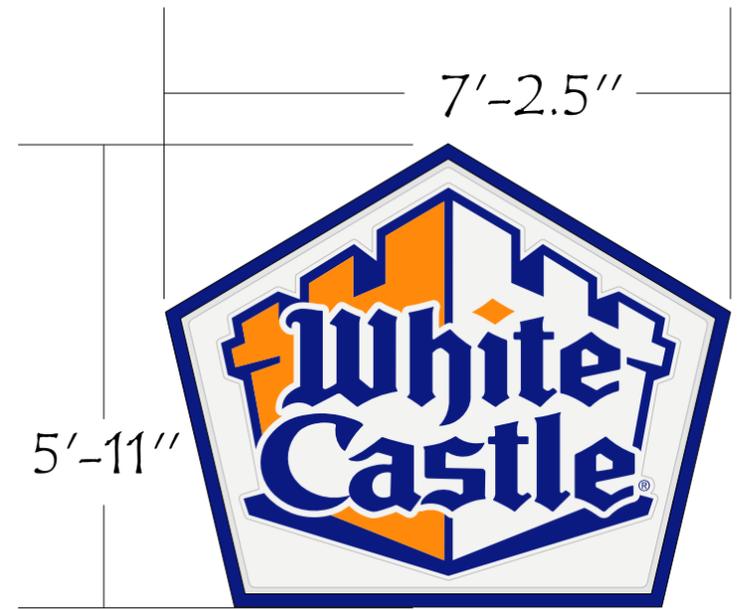
5'-11" x 7'-2.5"
 WHITE CASTLE WALL SIGN
 42.65 SQ.FT.



BRANHAM 8" SINGLE FACE EXTRUSION DIE # 6071
 WELDED WITH 1/4" FILET WELD ALL (5) CORNERS,
 (PAINTED EXTERIOR SURFACES, WITH AKZO NOBEL,
 GRIP GUARD PLUS, TO MATCH PANTONE 286 BLUE

- 3M 3630-97 BRISTOL BLUE
- 3M 3630-3565 ORANGE
- 3/16" WHITE POLYCARBONATE
- 2" RAISED PAN
- 1/2" RAISED EMBOSSED FACE

2" ALUMINUM F-MOULDING RETAINERS, DIE # 728
 (PAINTED EXTERIOR SURFACES, WITH AKZO NOBEL,
 GRIP GUARD PLUS, TO MATCH PANTONE 286 BLUE



GENERAL DESCRIPTION

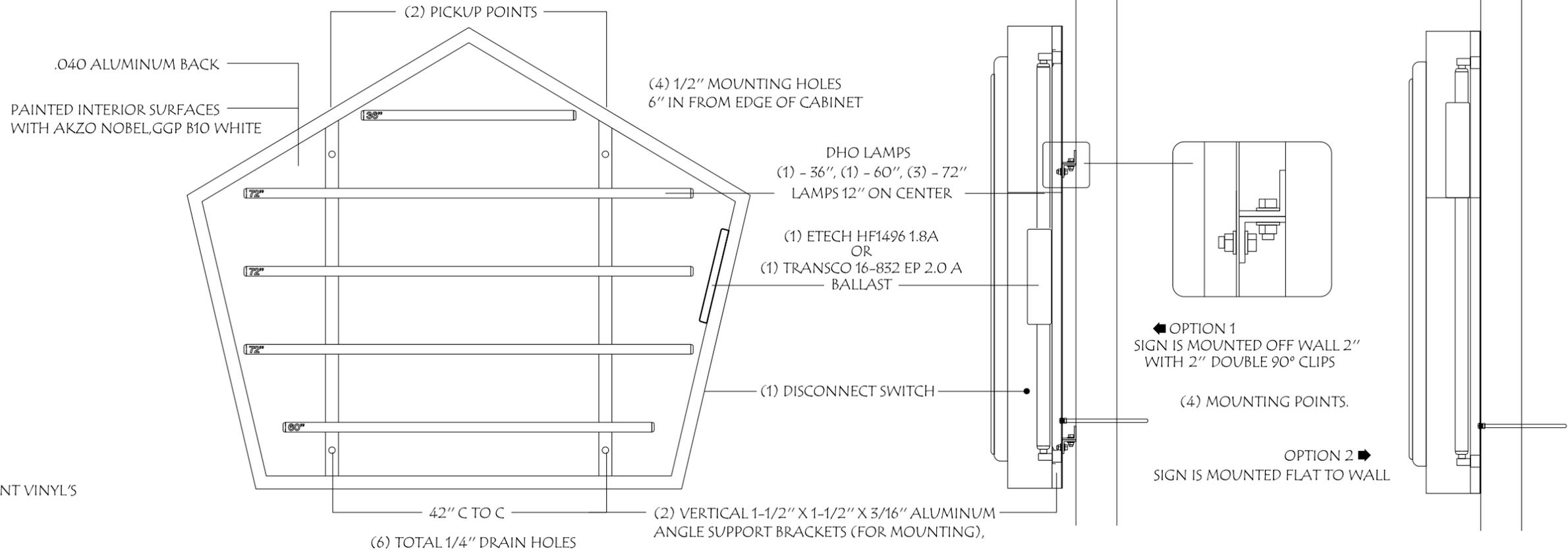
BRANHAM 8" SINGLE FACE EXTRUSION DIE # 6071
 WELDED WITH 1/4" FILET WELD ALL (5) CORNERS,
 2" ALUMINUM F-MOULDING RETAINERS, DIE # 728
 (PAINTED EXTERIOR SURFACES, WITH AKZO NOBEL,
 GRIP GUARD PLUS, TO MATCH PANTONE 286 BLUE
 PAINTED INTERIOR SURFACES, WITH AKZO NOBEL,
 GRIP GUARD PLUS, B10 WHITE

(2) VERTICAL 1-1/2" X 1-1/2" X 3/16" ALUMINUM
 ANGLE SUPPORT BRACKETS (FOR MOUNTING),
 (4) 1/2" MOUNTING HOLES 6" IN FROM EDGE OF
 CABINET AND, .040 ALUMINUM BACK

ALUMINUM SOCKET TRAYS WITH HO LAMPS
 SOCKETS (KULKA OR TRANSCO), DAYLIGHT
 HO LAMPS (1) - 24", (1) - 60", (2) - 72", (2) - 84")
 POWERED WITH (1) HF14120 2.6A OR, (1) TRANSCO
 26-1048EP 2.6A BALLAST, AND (1) DISCONNECT
 SWITCH. 1/2" X 6'-0" LONG SEALTITE WHIP OUT
 BACK OF CABINET NEAR BOTTOM. ALL ELECTRIC
 PER LOCAL CODE AND SITE REQUIREMENTS

3/16" WHITE POLYCARBONATE 2" RAISED PAN, AND
 1/2" RAISED EMBOSSED FACE, DECORATED WITH 3M
 3630-97 BRISTOL BLUE, AND 3630-3565 ORANGE TRANSLUCENT VINYL'S

SIGN HAS (2) PICKUP POINTS AND (4) MOUNTING POINTS.
 SIGN IS MOUNTED OFF WALL 2" WITH DOUBLE 90° CLIPS
 OR FLAT TO WALL



Branham Sign
 COMPANY • INCORPORATED
 A Full Service Sign Company Since 1968

CUSTOMER WHITE CASTLE 31.5 SQ. FT.	LOCATION COLUMBUS, OHIO
DATE 06032009	JOB PATH WHITECASTLE\SHOPDRAWINGS\WALLSIGNS\5-11PRINT
ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF THE SIGN CONTRACTOR AND MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF THE SIGN CONTRACTOR.	SALES TBJR
	SCALE PROPORTIONAL
	APPROVED

800-544-6726



National Sign Systems

4200 Lyman Court, Hilliard, OH 43026
www.nationalsignsystems.com



White Castle | 4 Panel Revolution Outdoor Menu with LCD

ART & DESIGN APPROVAL

- REQUIRED
- PROVIDED

Customer to provide National Sign Systems with the appropriate digital ready files. Please contact your sales person for acceptable file formats.

To ensure accurate reproduction of your order, please check this copy for design, spelling and color. National Sign Systems will not be responsible after the acceptance of this copy with an authorized signature for errors an omissions and/or hother overlooked elements.

Production of your order cannot proceed until this copy is returned APPROVED AND SIGNED.

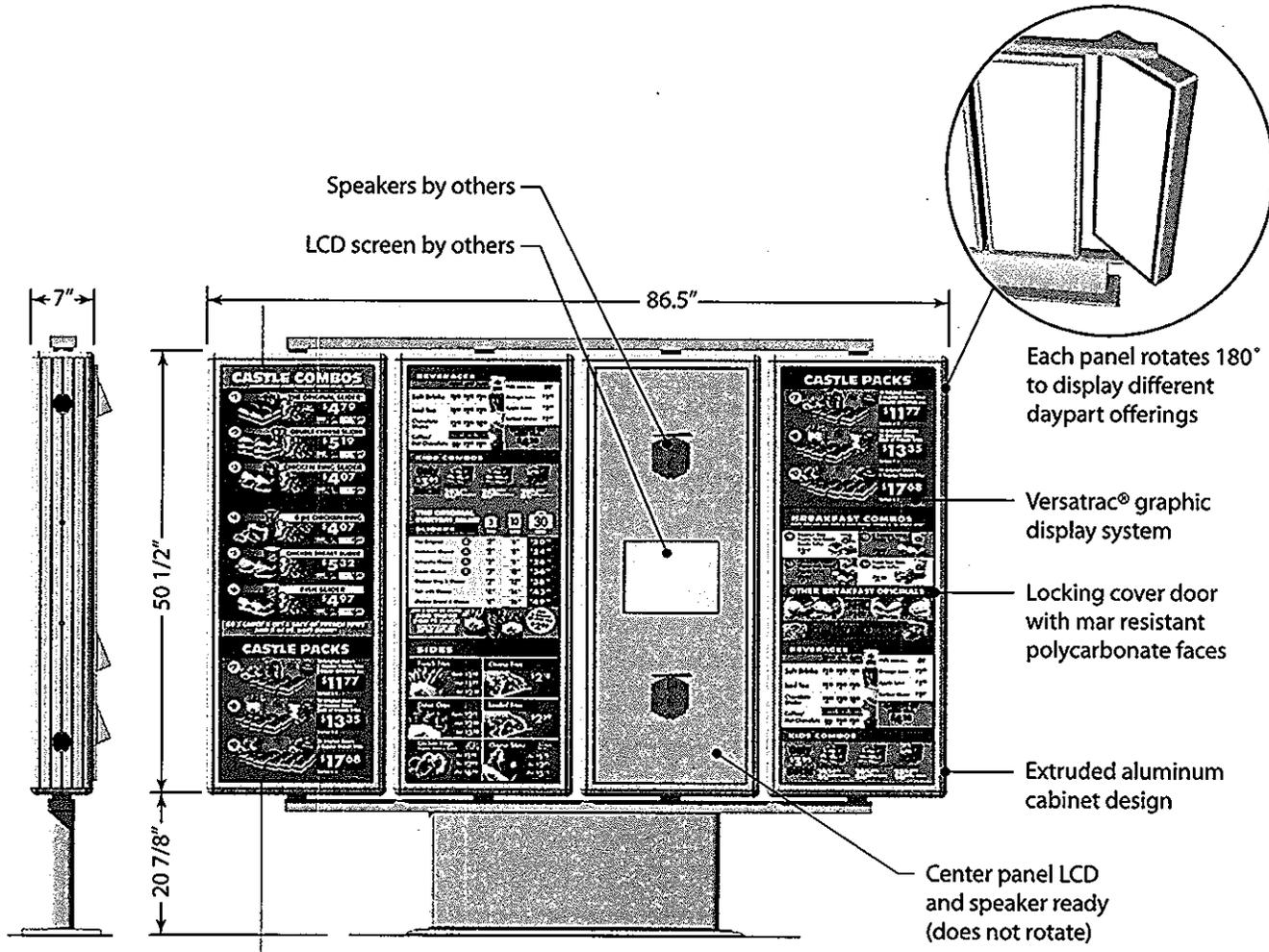
Design modifications consist of:

- Outer color or pattern
- Frame color or pattern
- Logo and/or colors
- Trademark revision
- Text revisions
- Color or schemes
- Frame style or color
- Dimensions

- Okay As Is
- New Proof Needed

Signature _____

Date _____



PROJECT INFO

Filename: 20120413_PR1173_WhiteCastle_4Panel-RevOMenu+LCD
Designer: JSexton
Date: 04.13.12
Sales Rep: PFalkenbach

COLORS

Brushed Silver

SIGN TYPE

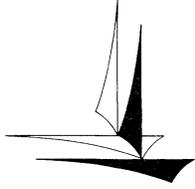
4 panel Revolution outdoor menuboard for built in order confirmation

SPECIFICATIONS

Illuminated. All dimensions nominal.

This is an original unpublished drawing submitted for your personal use in connection with a project being planned for you by National Sign Systems, Inc. It is not to be reproduced, exhibited, or fabricated in any fashion without permission from an authorized officer of the company.

Not to Scale



Minneapolis Development Review
250 South 4th Street
Room 300
Minneapolis, MN 55415

Preliminary Development Review Report

Development Coordinator Assigned: **MATTHEW JAMES**
(612) 673-2547
matthew.james@minneapolismn.gov

Status *

Tracking Number:	PDR 1001450
Applicant:	WHITE CASTLE 55 WEST GOOD DALE STREET COLUMBUS, OH 43215
Site Address:	608 CENTRAL AVE NE
Date Submitted:	31-MAY-2016
Date Reviewed:	09-JUNE-2016

Purpose

The purpose of the Preliminary Development Review (PDR) is to provide Customers with comments about their proposed development. City personnel, who specialize in various disciplines, review site plans to identify issues and provide feedback to the Customers to assist them in developing their final site plans.

The City of Minneapolis encourages the use of green building techniques. For additional information please check out our green building web page at: http://www.ci.minneapolis.mn.us/mdr/GreenBuildingOptions_home.asp.

DISCLAIMER: *The information in this review is based solely on the preliminary site plan submitted. The comments contained in this report are preliminary ONLY and are subject to modification.*

Project Scope

New white castle restaurant - This will be a joint redevelopment with the current Holiday-Gas site to the south of the current White Castle.

Review Findings (by Discipline)

Historical Preservation Committee

- There is no HPC flag on this property. HPC review is not required at this time. However, HPC review is required for all wrecking permits pertaining to the removal of existing structures

*Approved: You may continue to the next phase of developing your project.

*Resubmission Required: You cannot move forward or obtain permits until your plans have been resubmitted and approved.

❑ Business Licensing

- Continue to work with Matthew D. James (612) 673-2547 concerning a Food Plan Review, SAC determination and any Business License application submittal that will be required for this proposed project.

❑ Addressing

- Per City of Minneapolis Street Naming and Address Standard V1.22, the City of Minneapolis holds authority for assignment of all addresses, verification, change, and/or additions. Each assigned address number uses the street that provides the best/direct access for life safety equipment and best/direct access to the occupants.
- The address for the proposed White Castle building will be 600 Central Ave. NE. This address meets the City of Minneapolis Street Naming and Address Standard requirements.
- When assigning suite sequences the following guidelines are as follows:
 - The first one to two digits of the suite sequence number will designate the floor number of the site.
 - Suite sequence digit numbers will be assigned to dwelling, commercial and retail units, not common areas. For example, laundry rooms, saunas, workout rooms, etc., would not be assigned numbers.

❑ Parks - Forestry

- Contact Craig Pinkalla (612-499-9233 cpinkalla@minneapolisparks.org) regarding any questions related to planting, removal or the process for protection of trees during construction in the city right of way.
- Effective January 1, 2014, the City of Minneapolis and the Minneapolis Park and Recreation Board adopted an update to the existing Parkland Dedication Ordinance. The adopted City of Minneapolis Parkland Dedication ordinance is located in Section 598.340 of the City's Land Subdivision ordinance:
 - <http://library.municode.com/index.aspx?clientId=11490>
- As adopted, the fee in lieu of dedication for new residential units is \$1,521 per unit (affordable units excluded per ordinance) and for commercial and industrial development it is \$202.80 per development employee (as defined in ordinance). Any dedication fee (if required) must be paid at the time of building permit issuance.
- As proposed, for your PROJECT, there will be no Park Dedication Fee collected.
- This is a preliminary calculation based on your current proposal; a final calculation will be made at the time of building permit submittal.
- For further information, please contact Matthew D. James at (612) 673-2547.

❑ Zoning - Planning

- The proposed project requires review and approval for several land use applications including a conditional use permit to allow for a fast food restaurant and site plan review. These applications require review and approval by the city planning commission. Staff will continue to work with the applicant on the required site plan improvements through the site plan review process. Resubmissions for PDR should be done once the site plan review process is complete.

❑ Right of Way

- The site plan does not indicate locations of proposed electric utility transformers; it is recommended that the Applicant begin discussions with Xcel Energy as soon as possible in order to identify electric utility and transformer locations on the site plan. It should not be assumed that the City will approve any proposed transformer location in the Public right-of-way.
- An encroachment permit shall be required for all streetscape elements in the Public right-of-way such as: plants & shrubs, planters, tree grates and other landscaping elements, sidewalk furniture (including bike racks and bollards), and sidewalk elements other than standard concrete walkways such as pavers, stairs, raised landings, retaining walls, access ramps, and railings (NOTE: railings may not extend into the sidewalk pedestrian area). Please contact Bob Boblett at (612) 673-2428 for further information.
- Note to the Applicant: Any elements of an earth retention system and related operations (such as construction crane boom swings) that fall within the Public right-of-way will require an encroachment permit application. If there are to be any earth retention systems which will extend outside the property line of the development then a plan must be submitted showing details of the system. All such elements shall be removed from the

Public right-of-way following construction with the exception of tie-backs which may remain but must be uncoupled and de-tensioned. Please contact Bob Boblett at (612) 673-2428 for further information.

- In addition, any elements of an earth retention system and related excavations that fall within the Public right-of-way will require a "Right-of-Way Excavation Permit". This permit is typically issued to the General Contractor just prior to the start of construction. However, it is the Applicant's responsibility to insure that all required permits have been acquired by its consultants, contractors, sub-contractor's prior to the start of work.
- The Applicant shall provide a complete "demolition plan" that clearly defines the limits of disturbance for the entire project. It is recommended that the Applicant consider providing a "demolition/erosion control plan"; which will allow early access to the construction site.

□ Street Design

- The demolition plan shall clearly define the limits of disturbance. All existing driveway aprons and all curb & gutter surrounding the site shall be identified for removal. It is recommended that the Applicant consider the removal and replacement of all existing sidewalk surrounding the site. All impacted sidewalks, curbs, and boulevards shall be restored to City standards.
- For detailed information related to City of Minneapolis standard specifications, details, and standard plates refer to the following: <http://www.minneapolismn.gov/publicworks/plates/index.htm>.
- All driveway aprons shall be designed and constructed to City standards with a maximum 5' radius; however, a smaller radius could be considered given the need for larger than typical driveway aprons and maintaining ADA compliance across the Public sidewalk. For questions related to driveway widths and sidewalk ADA compliance please contact Paul Miller at (612) 673-3603.
- All driveway aprons shall be shown graphically correct on all related plan sheets. Per Minneapolis standards, the driveway aprons shall not be depressed across the public sidewalk, and no ADA pedestrian ramps shall be constructed on either side of a drive approach. Please refer to the following: http://www.minneapolismn.gov/publicworks/plates/public-works_road. Add the following details from the ROAD-2000 Series - Driveways to the plans: ROAD-2000-R1, ROAD-2001-R1, ROAD-2002, and ROAD-2003-R1.
- Based upon the demolition plan provided; rather than leaving small sections of existing curb the Applicant shall provide for removal and replacement of all curb surrounding the site. All curb & gutter in the Public right-of-way shall be designed and constructed to City standards, curb & gutter to be City standard B624 Curb and Gutter. Please refer to the following: http://www.minneapolismn.gov/publicworks/plates/public-works_road. Add the following details from the ROAD-1000 Series - Curbs and Gutters to the plans: ROAD-1003 and ROAD-1010. Top of Curb profiles shall be provided for any section of curb replacement in excess of 50 feet.

□ Sidewalk

- The demolition plan shall clearly define the limits of disturbance. It is recommended that the Applicant consider the removal and replacement of all existing sidewalk surrounding the site. All impacted sidewalks, curbs, and boulevards shall be restored to City standards.
- Note to the Applicant: Any existing concrete infrastructure in the public right of way, including but not limited to public sidewalks, curb and gutter, and ADA pedestrian ramps, that are either currently defective or that are damaged during construction shall be removed and replaced.
- The Project streetscape shall be designed in accordance with the Access Minneapolis design guidelines; see <http://www.ci.minneapolis.mn.us/publicworks/transplan/index.htm> for further information. Specifically, the pedestrian zone is of concern, a minimum 6'-0" clear zone (un-obstructed) sidewalk shall be maintained for the length of any block in a straight line (the clear pedestrian zone cannot "jog" around planters and tree grates). Locations for site furniture, tree grates, planters and other proposed design elements that fall within the Public right-of-way shall be modified to provide for the required pedestrian clear zone space. For further clarification, site plans shall be fully dimensioned in relation to the property lines, Public right-of-way, sidewalks, street furniture, landscaping, utilities, and other obstructions.

- ADA compliant pedestrian ramps are required at each impacted crosswalk surrounding the site (recently upgraded ADA compliant pedestrian ramps shall be protected during construction). Include the appropriate details and standard plates in the site plan, refer Mn/DOT Standard Plan 5-297.250 Pedestrian Curb Ramp Details at: <http://standardplans.dot.state.mn.us/stdplan.aspx>.

□ Traffic and Parking

- The nature of the proposed development is such that traffic impacts will be an issue; please contact Allen Klugman at (612) 673-5750 to discuss. It is recommended that curb cuts be consolidated as much as possible for all development projects; the Applicant should consider alternatives to the curb cut from the car wash to Hennepin Ave. At a minimum, the car wash access to Hennepin should be controlled with devices such as a gate arm or removable bollards. The Applicant shall note the location of any existing Metro Transit "bus stops" on the site plan.
- Current ordinance states that all maneuvers associated with vehicle circulation, loading, parking or sanitation pick up for a private development shall occur on private property. Please provide a narrative explaining the trash removal operations and show turning maneuvers for all truck type vehicles that will be using the parking entrance areas. Per City Ordinance the Applicant shall provide for (and identify) a solid waste collection point (SWCP) on the site plans. The location of the SWCP is subject to the review and approval of the Public Works Department.
- All street lighting (existing and proposed) shall be shown clearly on the site plan. Prior to site plan approval, the Applicant shall contact Joseph Laurin at 612-673-5987 to determine street lighting requirements. Note: If decorative street lighting exists on the proposed site it must be preserved or replaced at existing levels. Street lighting will be strongly encouraged in areas immediately adjacent to existing lighting systems, in high density areas such as Uptown and the University of Minnesota, and along major pedestrian corridors and business nodes as identified in the Minneapolis Street Lighting Policy.
- Note to the Applicant: In addition to the various required construction permits, impacts to existing traffic signal and street lighting systems (including installation of new street lights) will require the Applicant and respective Contractors to arrange (and pay) for inspections with the Traffic Department, please contact Dave Prehall at (612) 673-5759 for further information.
- Note to the Applicant: The construction of this development will likely require the use of Public right-of-way (roadway and sidewalks) for construction purposes. A request for an estimate of street use and obstruction permit fees can be made to the City's Traffic Department; please contact Scott Kramer at (612) 673-2383 for further information.
- Note to the Applicant: Please add the following notes to the site plan:
 - Street lighting installed as part of the Project shall be inspected by the City. Contractors shall arrange for inspections with the Traffic Department, please contact Dave Prehall at (612) 673-5759 for further information. Any lighting installations not meeting City specifications will be required to be reinstalled at Owner expense.
 - An obstruction permit is required anytime construction work is performed in the Public right-of-way. Please contact Scott Kramer at (612) 673-2383 regarding details of sidewalk and lane closures. Log on to <http://minneapolis.mn.roway.net/> for a permit.
 - Contact Allan Klugman at (612) 673-2743 prior to construction for the temporary removal/temporary relocation of any City of Minneapolis lighting or traffic signal system that may be in the way of construction.
 - All costs for relocation and/or repair of City Traffic facilities shall be borne by the Contractor and/or Property Owner.
 - Contact Doug Maday at (612) 673-5755 prior to construction for the removal of any City of Minneapolis right of way signs that may be in the way of construction.

□ Water

- The site plan does not include a "demolition plan" and the limits of disturbance are not clearly defined. All existing and proposed underground Public Utilities (water, sanitary sewer, and storm drain) shall be shown on the site plan with corresponding pipe sizes and types. For Public watermain infrastructure records call (612)

673-2865. Any existing water service connections to the site shall be noted on the plans for removal, and shall be removed per the requirements of the Utility Connections Department before any new service lines can be installed, call (612) 673-2451 for more information.

- Meters shall be set at the point where the service line enters the building and shall be set in a location where it is easily assessable. Domestic water and fire service connections should run in a line perpendicular from the watermain straight into the proposed building to the meter location. Please contact Rock Rogers at (612) 673-2286 to confirm domestic water and fire service layout, manhole construction, connections, and sizes.

□ Sewer Design

- Stormwater Management: The project is considered a connected action to the proposed Holiday StationStores development submitted concurrently for review and is therefore subject to the stormwater treatment requirements of Chapter 54 of the Minneapolis Code of Ordinances. Please provide the necessary documentation and analysis demonstrating compliance with Chapter 54, including stormwater calculations, BMP maintenance plans, etc.
- Please add the following note to the appropriate plan sheet: The Contractor, property owner or responsible party shall contact Minneapolis Surface Waters and Sewers 48 hours prior to any excavation or construction related to or in the location of the proposed Stormwater Management BMP (Contact Paul Chellsen, 673-2406 or paul.chellsen@minneapolismn.gov).
- Please add the following note to the appropriate plan sheet: Upon the project's completion the General Contractor, Property Owner or Responsible Party shall provide to the Department of Public Works a Final Stormwater Management Report including record drawings. This report will serve as a means of verification that the intent of the approved stormwater management design has been met. This final report shall substantiate that all aspects of the original design have been adequately provided for by the construction of the project.
- Surface Drainage: Please indicate how the right-of-way between 6th St SE and the property line will be graded and finished.
- Utility Connections: The City storm sewer manhole proposed to be connected into with a storm sewer service is identified on Sheet SP3 as a "30" storm s. catch basin." The existing structure does not appear to be a catch basin, but a manhole. Please verify. A private connection to a City catch basin would not be permitted.
- For the proposed storm sewer connection, HDPE is not permitted for use within the right-of-way. PVC or RCP would be acceptable.
- The proposed sanitary sewer service connection to the City main should be core-drilled and a saddle tee fitting installed, per City of Minneapolis Standard Supplemental Specifications. Please note this on the plan. The invert of the connection at the main should also be within the middle third of the main.
- Utility: All existing public utilities (water, sanitary, and storm sewer) on and adjacent to the property should be shown on the utility plan with corresponding pipe sizes, types and invert elevations. For City sanitary and storm sewer infrastructure records contact (612) 673-2405.
- Erosion Control: Haybales are not permitted as erosion and sediment control devices in Minneapolis. Please revise the plan accordingly.
- Non Stormwater Discharges: Detail all mechanical and non-stormwater discharges. Non-stormwater discharges are not permitted unless approved by the City of Minneapolis. Non-stormwater discharges not declared and approved will not be permitted. If there currently are none and nothing is proposed declare this status on the plans.
- For comments or questions on Public Works Surface Water & Sewers Division related requirements please contact Jeremy Strehlo, (Professional Engineer) at (612) 673-3973, or jeremy.strehlo@minneapolismn.gov.

□ Construction Code Services

- The plan as submitted meets the requirements of the Construction Code Services Division.
- A Service Availability Charge (SAC) determination will need to be submitted to the Metropolitan Council for the proposed project. Please refer to this link for more information http://www.ci.minneapolis.mn.us/mdr/docs/sac_availability_charge.pdf or SACprogram@metc.state.mn.us.

❑ Fire Safety

- Fire department connection must be located on the address side of building and within 150 feet of a fire hydrant.
- Maintain fire apparatus access at all times.

❑ Environmental Health

- Other projects in the area have encountered contaminated soil and addressed this through the Minnesota Pollution Control Agency Voluntary Investigation and Cleanup program. Some sites also encountered a perched water table that required dewatering during general site excavation and construction. If impacted soil is encountered during site activities work will need to stop and notification provided to the MN State Duty officer at (651) 649-5451.
- If dewatering is required during site construction see below for city permit requirements. The highest groundwater level expected for this site should be determined and used in establishing the lowest level for and open space, subgrade structures should be designed to prevent infiltration of groundwater without the need for a permanent dewatering system being installed. If a continuously operating permanent dewatering system is needed it must be approved as part of the sanitary sewer and storm drain site plan approval prior to construction beginning.
- No construction, demolition or commercial power maintenance equipment shall be operated within the city between the hours of 6:00 p.m. and 7:00 a.m. on weekdays or during any hours on Saturdays, Sundays and state and federal holidays, except under permit. Contact Environmental Services at (612) 673-3867 for permit information.
- Permits and approval are required from Environmental Services for the following activities: Temporary storage of impacted soils on site prior to disposal or reuse; Reuse of impacted soils on site; Dewatering and discharge of accumulated storm water or ground water, underground or aboveground tank installation or removal, well construction or sealing. Contact Tom Frame at (612) 673-5807 for permit applications and approvals.
- A review of the project, permits issued and an inspection from Environmental Service for identification of equipment and site operations that require annual registration with the City of Minneapolis will occur for this project.

END OF REPORT