



LAND USE APPLICATION SUMMARY

Property Location: 628 21st Avenue South, 2015 South 7th Street, 623 20th Avenue South, 2011 South 6th Street and 606 21st Avenue South

Project Name: Augsburg College Hagfors Center for Science, Business and Religion

Prepared By: Hilary Dvorak, Principal Planner, (612) 673-2639

Applicant: Augsburg College

Project Contact: Rebecca Celis with HGA Architects

Request: To allow for a college expansion.

Required Applications:

Conditional Use Permit	To allow a college expansion.
Variance	To allow parking between a front property line (South 6 th Street) and the building.
Variance	To reduce the required front yard setbacks along 21 st Avenue South for the skyway.
Site Plan Review	For a new 4-story, 136,000 square foot building with classrooms, laboratories and offices.
Preliminary and Final Plat	PL-302.
Vacation	Vacation of retained easements in vacated South 7 th Street between 20 th and 21 st Avenues South (Vac-1655).

SITE DATA

Existing Zoning	OR3 Institutional Office Residence District UA University Area Overlay District
Lot Area	183,665 square feet / 4.22 acres
Ward(s)	2; adjacent to 6
Neighborhood(s)	Cedar Riverside
Designated Future Land Use	Public and Institutional
Land Use Features	Commercial Corridor (Riverside Avenue)
Small Area Plan(s)	<u>Cedar Riverside Small Area Plan</u> (2008)

Date Application Deemed Complete	February 17, 2016	Date Extension Letter Sent	February 22, 2016
End of 60-Day Decision Period	April 17, 2016	End of 120-Day Decision Period	June 16, 2016

BACKGROUND

SITE DESCRIPTION AND PRESENT USE. Augsburg College is located in Southeast Minneapolis. The campus is generally located between Riverside Avenue, 25th Avenue South, Butler Place and 20th Avenue South. The site where the proposed development would be located is generally located between South 6th Street, 21st Avenue South, South 8th Street and 20th Avenue South. The site is currently occupied by two parking lots and the formerly vacated right-of-way of South 7th Street.

SURROUNDING PROPERTIES AND NEIGHBORHOOD. The campus is surrounded by residential developments of varying densities, the University of Minnesota Twin Cities campus, commercial establishments, Murphy Square Park and Interstate I-94. The site is located in the Cedar Riverside neighborhood.

PROJECT DESCRIPTION. The construction of the Hagfors Center is the first step in realizing an overall campus master plan. The applicant is proposing to construct a new four-story, approximately 136,000 square-foot academic building with classrooms, laboratories and offices for teaching, studying and researching science, business and religion. As part of the development the applicant is proposing to construct a skyway over 21st Avenue South connecting the new building to the existing library. The skyway connection would provide access to many of the other college buildings that are already connected via a series of skyways and tunnels. As part of the development a 26-space surface parking lot would also be constructed near the corner of 21st Avenue South and South 6th Street. The parking lot would provide parking spaces for faculty who will office in the proposed building and space for loading operations. In addition, stormwater management strategies would be put in place and pathways that lead people through campus would be constructed.

In 2009 the following street segments were vacated:

- South 7th Street, between 20th Avenue South and 21st Avenue South, and
- 21st Avenue South, between South 7th Street and South 8th Street.

Today, they still look like public streets but would be removed as part of this project. When the streets were vacated, utility easements were reserved for both City and private utilities. The applicant is proposing to vacate the utility easements. As part of this application, the applicant will need to work with the City and the private utility companies to either abandon them or reroute them accordingly.

The building is over 100,000 square feet in size which requires that a Travel Demand Management Plan (TDMP) be completed. The Department of Public Works and the Department of Community Planning and Economic Development have reviewed and approved the TDMP for this development which evaluates parking operations for the entire campus.

The applicant is proposing to construct the new building where there are currently two large surface parking lots. As a result, a total of 193 spaces will be removed. Based on the zoning code parking requirement the college is required to have a minimum of 792 spaces. After construction there would be 835 parking spaces provided on campus. To achieve this number of parking spaces, an existing parking lot located south of vacated South 8th Street between 20th Avenue South and vacated 21st Avenue South would be expanded.

RELATED APPROVALS. While there have been several development projects on the Augsburg College campus in the past none of them have occurred on the site where the proposed development will be located.

PUBLIC COMMENTS. No comment letters have been received in regards to this application. Any correspondence received prior to the public meeting will be forwarded on to the Planning Commission for consideration.

ANALYSIS

CONDITIONAL USE PERMIT

The Department of Community Planning and Economic Development has analyzed the application to allow a college expansion based on the following findings:

1. *The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, comfort or general welfare.*

The establishment of the Augsburg College Hagfors Center for Science, Business and Religion that includes classrooms, laboratories and offices for teaching, studying and researching science, business and religion would not be detrimental to or endanger the public health, safety, comfort or general welfare. The development would replace two surface parking lots and a vacated street. In addition, stormwater management strategies would be put in place and pathways that lead people through campus would be constructed.

2. *The conditional use will not be injurious to the use and enjoyment of other property in the vicinity and will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.*

The Augsburg College campus is generally located between Riverside Avenue, 25th Avenue South, Butler Place and 20th Avenue South. The campus is surrounded by residential developments of varying densities, the University of Minnesota Twin Cities campus, commercial establishments, Murphy Square Park and Interstate I-94.

The establishment of the Augsburg College Hagfors Center for Science, Business and Religion that includes classrooms, laboratories and offices for teaching, studying and researching science, business and religion would not be injurious to the use and enjoyment of other property in the vicinity or impede the normal or orderly development and improvement of surrounding property. The site where the proposed development would be located is located within the boundaries of the campus. The proposed development would complement the surrounding area.

3. *Adequate utilities, access roads, drainage, necessary facilities or other measures, have been or will be provided.*

The Department of Public Works has reviewed the preliminary plans and will review the final plans for compliance with standards related to access and circulation, drainage, and sewer/water connections. The applicant will be required to continue to work closely with the Department of Public Works, the Plan Review Section of CPED and the various utility companies during the duration of the development to ensure that all procedures are followed and that the development complies with all city and other applicable requirements. The applicant is aware that the final plans are expected to incorporate any applicable comments or modifications as required by the Department of Public Works.

4. *Adequate measures have been or will be taken to minimize traffic congestion in the public streets.*

The Department of Public Works and the Department of Community Planning and Economic Development have reviewed and approved the TDMP for this development which evaluates parking

operations for the entire campus. The study concludes that, overall, the proposed college has minimal traffic impacts on intersection operations, all intersections have adequate capacity to accommodate the number of trips that will be generated and, therefore, impacts on existing operations are minimal.

The study also concludes that there is sufficient parking provided on campus to meet the demand. The minimum parking requirement is 792 spaces and after construction there would be 835 parking spaces provided on campus. There are several commitments written into the TDMP that are meant to help reduce the number of people who drive alone to campus by capitalizing on the sites proximity to light rail, buses, and biking and pedestrian facilities. The commitments in the TDMP will be implemented as part of the development.

5. *The conditional use is consistent with the applicable policies of the comprehensive plan.*

The proposed development would be consistent with the following general land use policies of *The Minneapolis Plan for Sustainable Growth*:

Land Use Policy 1.2: Ensure appropriate transitions between uses with different size, scale, and intensity.

- 1.2.1 Promote quality design in new development, as well as building orientation, scale, massing, buffering, and setbacks that are appropriate with the context of the surrounding area.

Land Use Policy 1.3: Ensure that development plans incorporate appropriate transportation access and facilities, particularly for bicycle, pedestrian, and transit.

- 1.3.1 Require safe, convenient, and direct pedestrian connections between principal building entrances and the public right-of-way in all new development and, where practical, in conjunction with renovation and expansion of existing buildings.
- 1.3.2 Ensure the provision of high quality transit, bicycle, and pedestrian access to and within designated land use features.

6. *The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.*

If the requested land use applications are approved, the proposal would comply with all provisions of OR3 District.

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance to allow parking between a front property line (South 6th Street) and the building based on the following findings:

- 1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

The applicant is proposing to construct a surface parking lot between the building and the front property line along South 6th Street. In the OR3 Institutional Office Residence District the required front yard setback is 15 feet and parking lots are not allowed between the front property line and the building. The parking lot would not be located in the required front yard setback as it is proposed to be set back 17 feet from the front property line. The parking lot would have 125 feet

of linear frontage along South 6th Street and would be accessed from a driveway off of 21st Avenue South.

Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The property is uniquely shaped. In addition, the property is unique in that it has three front yards; South 6th Street, 21st Avenue South and 20th Avenue South. Given this any surface parking lot accessed from a public street would be located between the building and a front property line.

The applicant could construct the parking lot towards the south side of the proposed building. However, this is where the proposed infiltration basin would be constructed that has been designed to collect runoff from the roof of the proposed building, the cul-de-sac and the pedestrian walkways on the south side of the site. In the future, the infiltration basin will be enlarged to accommodate additional runoff from other areas on campus.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The applicant is proposing to use the property in a reasonable manner that would be in keeping with the spirit and intent of the ordinance and the comprehensive plan. The intent of yard controls is to provide for the orderly development and use of land and to minimize conflicts among land uses by regulating the dimension and use of yards in order to provide adequate light, air, open space and separation of uses.

The proposed parking lot would be set back approximately 17 feet from the front property line along South 6th Street. The applicant is proposing to densely landscape the area between the parking lot and the property line with canopy trees, ornamental trees and shrubs.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

The granting of this variance would not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. In addition, granting of the variance would not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

There is an existing surface parking lot located along South 6th Street that has 79 linear feet of frontage. There is no landscaping or screening located between the existing surface parking lot and the front property line. As noted above, the applicant is proposing to densely landscape the area between the proposed parking lot and the property line with canopy trees, ornamental trees and shrubs.

It should be noted that in the college's six to ten year master plan the intention is to replace the surface parking lot with a mixed-use fine arts building.

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance to reduce the required front yard setbacks along 21st Avenue South for the skyway based on the following findings:

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

The applicant is proposing to construct a skyway between the proposed building and the existing library located on the east side of 21st Avenue South. When the library was constructed in 1996 it was built to accommodate a skyway in the location proposed. There is a required 15-foot front yard setback on both sides of 21st Avenue South. Skyways are not a permitted obstruction in a required front yard and therefore a variance is needed to reduce the front yard setback to zero feet on both properties.

Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. Given how the buildings are arranged on campus the only way to connect the proposed building to the library with a skyway is to cross over the required front yards of both properties.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The applicant is proposing to use the property in a reasonable manner that would be in keeping with the spirit and intent of the ordinance and the comprehensive plan. The intent of yard controls is to provide for the orderly development and use of land and to minimize conflicts among land uses by regulating the dimension and use of yards in order to provide adequate light, air, open space and separation of uses.

The Minneapolis Plan for Sustainable Growth encourages limiting the construction of skyways to the downtown core and at other key sites with high-intensity uses in order to minimize low-usage skyways and maximize street-level pedestrian activity. Institutions, such as hospitals and college campuses would be considered high-intensity uses.

The skyway connection would provide access for students and faculty to many of the other college buildings on campus that are already connected via a series of skyways and tunnels.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

The granting of this variance would not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. In addition, granting of the variance would not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

There is a single-family home located just north of the library that is not owned by Augsburg College. While the skyway would be constructed in the required front yard, and visible from the adjacent property, there are existing trees, both on private property and in the right-of-way that would block much of the skyway. The skyway would be located approximately 90 feet from the adjacent home.

To help minimize the visual impact of the skyway, CPED is recommending that the skyway be constructed of clear or lightly-tinted glass. In addition, CPED encourages the applicant to design the skyway using bird-safe design.

SITE PLAN REVIEW

The Department of Community Planning and Economic Development has analyzed the application based on the required findings and applicable standards in the site plan review chapter:

I. Conformance to all applicable standards of Chapter 530, Site Plan Review.

BUILDING PLACEMENT AND DESIGN

Building placement – Requires variance(s) and alternative compliance

- The required front yard setback in the OR3 High Density Office Residence District is 15 feet. The first floor of the building is located more than 15 feet from the front lot line along South 6th Street, 21st Avenue South and 20th Avenue South. The building is located approximately 105 feet from South 6th Street, approximately 43 feet from 21st Avenue South and approximately 30 feet, at the closest point, from 20th Avenue South. Alternative compliance is needed.
- The placement of the building does not reinforce the street wall; however, it maximizes natural surveillance and visibility, and facilitates pedestrian access and circulation. Alternative compliance is needed.
- The area between the building and the front property lines include amenities such as landscaping and walkways. There is also a surface parking lot located between the building and South 6th Street. Alternative compliance is needed.
- The proposed surface parking lot is located between the building and the front property line along South 6th Street. Alternative compliance is needed.

Principal entrances – Meets requirements

- There are building entrances on the South 6th Street, 21st Avenue South and 20th Avenue South sides of the building. The principal entrance leading into the building is located on the southern end of the east building wall facing the vacated portion of 21st Avenue South. While this portion of the street has been vacated there will be a street easement provided to the City over the proposed cul-de-sac, allowing it to function as a public street.
- The principal entrance to the building is clearly defined and emphasized through the use of an entrance canopy and signage.

Visual interest – Requires alternative compliance

- The building walls provide architectural detail and contain windows in order to create visual interest. The shape of the building is based on a chevron design, there are ground to roof windows on three corners of the building, the windows are arranged in an irregular pattern and there are bay windows articulated with colored mullions that project outwards from the building walls.
- The shape of the building and the different window types divide the building into smaller identifiable sections.
- There are three areas of the building on the first floor and three sides of the fourth floor that are blank and over 25 feet in length. Alternative compliance is needed.

Exterior materials – Meets requirements

- The applicant is proposing brick, metal and glass as the building's primary exterior materials. Each elevation would comply with the City's durability standards for exterior materials. Please note that exterior material changes at a later date may require review by the Planning Commission and an amendment to the site plan review.
- The design is consistent with the City's policy of allowing no more than three exterior materials per elevation, excluding windows, doors, and foundation materials.
- Plain face concrete block is not proposed as an exterior building material.
- The exterior materials and appearance of the rear and side walls of the building are similar to and compatible with the front sides of the building.

Windows – Meets requirements

- For nonresidential uses, the zoning code requires that no less than 30 percent of the walls on the first floor are windows with clear or lightly tinted glass with a visible light transmittance ratio of six-tenths (0.6) or higher. No less than ten percent of the walls on each floor above the first that face a public street, public sidewalk, public pathway, or on-site parking lot, shall be windows. Based on the floor plans, all proposed shelving, mechanical equipment, and other similar fixtures allow views into and out of the building between four and seven feet above the adjacent grade. The project is in compliance with the minimum window requirement except on the fourth floor of the building facing 20th Avenue South (see Table 1). Alternative compliance is needed.
- All windows are vertical in proportion and are evenly distributed along the building walls.

Table 1. Percentage of Windows per Applicable Elevation

	Code Requirement		Proposed	
Nonresidential Uses				
1st floor facing South 6 th Street	30% minimum	230 sq. ft.	30%	233 sq. ft.
2nd floor and above facing South 6 th Street	10% minimum	154 sq. ft.	Over 10%	
1st floor facing 21 st Avenue South	30% minimum	802 sq. ft.	38%	1,008 sq. ft.
2nd floor and above facing 21 st Avenue South	10% minimum	326 sq. ft.	Over 10%	
1st floor facing 20 th Avenue South	30% minimum	989 sq. ft.	86%	2,842 sq. ft.
2nd floor and above facing 20 th Avenue South	10% minimum	659 sq. ft.	Over 10% on 2nd and 3 rd floors No windows on 4 th floor	

Ground floor active functions – Meets requirements

- The ground floor facing South 6th Street, 21st Avenue South and 20th Avenue South all contain 100 percent active functions.

Roof line – Meets requirements

- The principal roof line of the building would be flat, which is similar to that of surrounding buildings on campus.

Parking garages – Not applicable

- There are no parking garages proposed as part of this project.

ACCESS AND CIRCULATION

Pedestrian access – Meets requirements

- There are clear and well-lit walkways at least four feet in width connecting the building entrances to the adjacent public sidewalks and the proposed surface parking lot. In addition, there are walkways that lead from the public sidewalks through campus that will allow pedestrians to travel from one end to the other.

Transit access – Not applicable

- No transit shelters are proposed as part of this development.

Vehicular access – Meets requirements

- Vehicular access and circulation has been designed to minimize conflicts with pedestrian traffic and with surrounding residential uses. There would be one curb cut along 21st Avenue South. This curb cut would provide access to the surface parking lot and the loading area for the building.
- There are no public alleys adjacent to the site.
- The proposed site plan minimizes the use of impervious surfaces. In the OR3 Institutional Office Residence District the maximum impervious surface allowance is 85 percent. According to the materials submitted by the applicant, 40 of the site would be impervious, while 45 percent of the existing site is impervious.

LANDSCAPING AND SCREENING

General landscaping and screening – Requires alternative compliance

- The overall composition and location of landscaped areas complement the scale of development and its surroundings.
- At least 20 percent of the site not occupied by the building is landscaped. The applicant is proposing approximately 109,724 square feet of landscaping on site, or approximately 77 percent of the site not occupied by the building (see Table 2).
- The applicant is not proposing at least one canopy tree per 500 square feet of the required landscaped area, including all required landscaped yards. The tree requirement for the site is 58 and the applicant is proposing a total of 40 trees. Alternative compliance is needed.
- The applicant is proposing at least one shrub per 100 square feet of the required landscaped area, including all required landscaped yards. The shrub requirement for the site is 286 and the applicant is proposing 844 shrubs.

Table 2. Landscaping and Screening Requirements

	Code Requirement	Proposed
Lot Area	--	183,665 sq. ft.
Building Footprint	--	40,704 sq. ft.
Remaining Lot Area	--	142,961 sq. ft.
Landscaping Required	28,592 sq. ft.	109,724 sq. ft.
Canopy Trees (1:500 sq. ft.)	58 trees	40 trees
Shrubs (1:100 sq. ft.)	286 shrubs	844 shrubs

Parking and loading landscaping and screening – Requires alternative compliance

- The parking lot located on the corner of South 6th Street and 21st Avenue South has a landscaped yard requirement along both South 6th Street and 21st Avenue South.
 - The parking lot contains an on-site landscaped yard of at least seven feet in width from both property lines. The landscaped yard along South 6th Street is 17 feet and the landscaped yard along 21st Avenue South is 43 feet.
 - The applicant is proposing a three-foot screen consisting of landscaping that is at least 60 percent opaque along both South 6th Street and 21st Avenue South.
 - All of the parking spaces are located within 50 feet of the center of an on-site deciduous tree.

- Information included in the landscape plan indicates that the plant materials, and installation and maintenance of the plant materials, would comply with sections 530.200 and 530.210 of the zoning code.
- The parking lot located south of vacated South 8th Street between 20th Avenue South and vacated 21st Avenue South has a landscaped yard requirement along vacated South 8th Street, 20th Avenue South and vacated 21st Avenue South.
 - The parking lot does not contain an on-site landscaped yard of at least seven feet in width from all three property lines. The landscaped yard along South 8th Street is zero feet, the landscaped yard along 20th Avenue South is 37 feet and the landscaped yard along 21st Avenue South is 14 feet. Alternative compliance is required.
 - The applicant is not proposing a three-foot screen that is at least 60 percent opaque along 20th Avenue South. Alternative compliance is required.
 - The applicant is not proposing a six-foot screen that is at least 95 percent opaque along South 8th Street or 21st Avenue South. Alternative compliance is required.
 - All of the parking spaces are located within 50 feet of the center of an on-site deciduous tree.
 - The proposed tree islands are at least seven feet wide in any direction.
 - Information included in the landscape plan indicates that the plant materials, and installation and maintenance of the plant materials, would comply with sections 530.200 and 530.210 of the zoning code.

ADDITIONAL STANDARDS

Concrete curbs and wheel stops – Meets requirements

- The parking lot located on the corner of South 6th Street and 21st Avenue South would be defined by a six-inch by six-inch continuous concrete curb. However, the parking lot would be constructed out of pervious pavement that will collect runoff from the parking lot itself and adjacent impervious surfaces.
- The parking lot located south of vacated South 8th Street between 20th Avenue South and vacated 21st Avenue South will not be defined by six-inch curbing. The additional parking spaces will be added where there are currently two tennis courts. Given this, the amount of impervious surface on the site will not be increased. Runoff from the parking lot drains to the green space on the west side of the site and will continue to do so.

Site context – Meets requirements

- The proposed building would not block views of important elements of the city such as parks, greenways, significant buildings or water bodies.
- This building should have minimal shadowing effects on public spaces and adjacent properties.
- This building has been designed to minimize the generation of wind currents at ground level.

Crime prevention through environmental design – Meets requirements

- The site plan complies with crime prevention design elements as the entrances are oriented towards the public sidewalks, walkways direct people to and from the building entrances and through the site, there would be large windows on all sides of the building that maximize the opportunities for people to observe adjacent spaces and there would be lights located near all of the building entrances and throughout the site.

Historic preservation – Not applicable

- This site is neither historically designated nor is it located in a historic district.

2. Conformance with all applicable regulations of the zoning ordinance.

The proposed use is conditional in the OR3 Institutional Office Residence District.

Off-street Parking and Loading – Choose an item.

- After construction there would be 835 parking spaces provided on campus.
- There are currently 64 short-term bicycle parking spaces provided on campus. After construction there would be an additional 16 short-term bicycle parking spaces provided on campus.
- There would be one small loading space provided as part of this development.

Table 3. Vehicle Parking Requirements Per Use (Chapter 541)

Use	Minimum	Reductions	Total with Reductions	Maximum Allowed	Proposed
Dormitory	538	--	538	1,075	835
Classrooms	104	--	104	104	
Students	150	--	150	250	
Office	0	--	0	206	
	792	--	792	1,635	835

Table 4. Bicycle Parking Requirements (Chapter 541)

Use	Minimum	Short-Term	Long-Term	Proposed
College or university	As approved by CUP	As approved by CUP	As approved by CUP	16 short-term spaces

Table 5. Loading Requirements (Chapter 541)

Use	Loading Requirement	Minimum Requirement	Proposed
College or university	As approved by CUP	As approved by CUP	1 small

Building Bulk and Height – Meets requirements

Table 6. Building Bulk and Height Requirements

	Code Requirement	Proposed
Lot Area	--	183,665 sq. ft. / 4.22 acres
Gross Floor Area	--	135,998 sq. ft.
Floor Area Ratio (Minimum)	--	.74
Floor Area Ratio (Maximum)	3.5	
Building Height (Maximum)	6 stories or 84 ft., whichever is less	4 stories or 71 ft.

Lot Requirements – Meets requirements

Table 7. Lot Requirements Summary

	Code Requirement	Proposed
Dwelling Units (DU)	--	0 DUs
Density (DU/acre)	--	0 DU/acre
Lot Area (Minimum)	2 acres	4.22 acres
Impervious Surface Area (Maximum)	85%	40%
Lot Coverage (Maximum)	70%	22%
Lot Width (Maximum)	Not applicable	Not applicable

Yard Requirements – Meets requirements

Table 8. Minimum Yard Requirements

Setback	Zoning District	Overriding Regulations	Total Requirement	Proposed
Front (South 6 th Street)	15 ft.	--	15 ft.	105 ft.
Front (21 st Avenue South)	15 ft.	--	15 ft.	43 ft.
Interior Side (South)	11 ft.	--	11 ft.	52 ft.
Front (20 th Avenue South)	15 ft.	--	15 ft.	30 ft.

Signs – Not applicable

- Signs are subject to the requirements of Chapter 543, On-Premise Signs. In the OR3 zoning district there can be one square foot of signage for every one linear foot of primary building wall. If there is no freestanding sign or roof sign on the property there can be one-and-a-half square feet of signage for every one linear foot of primary building wall. Wall signs are limited to 180 square feet in size and projecting signs are limited to 12 square feet in size. The maximum height of both wall signs and projecting signs is 14 feet. Freestanding monument signs are limited to 32 square feet in size and can be no taller than 8 feet. The zoning code limits the number of freestanding signs on a zoning lot to one.
- The applicant is not proposing any signage at this time.

Screening of Mechanical Equipment – Meets requirements

- There will be mechanical equipment located on the roof of the building. The applicant is proposing to screen the rooftop equipment with building materials similar to the exterior materials of the building itself. CPED is recommending that the requirements of Chapter 535, Regulations of General Applicability be met.

- There will also be mechanical equipment located on the ground on the north end of the building. The area will be screened with a solid metal fence. CPED is recommending that the requirements of Chapter 535, Regulations of General Applicability be met.

Refuse Screening – Meets requirements

- All refuse and recycling storage containers will be kept within the enclosed area on the north end of the building. The area will be screened with a solid metal fence. On trash day, the bins will need to be wheeled out of the enclosure into the parking lot area for the trash and recycling trucks to empty the bins.

Lighting – Meets requirements

- A lighting plan showing footcandles was submitted as part of the application materials. The lighting levels are in conformance with the standards of Chapter 535, Regulations of General Applicability. CPED is recommending that exterior lighting fixture details be provided to ensure that the overall height of the lights are in conformance with the standards of Chapter 535, Regulations of General Applicability.

Fences – Not applicable

- The applicant is not proposing to have any fencing on the site.

Specific Development Standards – Meets requirements

- The applicant's proposal meets the specific development standards for a college or university in [Chapter 536](#).
 - All new colleges and universities and expansions of existing colleges or universities shall submit a master development plan that describes proposed physical development for a period of five (5) years and a period from five (5) to ten (10) years and shall include a description of proposed development phases and plans, including development priorities, the probable sequence for proposed development, estimated dates of construction, and anticipated interim use of property awaiting to be developed

UA Overlay District Standards – Meets requirements

- The proposal is in compliance with the UA University Area Overlay District standards for parking. It should be noted that the UA University Area Overlay District parking standards apply only to residential uses. This development is not adding any additional residential units to the campus.

3. Conformance with the applicable policies of The Minneapolis Plan for Sustainable Growth.

The Minneapolis Plan for Sustainable Growth identifies the site as Public and Institutional on the future land use map. The proposed development is consistent with the following principles and policies outlined in the comprehensive plan:

Urban Design Policy 10.8: Strengthen the character and desirability of the city's urban neighborhood residential areas while accommodating reinvestment through infill development.

- 10.8.8 Appropriate non-residential land uses, such as institutional, public and suitable commercial uses, should be integrated into low density residential areas through proper building location and design, landscaping, and other site improvements.

Urban Design Policy 10.13: Work with institutional and public partners to assure that the scale and form of new development or expansion will occur in a manner most compatible with the surrounding area.

- 10.13.1 Concentrate the greatest density and height in the interior of institutional campuses with stepped-down building design as it transitions to the neighborhood.
- 10.13.2 Develop building forms on the edges of institutional property which are most reflective of neighboring properties as the preferred option, while recognizing that in certain circumstances greater bulk and density may be preferable to expansion beyond existing campus boundaries.
- 10.13.3 Encourage institutional uses and public buildings and facilities to incorporate architectural and site design that is reflective of their civic importance and that identifies their role as focal points for the community.
- 10.13.4 Promote active uses at the ground floor level.

Urban Design Policy 10.14: Encourage development that provides functional and attractive gathering spaces.

- 10.14.3 Encourage the creation of new parks and plazas.

Urban Design Policy 10.18: Reduce the visual impact of automobile parking facilities.

- 10.18.1 Require that parking lots meet or exceed the landscaping and screening requirements of the zoning code, especially along transit corridors, adjacent to residential areas, and areas of transition between land uses.
- 10.18.2 Parking lots should maintain the existing street face in developed areas and establish them in undeveloped areas through the use of fencing, walls, landscaping or a combination thereof along property lines.
- 10.18.3 Locate parking lots to the rear or interior of the site.
- 10.18.4 Provide walkways within parking lots in order to guide pedestrians through the site.

Urban Design Policy 10.19: Landscaping is encouraged in order to complement the scale of the site and its surroundings, enhance the built environment, create and define public and private spaces, buffer and screen, incorporate crime prevention principles, and provide shade, aesthetic appeal, and environmental benefits.

- 10.19.1 In general, larger, well-placed, contiguous planting areas that create and define public and private spaces shall be preferred to smaller, disconnected areas.
- 10.19.2 Plant and tree types should complement the surrounding area and should include a variety of species throughout the site that include seasonal interest. Species should be indigenous or proven adaptable to the local climate and should not be invasive on native species.
- 10.19.3 Landscaped areas should include plant and tree types that address ecological function, including the interception and filtration of stormwater, reduction of the urban heat island effect, and preservation and restoration of natural amenities.
- 10.19.4 Landscaped areas should be maintained in accordance with Crime Prevention Through Environmental Design (CPTED) principles, to allow views into and out of the site, to preserve view corridors and to maintain sight lines at vehicular and pedestrian intersections.

- 10.19.5 Landscaping plans should be designed to facilitate future maintenance including the consideration of irrigation systems, drought and salt-resistant species, ongoing performance of storm water treatment practices, snow storage, access to sun, proximity to buildings, paved surfaces and overhead utilities.
- 10.19.7 Boulevard landscaping and improvements, in accordance with applicable city policies, are encouraged.

4. Conformance with applicable development plans or objectives adopted by the City Council.

The site is located within the boundaries of the *Cedar Riverside Small Area Plan* which was adopted by the City Council in 2008. The plan identifies the site as Public and Institutional on the future land use map. The urban design guidelines in the plan call for:

- The development of safe public and private spaces;
- Maintaining connections throughout the neighborhood for all modes of travel;
- Improving access to the parks in the neighborhood;
- Minimizing curb cuts;
- Discourages parking between principal building facades and the street; surface parking should be adjacent to or in the rear of buildings; and
- Sustainable building and site design practices.

The proposed development is consistent with the above design guidelines of the small area plan except for the fact that there is a surface parking lot located between the building and South 6th Street. The applicant has applied for a variance to allow the parking lot in this location and alternative compliance is required for site plan review. The proposed parking lot would be set back approximately 17 feet from the front property line along South 6th Street. The applicant is proposing to densely landscape the area between the parking lot and the property line with canopy trees, ornamental trees and shrubs. In addition, in the college's six to ten year master plan the intention is to replace the surface parking lot with a mixed-use fine arts building.

5. Alternative compliance.

The Planning Commission or zoning administrator may approve alternatives to any site plan review requirement upon finding that the project meets one of three criteria required for alternative compliance. Alternative compliance is requested for the following requirements:

- **Building Placement.** The required front yard setback in the OR3 High Density Office Residence District is 15 feet. The first floor of the building is located more than 15 feet from all three front property lines. The building is located approximately 105 feet from South 6th Street, approximately 43 feet from 21st Avenue South and approximately 30 feet, at the closest point, from 20th Avenue South. The placement of the building does not reinforce the street wall. CPED is recommending that the City Planning Commission grant alternative compliance to allow the building to be located more than 15 feet from the front property line along South 6th Street, 21st Avenue South and 20th Avenue South. The proposed building is one of many in a collection of buildings on the college campus. Many of the existing buildings on campus are set back more than 15 feet from the front property line to evoke a campus like setting.
- **Parking Lot Location.** There is a surface parking lot located between the building and South 6th Street. The applicant has requested a variance to allow the surface parking lot between the building and the front property line. CPED is recommending approval of the variance and is therefore recommending that the City Planning Commission grant alternative compliance to allow the surface

- parking lot between the building and the front property line. In the college's six to ten year master plan the intention is to replace the surface parking lot with a mixed-use fine arts building
- **Blank Walls.** There are three areas of the building on the first floor and three sides of the fourth floor that are blank and over 25 feet in length. The three areas on the first floor of the building that are blank are located on three different sides of the building and are between 28 and 48 feet in length. The longer building wall segment is curved. The first floor window requirement is being met on all sides of the building. The walls on the fourth floor of the building that are blank screen the rooftop mechanical area and are all set back from the outer edge of the building. CPED is recommending that the City Planning Commission grant alternative compliance to allow three areas of the building on the first floor and three sides of the fourth floor to be blank and over 25 feet in length.
 - **Minimum Window Requirement.** The project is in compliance with the minimum window requirement except on the fourth floor of the building facing 20th Avenue South. The area of the building that is not meeting the window requirement is the screen wall around the rooftop mechanical area. This wall of the building would be set back from the outer edge of the building. CPED is recommending that the City Planning Commission grant alternative compliance to allow no windows on the fourth floor of the building facing 20th Avenue South.
 - **Canopy Trees.** The applicant is not proposing at least one canopy tree per 500 square feet of the required landscaped area, including all required landscaped yards. The tree requirement for the site is 58 and the applicant is proposing a total of 40 trees. In addition to the 40 canopy trees, the applicant is proposing to plant 29 ornamental trees on the property and an additional 16 canopy trees in the right-of-way. Given that the overall amount of trees being planted on the site exceeds the minimum requirement of 58 trees, CPED is recommending that the City Planning Commission grant alternative compliance.
 - **Landscaped Yard.** The parking lot located south of vacated South 8th Street between 20th Avenue South and vacated 21st Avenue South does not contain an on-site landscaped yard of at least seven feet in width from vacated South 8th Street. The parking lot is located up to what was the public sidewalk before the street was vacated. If the landscaped yard were to be installed the entire row of parking would need to be eliminated as the parking spaces wouldn't meet the minimum dimensional requirements. There is green space located between the north side of the vacated sidewalk and the curb line of the former public street. The applicant is proposing to plant nine canopy trees in this green space. CPED is also recommending that shrubs or perennials be planted in this area that will help screen the parking area from the residential uses to the north. The landscaping should be at least three-feet in height and at least 60 percent opaque.
 - **Screening of the parking lot located south of vacated South 8th Street between 20th Avenue South and vacated 21st Avenue South.** The applicant is not proposing a three-foot screen that is at least 60 percent opaque along 20th Avenue South. The expanded parking lot would be replacing an existing tennis court that is currently enclosed with a tall chain link fence. The chain link fence would be removed. To help screen the parking lot from the public street, CPED is recommending that a three-foot screen consisting of landscaping that is at least 60 percent opaque be provided along this side.
 - **Screening of the parking lot located south of vacated South 8th Street between 20th Avenue South and vacated 21st Avenue South.** The applicant is not proposing a six-foot screen that is at least 95 percent opaque along South 8th Street or 21st Avenue South. For crime prevention purposes, CPED is recommending that the City Planning Commission grant alternative compliance to not require a six-foot screen that is at least 95 percent opaque along South 8th Street or 21st Avenue South. However, in order to screen the parking area from the residential uses to the north and east, CPED is recommending that shrubs or perennials be planted along these two sides of the parking lot. The landscaping should be at least three-feet in height and at least 60 percent opaque.

PRELIMINARY AND FINAL PLAT

The Department of Community Planning and Economic Development has analyzed the application for a preliminary and final plat based on the following findings:

1. *The subdivision is in conformance with these land subdivision regulations, the applicable regulations of the zoning ordinance and policies of the comprehensive plan.*

The applicant is proposing to combine several platted lots and vacated right-of-way into one platted lot. The subdivision is in conformance with the design requirements of the land subdivision regulations.

Zoning Ordinance:

The subdivision is in conformance with the design requirements of the zoning code.

Comprehensive Plan:

The subdivision is in conformance with the policies of the comprehensive plan.

2. *The subdivision will not be injurious to the use and enjoyment of other property in the immediate vicinity, nor be detrimental to present and potential surrounding land uses, nor add substantially to congestion in the public streets.*

The applicant is proposing to combine several platted lots and vacated right-of-way into one platted lot.

3. *All land intended for building sites can be used safely without endangering the residents or users of the subdivision or the surrounding area because of flooding, erosion, high water table, soil conditions, improper drainage, steep slopes, rock formations, utility easements or other hazard.*

The land intended for building can be used safely without endangering the users of the subdivision or the surrounding area because of flooding, erosion, high water table, soil conditions, improper drainage, steep slopes, rock formations, utility easements or other hazard.

4. *The lot arrangement is such that there will be no foreseeable difficulties, for reasons of topography or other conditions, in securing building permits and in providing driveway access to buildings on such lots from an approved street. Each lot created through subdivision is suitable in its natural state for the proposed use with minimal alteration.*

The parcels created by this application present no foreseeable difficulties for development. No significant alterations to the land appear necessary.

5. *The subdivision makes adequate provision for stormwater runoff, and temporary and permanent erosion control in accordance with the rules, regulations and standards of the city engineer and the requirements of these land subdivision regulations. To the extent practicable, the amount of stormwater runoff from the site after development will not exceed the amount occurring prior to development.*

The Department of Public Works has reviewed the preliminary plans and will review the final plans for compliance with standards related to drainage and sanitary system plans. The applicant will be required to continue to work closely with the Department of Public Works, the Plan Review Section of CPED and the various utility companies during the duration of the development to ensure that all procedures are followed and that the development complies with all city and other applicable requirements.

VACATION

The applicant is proposing to vacate all of the retained easements in vacated South 7th Street between 20th and 21st Avenues South. As part of this vacation request, the applicant will be providing a street easement to the City of Minneapolis over a cul-de-sac that will be constructed at the south terminus of 21st Avenue South. The cul-de-sac is necessary as the City of Minneapolis does not allow the creation of dead-end streets. The segment of 21st Avenue South, between Riverside Avenue and vacated South 7th Street is necessary as there is one home on the east side of 21st Avenue South that is privately owned. The cul-de-sac and street easement will be used by citizens, emergency vehicles, plow trucks and trash and recycling trucks.

The area to be vacated is legally described as follows:

- All that part of 7th Street South as dedicated in the plat of Town of Minneapolis, according to the recorded plat thereof, Hennepin County, Minnesota, lying east of a line drawn from the northwest corner of Block 199, said Town of Minneapolis, to the southwest corner of Block 190, said Town of Minneapolis, and lying west of a line drawn from the northwest corner of Block 198, said Town of Minneapolis to the southwest corner of Block 191, said Town of Minneapolis, and lying south of the south line of said Block 190 and a line drawn from the southeast corner of said Block 190 to said southwest corner of Block 191, and lying north of the north line of said Block 199 and its easterly extension.

RESPONSES FROM UTILITIES AND AFFECTED PROPERTY OWNERS. The Department of Public Works has reviewed the vacation petition and recommends approval of the vacation. Of the utility companies that have responded CenterPoint Energy, Comcast and Xcel Energy have requested easements.

FINDINGS. The Department of Public Works and the Department of Community Planning and Economic Development find that the area proposed for vacation is not needed for any public purpose, and it is not part of a public transportation corridor, and that they can be vacated if any easements requested above are granted by the petitioner.

RECOMMENDATIONS

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt staff findings for the applications by Augsburg College for the properties located at 628 21st Avenue South, 2015 South 7th Street, 623 20th Avenue South, 2011 South 6th Street and 606 21st Avenue South:

A. Conditional Use Permit to allow a college expansion.

Recommended motion: **Approve** the application for a college expansion, subject to the following conditions:

1. The conditional use permit shall be recorded with Hennepin County as required by Minn. Stat. 462.3595, subd. 4 before building permits may be issued or before the use or activity requiring a conditional use permit may commence. Unless extended by the zoning administrator, the conditional use permit shall expire if it is not recorded within two years of approval.
2. The TDMP commitments shall be adhered to.

B. Variance of the parking location.

Recommended motion: **Approve** the application for a variance to allow parking between a front property line (South 6th Street) and the building, subject to the following conditions:

1. The proposed parking lot shall be set back approximately 17 feet from the front property line along South 6th Street.
2. Dense landscaping including canopy trees, ornamental trees and shrubs shall be provided in the area between the parking lot and the property line.

C. Variance of the front yard setbacks.

Recommended motion: **Approve** the application for to reduce the required front yard setbacks along 21st Avenue South for the skyway from 15 feet to zero feet on both the proposed development property and the existing library, subject to the following conditions:

1. To help minimize the visual impact of the skyway it shall be constructed of clear or lightly-tinted glass.
2. The applicant is encouraged to design the skyway using bird-safe design.

D. Site Plan Review for a new educational building.

Recommended motion: **Approve** the application for a new 4-story, 136,000 square foot building with classrooms, laboratories and offices, subject to the following conditions:

1. All site improvements shall be completed by March 14, 2018, unless extended by the Zoning Administrator, or the permit may be revoked for non-compliance.
2. CPED staff shall review and approve the final site, elevation, landscaping, and lighting plans before building permits may be issued.
3. All mechanical equipment shall be screened per the requirements of Chapter 535, Regulations of General Applicability.
4. The exterior lighting fixture details shall be provided to ensure that the overall height of the lights are in conformance with the standards of Chapter 535, Regulations of General Applicability.
5. In the parking lot located south of vacated South 8th Street between 20th Avenue South and vacated 21st Avenue South, shrubs or perennials shall be planted in the green space located between the north side of the sidewalk and the curb line of the former public street (South 8th Street) to help screen the parking area from the residential uses to the north. The landscaping shall be at least three-feet in height and at least 60 percent opaque.
6. In the parking lot located south of vacated South 8th Street between 20th Avenue South and vacated 21st Avenue South, a three-foot screen consisting of landscaping that is at least 60 percent opaque shall be provided along 20th Avenue South to help screen the parking lot from the public street.
7. In the parking lot located south of vacated South 8th Street between 20th Avenue South and vacated 21st Avenue South, shrubs or perennials shall be planted along 21st Avenue South to help screen the parking area from the residential uses to the east. The landscaping shall be at least three-feet in height and at least 60 percent opaque.

E. Preliminary and Final Plat.

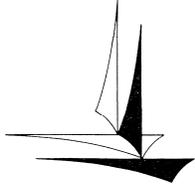
Recommended motion: **Approve** the preliminary and final plat.

F. Vacation of retained easements in vacated 7th Street South between 20th and 21st Avenues South (Vac-I655).

Recommended motion: **Approve** the vacation of the retained easements in vacated South 7th Street between 20th and 21st Avenues South subject to the retention of easements for CenterPoint Energy, Comcast and Xcel Energy.

ATTACHMENTS

1. PDR report
2. Written description and findings submitted by applicant
3. Augsburg College master plan
4. Preliminary plat information
5. Vacation 1655 information and responses from utility companies
6. Zoning map
7. Civil, landscape, architectural and electrical plans
8. Photos
9. Correspondence



Minneapolis Development Review
250 South 4th Street
Room 300
Minneapolis, MN 55415

Preliminary Development Review Report

Development Coordinator Assigned: **DONALD ZART**
(612) 673-2726
don.zart@minneapolismn.gov

Status *
RESUBMISSION REQUIRED

Tracking Number:	PDR 1001394
Applicant:	AUGSBURG CAMPUS BOX 130 MINNEAPOLIS, MN 55454
Site Address:	605 20TH AVE S 2015 7TH ST S 623 20TH AVE S 2011 6TH ST S 606 21ST AVE S
Date Submitted:	13-JAN-2016
Date Reviewed:	22-JAN-2016

Purpose

The purpose of the Preliminary Development Review (PDR) is to provide Customers with comments about their proposed development. City personnel, who specialize in various disciplines, review site plans to identify issues and provide feedback to the Customers to assist them in developing their final site plans.

The City of Minneapolis encourages the use of green building techniques. For additional information please check out our green building web page at: http://www.ci.minneapolis.mn.us/mdr/GreenBuildingOptions_home.asp.

DISCLAIMER: The information in this review is based solely on the preliminary site plan submitted. The comments contained in this report are preliminary ONLY and are subject to modification.

Project Scope

Proposed new 4 story academic building with classrooms, laboratories and offices for teaching, studying and researching science, business and religion

Review Findings (by Discipline)

Street Design

- The plan as submitted meets the requirements of the Public Works Street Design Division.

*Approved: You may continue to the next phase of developing your project.

*Resubmission Required: You cannot move forward or obtain permits until your plans have been resubmitted and approved.

❑ Sidewalk

- The plan as submitted meets the requirements of the Public Works Sidewalk Inspections Division.

❑ Zoning - Planning

- Applications identified to date:
- Conditional use permit for a college expansion
- Site plan review
- Possible parking variance
- Vacation of ROW
- Plat

❑ Addressing

- The proposed address will be 700 21st Ave S.
- When assigning suite sequences the following guidelines are as follows:
- The first one to two digits of the suite sequence number will designate the floor number of the site.
- The last two digits of the suite sequence number will designate the unique ID for the unit (condo, suite, unit, or apartment).
- Suite sequence digit numbers will be assigned to dwelling, commercial and retail units, not common areas. For example, laundry rooms, saunas, workout rooms, etc., would not be assigned numbers.
- Please provide each condo, suite, unit or apartment number.

❑ Parks - Forestry

- Contact Craig Pinkalla (cpinkalla@minneapolisparks.org), Telephone (612)-499-9233 regarding removal or protection of trees during construction in the city right of way. Contact Craig regarding species selection.
- Craig will refine his evaluation of the trees that will be included in the vacation.
- Effective January 1, 2014, the City of Minneapolis and the Minneapolis Park and Recreation Board adopted an update to the existing Parkland Dedication Ordinance.
- The adopted City of Minneapolis Parkland Dedication ordinance is located in Section 598.340 of the City's Land Subdivision ordinance:
- <http://library.municode.com/index.aspx?clientId=11490>
- As adopted, the fee in lieu of dedication for new residential units is \$1,521 per unit (affordable units excluded per ordinance) and for commercial and industrial development it is \$202.80 per development employee (as defined in ordinance). Any dedication fee (if required) must be paid at the time of building permit issuance. There is also an administration fee that is 5% of the calculated park dedication fee.
- As proposed, for your project, The Hagfors Center, the calculated dedication fee is as follows:
- Commercial - \$27,986
- Administrative Fee - 5% of \$27,986 (capped at \$1,000) = \$ 1,000
- Total = \$28,986
- This is a preliminary calculation based on your current proposal; a final calculation will be made at the time of building permit submittal.
- For further information, please contact Don Zart at (612)673-2726

❑ Water

- The plan as submitted meets the requirements of the Public Works Water Maintenance & Distribution Division.
- Note to the Applicant: Location of meters to be placed nearest to the location where the service line enters the building. Please contact Rock Rogers at (612) 673-2286, to review domestic and fire service design, connections, and sizes.

□ Right of Way

- An encroachment permit shall be required for all streetscape elements in the Public right-of-way such as: plants & shrubs, planters, tree grates and other landscaping elements, sidewalk furniture (including bike racks and bollards), and sidewalk elements other than standard concrete walkways such as pavers, stairs, raised landings, retaining walls, access ramps, and railings (NOTE: railings may not extend into the sidewalk pedestrian area). Please contact Bob Boblett at (612) 673-2428 for further information.
- Note to the Applicant: Any elements of an earth retention system and related operations (such as construction crane boom swings) that fall within the Public right-of-way will require an encroachment permit application. If there are to be any earth retention systems which will extend outside the property line of the development then a plan must be submitted showing details of the system. All such elements shall be removed from the Public right-of-way following construction with the exception of tie-backs which may remain but must be uncoupled and de-tensioned. Please contact Bob Boblett at (612) 673-2428 for further information.
- In addition, any elements of an earth retention system and related excavations that fall within the Public right-of-way will require a "Right-of-Way Excavation Permit". This permit is typically issued to the General Contractor just prior to the start of construction. However, it is the Applicant's responsibility to insure that all required permits have been acquired by its consultants, contractors, sub-contractor's prior to the start of work.
- The proposed vacation of Public right-of-way is in process; please work directly with Bob Boblett at (612) 673-2428 to insure the process moves to completion.

□ Traffic and Parking

- A Travel Demand Management Plan (TDMP) is required, and is currently in the review process with Minneapolis Traffic; please continue to work with Allan Klugman at (612) 673-2743 to resolve remaining issues.
- Note to the Applicant: The proposed cul-de-sac may cause traffic back-up issues if "drop offs and pick ups" are allowed but unmanaged.
- Please contact Bill Prince at (612) 673-3901 regarding existing and proposed street lighting. All street lighting (existing and proposed) shall be shown clearly on the site plan. Prior to site plan approval, the Applicant shall contact Bill Prince at (612) 673-3901 to determine any street lighting requirements. Note: If decorative street lighting exists on the proposed site it must be preserved or replaced at existing levels. Street lighting will be strongly encouraged in areas immediately adjacent to existing lighting systems, in high density areas and along major pedestrian corridors and business nodes as identified in the Minneapolis Street Lighting Policy.
- Note to the Applicant: Please add the following notes to the site plan:
 - Street lighting installed as part of the Project shall be inspected by the City. Contractors shall arrange for inspections with the Traffic Department, please contact Dave Prehall at (612) 673-5759 for further information. Any lighting installations not meeting City specifications will be required to be reinstalled at Owner expense.
 - An obstruction permit is required anytime construction work is performed in the Public right-of-way. Please contact Scott Kramer at (612) 673-2383 regarding details of sidewalk and lane closures. Log on to <http://minneapolis.mn.roway.net/> for a permit.
 - Contact Allan Klugman at (612) 673-2743 prior to construction for the temporary removal/temporary relocation of any City of Minneapolis signal system that may be in the way of construction.
 - All costs for relocation and/or repair of City Traffic facilities shall be borne by the Contractor and/or Property Owner.
 - Contact Doug Maday at (612) 673-5755 prior to construction for the removal of any City of Minneapolis right of way signs that may be in the way of construction.

□ Historical Preservation Committee

- There is no historic preservation flag on the property.

❑ Fire Safety

- Provide required fire suppression system throughout building.
- Fire department connection must be on the address side of building and within 150 feet of a fire hydrant.
- Provide a fire alarm system throughout building.
- Provide and maintain fire apparatus access at all times.

❑ Business Licensing

- Please contact Don Zart (612)673-2726 regarding a Health Plan Review if there will be a food related business occupying a portion of the new building.

❑ Sewer Design**Groundwater:**

- Please provide a copy of any geotechnical reports for the site. Please also identify if any permanent groundwater discharges are proposed in order to keep the below grade areas of the building dry.

Stormwater Management:

- The project is subject to the stormwater treatment requirements of Chapter 54 of the Minneapolis Code of Ordinances. Please provide the necessary documentation and analysis demonstrating compliance with Chapter 54, including stormwater calculations, BMP maintenance plans, etc.
- Please identify the square footage of the area proposed to be disturbed with the project, and the existing and proposed impervious square footages within the disturbed area.
- An operations and maintenance plan is required for the stormwater treatment devices. The O&M plan shall define the maintenance regimen, including type and interval of maintenance and party to conduct such maintenance. Please provide a copy of the O&M Plan.
- Please provide a copy of any geotechnical reports for the site. In the absence of field measured infiltration rates, the design infiltration rates from the MN Stormwater Manual (http://stormwater.pca.state.mn.us/index.php/Design_infiltration_rates) should be used for the design of the infiltration practice.

Surface Drainage:

- Please verify if the cul-de-sac on 21st is to be private or public. If public, the proposed CB and drainage will need to be kept within the right-of-way or easements may need to be acquired, if necessary. Any public drainage should also be separated from any on-site, required treatment BMPs.

Utility:

- Any City sanitary sewer that is proposed to be abandoned in place and will be within the vacated the St S right-of-way will need to be transferred in ownership away from the City. If the property owner that will assume ownership of the vacated right-of-way does not wish to accept ownership of the abandoned sewer, it will need to be removed.
- The abandoned sanitary will need to be bulkheaded at the manhole in 20th and 7th. Please add a note indicating this.
- The existing 9" PVC storm sewer and CB at 7th and 20th will need to be transferred in ownership away from the City to the property owner. The City CBs currently connected to this are proposed to be removed and a private service is proposed to connect to this line.

Non Stormwater Discharges:

- Detail all mechanical and non-stormwater discharges. Non-stormwater discharges are not permitted unless approved by the City of Minneapolis. Non-stormwater discharges not declared and approved will not be permitted. If there currently are none and nothing is proposed declare this status on the plans.
- For comments or questions on Public Works Surface Water & Sewers Division related requirements please contact Jeremy Strehlo, (Professional Engineer) at (612) 673-3973, or jeremy.strehlo@minneapolismn.gov

❑ Construction Code Services**❑ Environmental Health**

- For two blocks a number lots on 20th Ave S and 21st Ave S had historical structures that were constructed prior to city water service being available. Presently 623 20th Ave S is the only remaining structure, constructed in 1900, prior to demolition the structure and lot needs to be inspected for the presence of a water supply well. If during that inspection and/or site excavation of this and other lots vertically piping is found indicating a an abandoned water supply well that well needs to flagged and sealed by under the supervision of a Minnesota Licensed Well Contractor.
- If impacted soil is encountered during site activities call the MN State Duty officer at (615) 649-5451.
- If dewatering is required during site construction see below for city permit requirements. Subgrade structures should be designed to prevent infiltration of groundwater without the need for a permanent dewatering system being installed. If a continuously operating permanent dewatering system is needed it must be approved as part of the sanitary sewer and storm drain site plan approval prior to construction beginning.
- No construction, demolition or commercial power maintenance equipment shall be operated within the city between the hours of 6:00 p.m. and 7:00 a.m. on weekdays or during any hours on Saturdays, Sundays and state and federal holidays, except under permit. Contact Environmental Services at 612-673-3867 for permit information.
- Permits and approval are required from Environmental Services for the following activities: Temporary storage of impacted soils on site prior to disposal or reuse; Reuse of impacted soils on site; Dewatering and discharge of accumulated storm water or ground water, underground or aboveground tank installation or removal, well construction or sealing. Contact Tom Frame at 612-673-5807 for permit applications and approvals.
- A review of the project, permits issued and an inspection from Environmental Service for identification of equipment and site operations that require annual registration with the City of Minneapolis will occur for this project.

END OF REPORT



February 17, 2016

WRITER'S DIRECT DIAL 612-758-4598

Hilary Dvorak
Principal City Planner
City of Minneapolis
250 South 4th Street - Room 300
Minneapolis, Minnesota 55415

Re: Augsburg College - Hagfors Center for Science, Business and Religion
Land Use Application – Resubmittal Materials
HGA Commission Number 1826-029-00

Dear Hilary:

Please find attached additional and modified information as requested for the General Land Use Application for the Augsburg College Hagfors Center for Science, Business and Religion. The original LUA was submitted on January 8, 2016. This resubmission is in response to your letter indicating incomplete materials, dated January 26, 2016.

Project Use:

A four-story, 135,000 SF academic building with classrooms, laboratories and offices for teaching, studying and researching science, business and religion.

Project Description:

As the centerpiece of the Augsburg College Campus Space and Master Plan (2011), this signature building – its siting, design, construction and its ultimate use by the community – will set a new expectation for the entire campus as it illustrates a sense of beauty, harmony with place and commitment to neighborhood hospitality. The Hagfors Center for Science, Business and Religion will be the lever for expressing the college's aspirations for a 21st century urban campus. Connected to Augsburg's core identity of deep traditions, durable faith and inclusive and experiential learning, there are several guiding principles for the project:

- It will have a focus on enhancing the student experience, reflecting Augsburg's vision to be a "new kind of student-centered university, small to our students and big for the world."
- It will express in its design throughout the building a firm belief in the intersections and fluidity of boundaries between the academic disciplines that reside in the building, as well as others across campus.
- It will express in many ways Augsburg's identity as a Lutheran institution, firm in its faith tradition even as it engages in deep hospitality with those of other faiths and with its community.

The design of the Hagfors Center is based on a chevron plan that emphasizes the intersection between the science, business and religion disciplines housed in the building. At the center of the intersection is a glass walled three-story Learning Commons, which serves as the social and academic heart of the building. A small suspended chapel on the third floor completes the top of this space. Three full stories (and one partial fourth story) of classrooms, offices and laboratories are efficiently organized to take advantage of natural light, respond to flexible laboratory planning needs and offer flexibility for active learning classrooms. The exterior of the building features a background of brick and glass ribbon windows, punctuated by “bay windows” that correlate to areas of collaboration inside the building. The punctuations are detailed with colored mullion extensions that emphasize the various disciplines brought together in the building and respond to the diversity of the campus and its surrounding neighborhood.

Additional Applications Associated with the Project

Please note there are three additional applications associated with this project.

1. Subdivision Application

An application to replat the subdivision associated with the project was submitted on January 8, 2016 by Sunde Land Surveying on behalf of Augsburg College.

2. Vacation of Utility Easements within 7th Street (East of 20th Avenue and West of 21st Avenue)

An application to vacate the utility easements within the vacated portion of 7th Street was submitted on December 22, 2015, by Sunde Land Surveying.

3. Preliminary Development Review

Preliminary Development Review Plans were submitted on January 8, 2016. The PDR meeting with staff was held on January 20, 2016. Final PDR plans will be submitted following approval by the Planning Commission.

Conditional Use Permit

Because colleges are a conditional use in the zoning code, a conditional use permit is required. The following findings are applicable for this project.

1. The establishment, maintenance, and operation of the building are not detrimental to and will not endanger the public health, safety, comfort or general welfare. The Hagfors Center is a new academic building for Augsburg College, which is celebrating almost 150 years as a higher-education institution in the City of Minneapolis. The science teaching and research laboratories are being carefully planned to meet industry standards and all code requirements for safe material handling and mechanical system design.
2. The building will not be injurious to the use and enjoyment of other property in the vicinity and will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district. The Hagfors Center replaces an existing science building adjacent to the planned development.
3. Adequate utilities, access roads, drainage, and all necessary facilities will be provided with the construction, as indicated in the plans submitted for Preliminary Development Review.
4. Adequate measures have been taken to minimize traffic congestion in adjacent public streets. A Travel Demand Management Plan has been prepared and submitted in relation to this project.

5. The conditional use is consistent with the applicable policies of the comprehensive plan. The development meets many of the goals identified in the Cedar Riverside Small Area Plan, including sustainable design (the building is targeted for LEED silver), reduction of parking, encouragement of alternative transportation, and establishment of pedestrian friendly, open green space.
6. The building conforms to the applicable requirements of the district in which it is located. The property is currently owned by Augsburg College within the area designated as “institutional” on the Cedar Riverside Small Area Plan.

Variance Requests

There are two variance requests associated with this application.

1. Parking in a Front or Corner Side Yard

Requirement. By 541.260.2.a, parking areas shall not be located in a required front or corner side yard.

Variance Request. As shown in the attached drawings, a parking lot for twenty six cars is located on the north side of the building, adjacent to 6th Street and 21st Avenue South.

Variance Findings

- A) Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. Finding an ideal location for the relatively small service entrance and parking lot for visitors to the building is limited due to the following restrictions.
- i. The parcel upon which the building is located has three street frontages, including frontage on 20th Avenue to the west, 6th Street to the north, and 21st Avenue to the east. With the vacation of 7th Street previously approved, vehicular access to the site is restricted to one of these three streets.
 - ii. The northwest corner of the site is currently operating as a Community Garden, which is a highly desired community amenity and partnership between the neighborhood and the College. Established in 2008, the Community Garden is open to neighbors, faculty, staff, and students for individual use as well as for programs that teach local youth and college students about local food and organic gardening. The Community Garden is a welcome green space in a neighborhood that greatly benefits from it. By carefully locating the building and the parking lot away from this existing community amenity, the Community Garden will stay in its current location both during construction and upon completion of the new Hagfors Center. The location of the existing Community Garden limits vehicular and parking access to the site from 20th Avenue.
 - iii. Augsburg College’s Master Plan identifies the creation of a pedestrian corridor to the south of the Hagfors Center, from 20th Avenue, through a newly-created green, landscaped quadrangle to Murphy Park. The vacation of 7th Street allows for the elimination of vehicular traffic and parking on the south side of the building, restoring the campus to a pedestrian-friendly amenity both for the campus community as well as the surrounding neighbors, who are invited into the campus through a pedestrian gateway on the south side of the new building. Therefore, parking to the south of the building is not feasible, nor accessible, from public roads.
 - iv. Parking to the east of the building along 21st Avenue is not feasible due to limiting the setback of the building from 21st Avenue as a gateway entrance

- into campus from Riverside Avenue. In lieu of parking along 21st Avenue, a pedestrian-friendly, landscaped yard is proposed in front of the building for student, faculty, and neighborhood enjoyment.
- v. Because there is no opportunity for locating parking to the west, south, and east side of the parcel as described above, the only place left for the parking lot is to the north of the building along 6th Street. The entrance to the parking lot has been carefully located on 21st Avenue rather than 6th Street in order to limit disruption for neighbors living across the parking lot on 6th Street.
- B) Augsburg College proposes to use the property in a reasonable manner that is in keeping with the spirit and intent of the ordinance and comprehensive plan.
- i. The proposed use of the building is an academic building that is consistent with Augsburg College's Master Plan. The building advances academic opportunities for traditionally underserved students, and expands Augsburg College's ability to meet the academic needs of its students for years to come.
 - ii. The proposed use of the building as an academic building is consistent with the property use identified for Augsburg College on the City of Minneapolis' Comprehensive Plan.
 - iii. The site plan has been developed based on feedback from neighborhood open houses and meetings, including the desire to connect green space from 20th Avenue to Murphy Park and the desire not to have a service entry to the building from 6th Street.
 - iv. The Comprehensive Plan calls for the reduction of parking and the encouragement of alternative forms of transportation. This project, which results in a net loss of 154 spaces on the Augsburg College campus, is in keeping with that spirit. This is documented in the submitted Travel Demand Management Plan (TDMP). The TDMP further documents the College's commitment to reducing parking demand throughout campus.
 - v. The 26-vehicle parking lot to the north of the building allows for service access and accessible parking meeting the short-term visitor parking needs of the building.
- C) This proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. The variance is not detrimental to the health, safety, or welfare of the general public or those utilizing the property or nearby properties.
- i. The proposed building setback from 20th Avenue is consistent with the broader campus and surrounding properties.
 - ii. The proposed building location and location of the parking lot preserves the existing Community Garden on site.
 - iii. The proposed parking lot is a smaller parking lot than what currently exists on the site. The reduction of parking on the site illustrates Augsburg College's commitment to reducing parking holistically on campus.
 - iv. The proposed parking lot will be screened with landscape plantings to limit the disruption of cars' headlights and visual effect into the surrounding property. See attached landscape plans for enhanced plantings on the east and south of the proposed parking lot to minimize visual impact of the parking lot to the surrounding neighbors.

2. Skyway Obstruction

Requirement: By 535.280, skyways are not a permitted obstruction in the required side or front yard.

Variance Request: As shown in attached drawings, a pedestrian skyway is proposed to link the second level of the new Hagfors Center with the second level of the existing Lindell Library, crossing the required yard of both the project site and the library site along 21st Avenue. This reduces the setback distance at the skyway to zero.

Variance Findings:

- A) Practical difficulties existing in complying with the ordinance because of circumstances unique to the property.
- i. It is Augsburg College's desire to increase pedestrian and accessible connectivity between campus buildings, in keeping with Augsburg's tradition of enclosed pedestrian routes via skyways and tunnels between existing campus buildings. The planned skyway across 21st Avenue extends this pedestrian network to the new Hagfors Center. Because of the location of the new building in relation to the existing campus buildings, there is no alternate way to make the connection without obstructing required yards along 21st Avenue.
 - ii. The existing Lindell Library was planned for a future skyway connection at this location.
 - iii. The intention of the skyway is to link academic buildings in order to limit transportation time between classes. The proposed location of the skyway is the closest path of connection between the planned building and adjacent academic buildings.
- B) Augsburg College proposes to use the property in a reasonable manner that is in keeping with the spirit and intent of the ordinance and the comprehensive plan.
- i. Augsburg College owns and operates multiple skyways around its existing campus to no ill effect.
- C) The proposed variance does not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. The variance is not detrimental to the health, safety and welfare of the general public or those utilizing the property or nearby properties.
- i. Augsburg College is the only property Owner adjacent to the proposed skyway. No other property owners are affected by the proposed variance.
 - ii. The proposed skyway enhances the use of the property by allowing for a safe, accessible, enclosed pedestrian route between campus buildings, both for Augsburg faculty, staff and students as well as community members.

Alternative Compliance Requests

We would like to draw your attention to the following requests for alternative compliance from site plan requirements.

1. Building Placement

Requirement: By 530.110, the building shall be located not more than eight feet from the lot line.

Alternative Compliance Request:

See attached site plan for setback dimensions to the property line, which are more than eight feet from the lot line. Adjacent buildings Anderson Hall and Luther Hall are also

located more than eight feet from the lot line. The proposed siting of the Hagfors Center places it 12.13' behind the setback of Anderson Hall and 14.38' behind the setback of Luther Hall.

Rationale:

- The property is a parcel of the broader Augsburg College campus and is part of a larger landscape master plan which emphasizes open space in a pedestrian-friendly, urban campus. See attached master plan files.
- The greater setback distance is consistent with setback distances already established by other campus buildings adjacent to public and private roads on campus.
- The greater setback distance allows for a fully-landscaped pedestrian amenity adjacent to 21st Avenue, including new benches and trees. Parking is not proposed within the setback distance and is contained to a parking lot on the north side of the building.
- The greater setback distance allows visibility to the circular cul-de-sac which serves as the terminus of the public street, 21st Avenue. (Note 21st Avenue is vacated and will be closed upon full completion of the master plan).
- The main entrance into the building is located within eight feet of the circular cul-de-sac at the end of 21st Avenue.

2. Clear Height under the Skyway

Requirement: By Minneapolis Skyway Standards Section 2.2, the bottom of skyway bridges must be a minimum of 16'-6" above the street or alley.

Alternative Compliance Request: The project has a planned skyway connection to the existing Lindell Library, on the east side of 21st Avenue. In order to meet the existing elevation of the existing second floor of the Lindell building, the skyway slopes from the new Hagfors Center building to the existing Lindell floor. A clear height of 16'-8" is maintained over the street. However, the clearance reduces to 14'-7 1/2" at the right of way outside of the street width. See drawing 1/A651 for elevation, dimensions and layout of the skyway.

Rationale:

- Required clearance is maintained under the street itself, just not under the entire street's right of way.
- Existing conditions limit the ability to meet the clearance requirements and still maintain accessible access to the existing building.
- The skyway meets the vertical clearance requirements established by the US D.O.T. Federal Highway Administration guidelines of fourteen feet for urban local roads (http://safety.fhwa.dot.gov/geometric/pubs/mitigationstrategies/chapter3/3_verticalclearance.cfm).
- The skyway crosses the end of a terminated public street where minimal traffic is anticipated.

3. Blank Wall

Requirement: By 530.120, the building shall not have blank, uninterrupted walls that do not include windows, entries, recess or projections that exceed twenty five (25) feet in length.

Alternative Compliance Request: As seen in elevation 4/A400, there is one blank section of exterior wall over twenty five feet in length. It is proposed to be 31'-8 1/2" long.

Rationale:

- The interior of the room behind the blank wall is a projection wall designed to be used for assemblies of up to 221 people. As such, glass is not feasible in this location due to glare and sightline concerns.
- The exterior of the blank wall is designed to accept fabric banners that Augsburg College can change over time to display information about upcoming events. The signage faces the interior of the campus; no other neighbors or property owners front the signage.
- Of the entire first floor perimeter, 56% of the wall consists of windows and entries.

Other Items of Note

As noted in the Travel Demand Management Plan, resubmitted by SRF on February 5, 2016, one remote parking lot is being expanded on campus as a result of the loss of parking spaces from the construction and completion of the Hagfors Center. Information on this remote parking lot is included in this application.

Zoning

The property is currently zoned OR3, Institutional Office Residence District, and we are proposing no changes to the district.

Applicant's Contact Information:

Rebecca Celis
420 North 5th Street, Suite 100
Minneapolis, Minnesota 55401
(612) 758-4598
E-mail: RCelis@hga.com

Please let me know if you have any questions on the application.

Sincerely,



Rebecca E. Celis, AIA
Associate Vice President

Hilary Dvorak
February 17, 2016
Page 8

Enclosures Land Use Application
 Letter from Augsburg College Authorizing HGA as the Applicant
 Letter to Neighborhood Group and City Council Office
 Land Use Application Drawings - Resubmittal

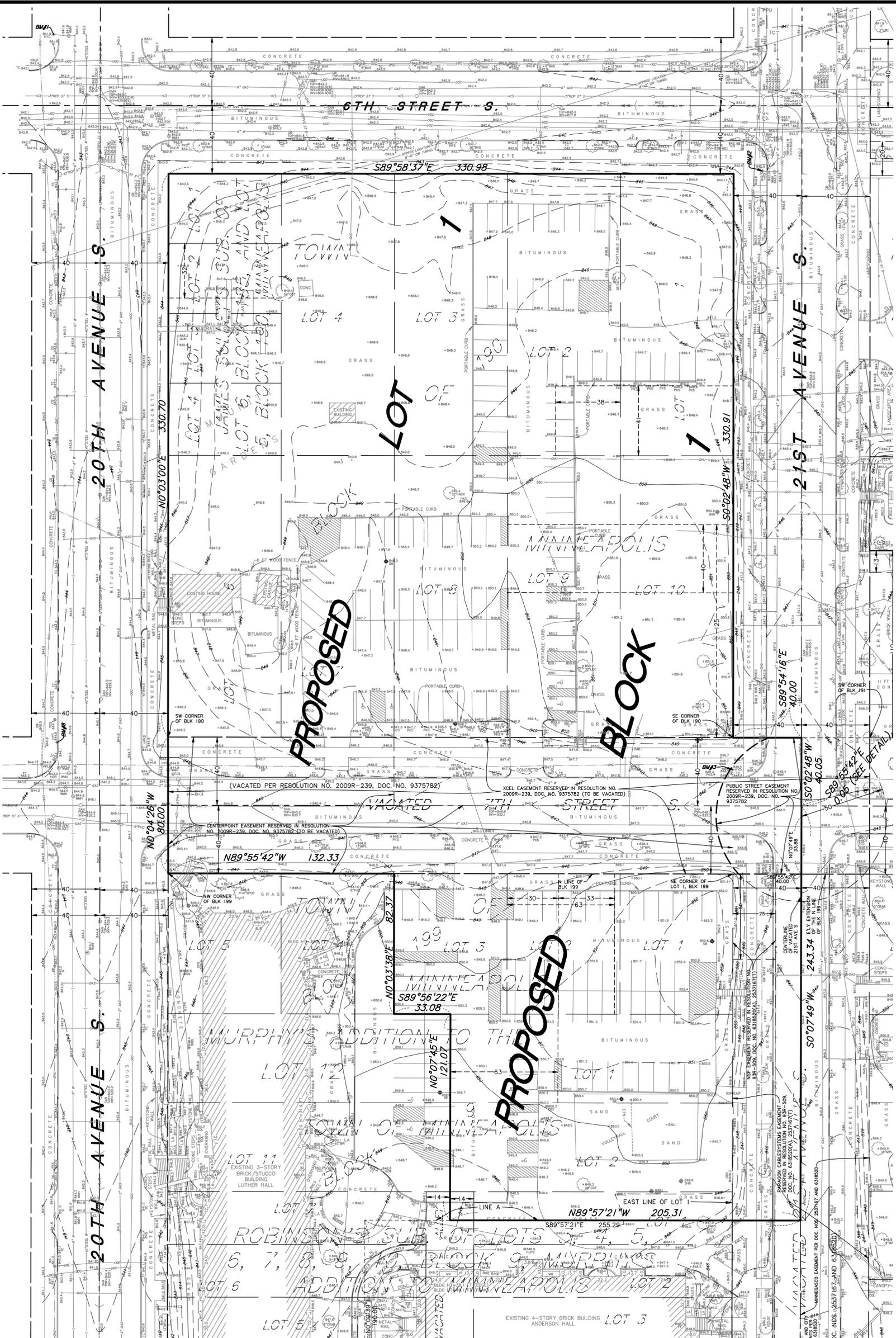
cc: Brian Baar, McGough Construction
 Bake Baker, McGough Construction
 Cary Miller, McGough Construction
 Sandra Rolph, Oslund and Associates
 Dennis Stuckey, Augsburg College
 Erik Hansen, HGA

u:\1800\1826\029-00\1. general communications\correspondence\20160217_landuseresubmittalcoverletter_rec_rev2.docx

1. **Comment:** *Please submit a master development plan that describes proposed physical development for a period of five (5) years and a period from five (5) to ten (10) years and shall include a description of proposed development phases and plans, including development priorities, the probable sequence for proposed development, estimated dates of construction, and anticipated interim use of property awaiting to be developed.*

Response:

- a. Augsburg College's Master Plan and phasing diagrams are included in Sheets L400 through L405 of this re-submittal. They have been updated to illustrate the proposed building footprint and site design for the Hagfors Center for Science, Business, and Religion. L400 illustrates the existing plan of the campus. L401 illustrates years 1-5 of the Master Plan, which was ratified by the board of directors in 2011.. Existing buildings, planned building renovations and new buildings are shown in dark maroon, light maroon, and pink tones, respectively (see key at right). New buildings include the Hagfors Center for Science, Business, and Religion (which currently includes campus parking area and three small campus buildings) at 6th Street and 21st Avenue.
- b. For the period from five to ten years, Please refer to L403 of the application, which illustrates the vision for the campus in 10 years. Existing buildings, planned building renovations and new buildings are shown in dark maroon, light maroon, and pink tones, respectively (see key at right). Planned additions include a Mixed Use Fine Arts Building (which currently includes a campus parking lot) at 6th Street and 21st Avenue, and Campus residence hall (which would occupy the site of the existing Mortensen and Urness Residence Halls and parking area) at the South end of 21st Avenue.
- c. For the proposed description of development phases and plans, Please refer to L402 and L404, which highlight the campus projects included in the 1-5 year and 6-10 year phases of the plan, respectively. The Hagfors Center for Science, Business, and Religion is the priority project in the 2011 Master Plan. Additional projects to follow were prioritized by phase as shown on L402 and L404, and L405 (The full 20-year+ vision for the campus). Construction dates beyond the Hagfors Center project have not been confirmed or established, and are subject to change with future campus planning activities.
- d. For the interim use of the property waiting to be developed, please refer to L400, The Existing Campus Plan, which illustrates the campus land use prior to development of the Hagfors Center, and all other projects outlined in the 2011 Master Plan.



LEGEND

- AC Denotes air conditioner
- BE Denotes building entrance
- CB Denotes catch basin
- CBOX Denotes control box
- CAT Denotes communication box
- CMH Denotes communication manhole
- COL Denotes building column
- CS Denotes curb stop
- CS Denotes concrete step
- CWB Denotes concrete wall base
- EB Denotes electric box
- EM Denotes electric meter
- FF Denotes finished floor
- FH Denotes fire hookup
- G Denotes gutter
- GAS V Denotes gas valve
- GRDL Denotes ground light
- GW Denotes storm water
- GYP Denotes guy pole
- HCR Denotes handicap ramp
- HCS Denotes handicap sign
- HH Denotes hand hole
- HYD Denotes fire hydrant
- INV Denotes structure invert
- LA Denotes landscaped area
- LP Denotes light pole
- MC Denotes metal cover
- MG Denotes metal grate
- OHU Denotes overhead utility line
- PKS Denotes parking sign
- PM Denotes parking meter
- PP Denotes power pole
- PPLP Denotes power and light pole
- PVC Denotes polyvinyl chloride pipe
- RCP Denotes reinforced concrete pipe
- RD Denotes roof drain
- SAN Denotes sanitary manhole
- SAN S Denotes sanitary sewer
- SB Denotes soil boring
- SMH Denotes storm manhole
- SPB Denotes sprinkler box
- SPG Denotes water spigot
- ST S Denotes storm sewer
- TC Denotes top of concrete curb
- TCS Denotes traffic control sign
- TRANS Denotes transformer box
- UCC Denotes underground communication line
- UGE Denotes underground electric line
- W Denotes water line
- WMH Denotes water manhole

GENERAL NOTE

1.) Survey coordinate and bearing basis: Hennepin County Coordinates

UTILITY NOTES

1.) Utility information from plans and markings was combined with observed evidence of utilities to develop a view of the underground utilities shown hereon. However, lacking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. Where additional or more detailed information is required, excavation may be necessary.

2.) Other underground utilities of which we are unaware may exist. Verify all utilities critical to construction or design.

3.) Some underground utility locations are shown as marked onsite by those utility companies whose locators responded to our Gopher State One Call, ticket numbers 152950434, 152950448 and 152950475.

4.) Contact GOPHER STATE ONE CALL at 651-454-0002 (800-252-1166) for precise onsite location of utilities prior to any excavation.

FLOOD ZONE NOTE

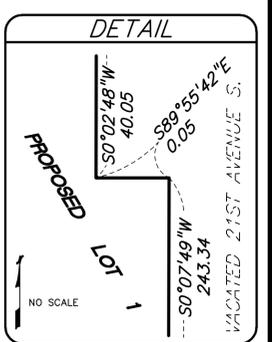
1.) The subject property appears to lie within Zone X (Areas determined to be outside the 0.2% annual chance floodplain) per the National Flood Insurance Program, Flood Insurance Rate Map Community Panel No. 2701720378E, dated September 2, 2004. This information was obtained from the FEMA Map Service Center web site.

ZONING NOTES

1.) Zoning information obtained from the City of Minneapolis web site, Minneapolis Zoning Plate 21, Last Amended: February 21, 2014.

The subject property is zoned OR3, Office Residence District.

AREA
Gross = 183,665 square feet or 4.216 acres



OWNER AND APPLICANT:
Augsburg College
2211 Riverside Avenue
Minneapolis, MN 55454
Contact: Dennis Stuckey
email: stuckey@augsborg.edu

DESCRIPTION OF PROPERTY SURVEYED
Lots 1, 2, 3 and 4, JAMES SULLEY'S SUBDIVISION OF LOT 6, BLOCK 185 AND LOT 5, BLOCK 190, MINNEAPOLIS;
AND
Lots 1, 2, 3, 4, 6, 7, 8, 9, and 10, Block 190 and Lots 1, 2 and 3, Block 199, TOWN OF MINNEAPOLIS;
AND
Lots 1 and 2, Block 9, MURPHY'S ADDITION TO THE TOWN OF MINNEAPOLIS;
AND
That part of Lot 1, ROBINSON'S SUB. OF LOTS 3, 4, 5, 6, 7, 8, 9, 10, BLOCK 9, MURPHY'S ADDITION TO MINNEAPOLIS, and the east half of the vacated alley adjoining said Lot 1, which lie north of Line A described below.
Together with that part of vacated 7th Street South lying east of a line drawn from the northwest corner of said Block 199 to the southwest corner of said Block 190 and lying west of the centerline of vacated 21st Avenue South, and lying south of the south line of said Block 190 and a line drawn from the southeast corner of said Block 190 to the southwest corner of Block 191, said TOWN OF MINNEAPOLIS, and lying north of the north line of said Block 199 and its easterly extension. Together with that part of vacated 21st Avenue South lying south of said north line of Block 199 and its easterly extension and north of Line A described below.
Line A is described as commencing at the southeast corner of Lot 17, said ROBINSON'S SUB. OF LOTS 3, 4, 5, 6, 7, 8, 9, 10, BLOCK 9, MURPHY'S ADDITION TO MINNEAPOLIS, thence on an assumed bearing of North 89 degrees 57 minutes 21 seconds West, along the south line of Lots 11, 12, 13, 14, 15, 16 and 17, said ROBINSON'S SUB. OF LOTS 3, 4, 5, 6, 7, 8, 9, 10, BLOCK 9, MURPHY'S ADDITION TO MINNEAPOLIS, a distance of 215.00 feet; thence North 0 degrees 02 minutes 39 seconds East 190.00 feet to the point of beginning of Line A to be described; thence South 89 degrees 57 minutes 21 seconds East 255.29 feet to the centerline of said vacated 21st Avenue South and said Line A there terminating.
All according to the recorded plats thereof, Hennepin County, Minnesota.
Portions of the above described property are registered and are described as follows:
And The West 63 feet of Lot 1, Block 9, Murphy's Addition to the Town of Minneapolis.
And The West 30 feet of Lot 2, Block 199, Town of Minneapolis.
And The East 33 feet of the West 63 feet of Lot 2, Block 199, Town of Minneapolis.
And The North 32 feet of Lot 2, Block 190, James Sulley's Subdivision of Lot 6, Block 185 and Lot 5, Block 190, Minneapolis.
And The South 41 feet of Lot 1 and the East 38 feet of the South 41 feet of Lot 2, Block 190, Town of Minneapolis.
And North 40 feet of the South 125 feet of Lots 9 and 10, Town of Minneapolis.

PLAT RECORDING INFORMATION
The plat of JAMES SULLEY'S SUBDIVISION OF LOT 6, BLOCK 185 AND LOT 5, BLOCK 190, MINNEAPOLIS was filed of record on July 16, 1875. The plat of TOWN OF MINNEAPOLIS was filed of record on August 4, 1855. The plat of MURPHY'S ADDITION TO THE TOWN OF MINNEAPOLIS was filed of record on July 17, 1857. The plat of ROBINSON'S SUB. OF LOTS 3, 4, 5, 6, 7, 8, 9, 10, BLOCK 9, MURPHY'S ADDITION TO MINNEAPOLIS was filed of record on June 7, 1888.

BENCH MARKS (BM)
Datum: (NGVD 1929)

- Top of top nut of fire hydrant in the northwest quadrant of 20th Avenue S. and 6th Street S.
Elevation = 846.03 feet
- Top of top nut of fire hydrant in the southwest quadrant of 21st Avenue S. and 6th Street S.
Elevation = 845.16 feet
- Top of top nut of fire hydrant in the northwest quadrant of 21st Avenue S. and 7th Street S.
Elevation = 852.12 feet

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Dated this 30th day of December, 2015

SUNDE LAND SURVEYING, LLC.

By: *Mark S. Hanson*
Mark S. Hanson, P.L.S. Minn. Lic. No. 15480

Revision

By	Date
SMT	

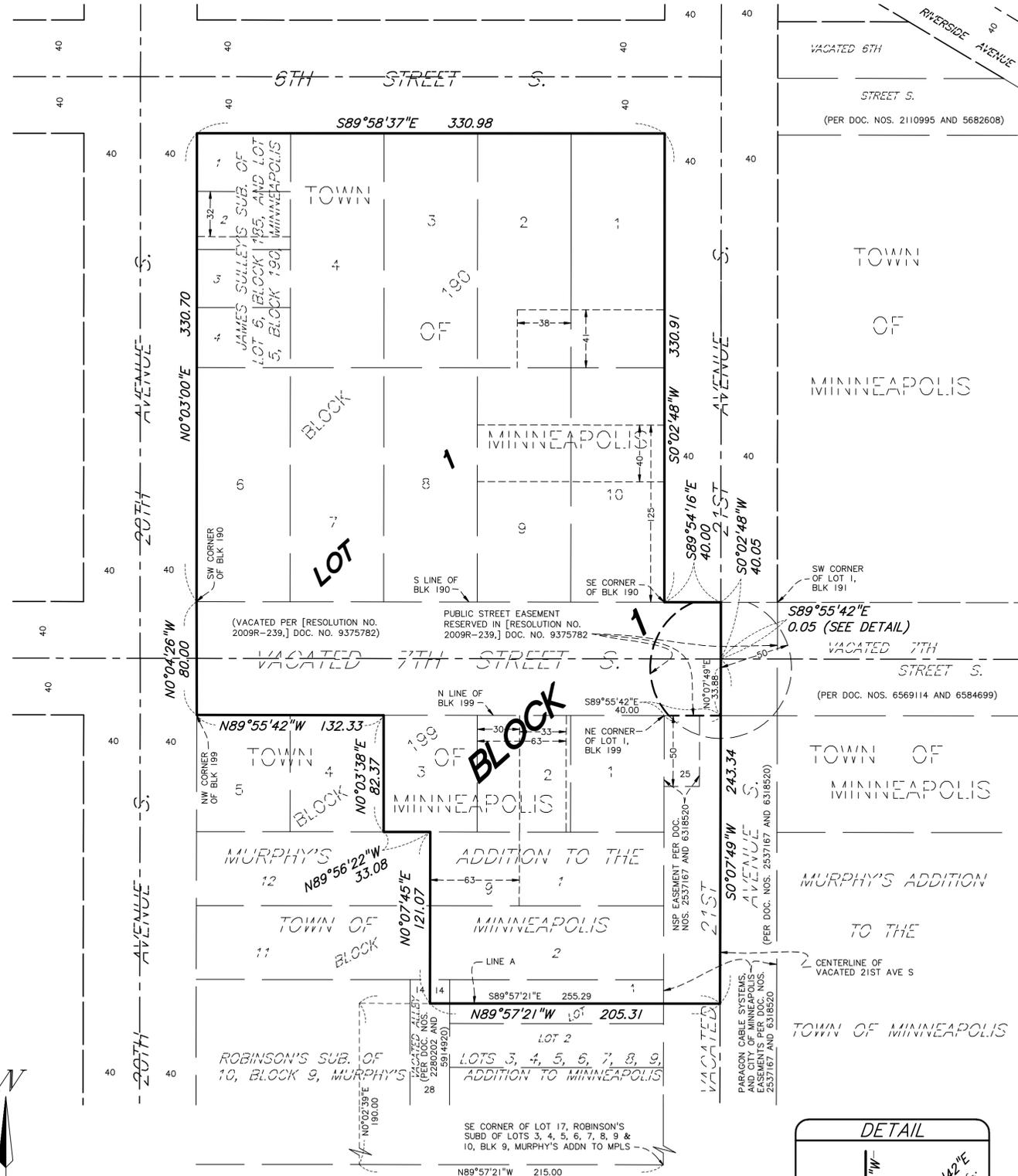
Drawing Title: **PRELIMINARY PLAT OF: AUGSBURG COLLEGE ADDITION**

SUNDE LAND SURVEYING
www.sunde.com
Main Office: 9001 East Bloomington Freeway (35W) • Suite 118
Bloomington, Minnesota 55420-3435
952-881-2455 (Fax: 952-888-9526)
West Office: Mandan, North Dakota 701-663-5562

Project: 2009-033-C Bk/Pg: 906/1 Date: 12/30/2015
Township: 29 Range: 24 Section: 25 File: 2009033C_pplat.dwg Sheet: 1 of 1

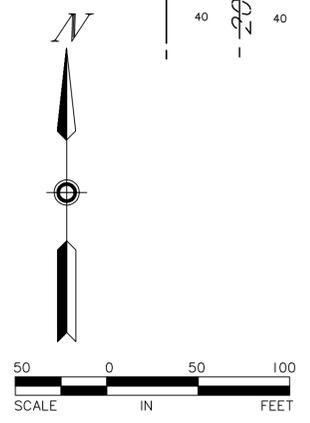
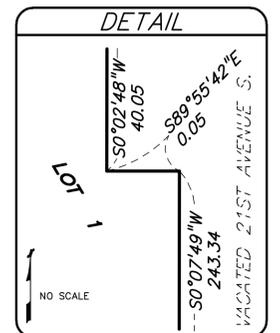


AUGSBURG COLLEGE ADDITION



- Denotes 1/2 inch by 14 inch iron pipe monument set and marked by License No. 15480
- Denotes iron monument found marked with PLS No. 44890, unless otherwise noted
- ⊙ Denotes found Hennepin County cast iron monument
- BRASS Denotes 1.17 inch diameter brass colored copper magnetized marker with disc cap affixed stamped LS-15480 set

For the purposes of this plat, the west line of Block 190 is assumed to bear N0°03'00"E.



KNOW ALL PERSONS BY THESE PRESENTS: That Augsburg College, a Minnesota corporation, owner of the following described property situated in the County of Hennepin, State of Minnesota, to wit:

Lots 1, 2, 3 and 4, JAMES SULLEY'S SUBDIVISION OF LOT 6, BLOCK 185 AND LOT 5, BLOCK 190, MINNEAPOLIS;
 AND
 Lots 1, 2, 3, 4, 6, 7, 8, 9, and 10, Block 190 and Lots 1, 2 and 3, Block 199, TOWN OF MINNEAPOLIS;
 AND
 Lots 1 and 2, Block 9, MURPHY'S ADDITION TO THE TOWN OF MINNEAPOLIS;
 AND
 That part of Lot 1, ROBINSON'S SUB. OF LOTS 3, 4, 5, 6, 7, 8, 9, 10, BLOCK 9, MURPHY'S ADDITION TO MINNEAPOLIS, and the east half of the vacated alley adjoining said Lot 1, which lie north of Line A described below.
 Together with that part of vacated 7th Street South lying east of a line drawn from the northwest corner of said Block 199 to the southwest corner of said Block 190 and lying west of the centerline of vacated 21st Avenue South, and lying south of the south line of said Block 190 and a line drawn from the southeast corner of said Block 190 to the southwest corner of Block 191, said TOWN OF MINNEAPOLIS, and lying north of the north line of said Block 199 and its easterly extension. Together with that part of vacated 21st Avenue South lying south of said north line of Block 199 and its easterly extension and north of Line A described below.
 Line A is described as commencing at the southeast corner of Lot 17, said ROBINSON'S SUB. OF LOTS 3, 4, 5, 6, 7, 8, 9, 10, BLOCK 9, MURPHY'S ADDITION TO MINNEAPOLIS, thence on an assumed bearing of North 89 degrees 57 minutes 21 seconds West, along the south line of Lots 11, 12, 13, 14, 15, 16 and 17, said ROBINSON'S SUB. OF LOTS 3, 4, 5, 6, 7, 8, 9, 10, BLOCK 9, MURPHY'S ADDITION TO MINNEAPOLIS, a distance of 215.00 feet; thence North 0 degrees 02 minutes 39 seconds East 190.00 feet to the point of beginning of Line A to be described; thence South 89 degrees 57 minutes 21 seconds East 255.29 feet to the centerline of said vacated 21st Avenue South and said Line A there terminating.
 Portions of the above described property are registered and are described as follows:
 The West 63 feet of Lot 1, Block 9, Murphy's Addition to the Town of Minneapolis.
 And
 The West 30 feet of Lot 2, Block 199, Town of Minneapolis.
 And
 The East 33 feet of the West 63 feet of Lot 2, Block 199, Town of Minneapolis.
 And
 The North 32 feet of Lot 2, Block 190, James Sulley's Subdivision of Lot 6, Block 185 and Lot 5, Block 190, Minneapolis.
 And
 The South 41 feet of Lot 1 and the East 38 feet of the South 41 feet of Lot 2, Block 190, Town of Minneapolis.
 And
 North 40 feet of the South 125 feet of Lots 9 and 10, Town of Minneapolis.

Has caused the same to be surveyed and platted as AUGSBURG COLLEGE ADDITION.
 In witness whereof said Augsburg College, a Minnesota corporation, has caused these presents to be signed by its proper officers this _____ day of _____, 20____.
 Augsburg College

STATE OF _____
 COUNTY OF _____
 The foregoing instrument was acknowledged before me this _____ day of _____, 20____, by _____, the _____ and by _____, _____, of Augsburg College, a Minnesota corporation, on behalf of the corporation.
 Notary Public, _____ County, _____
 My Commission Expires _____

I, Mark S. Hanson, do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.
 Dated this _____ day of _____, 20____.

Mark S. Hanson, Land Surveyor
 Minnesota License No. 15480
 STATE OF MINNESOTA
 COUNTY OF HENNEPIN
 This instrument was acknowledged before me this _____ day of _____, 20____, by Mark S. Hanson.
 Notary Public, _____ County, Minnesota
 My Commission Expires January 31, 20____

MINNEAPOLIS, MINNESOTA
 I, The Secretary of the Planning Commission of the City of Minneapolis, Minnesota, do hereby certify that on this _____ day of _____, 20____, the City of Minneapolis acting by and through its City Planning Commission duly approved the plat of AUGSBURG COLLEGE ADDITION, and duly authorized such action of the Commission by its Secretary. The prescribed ten-day period for appeal has elapsed without receipt of an appeal, as provided by Title 22, Section 598.320 of the Minneapolis Code of Ordinances.
 _____ Secretary of Planning Commission

MINNEAPOLIS, MINNESOTA
 I hereby certify that this plat of AUGSBURG COLLEGE ADDITION was approved by the City Planning Commission of the City of Minneapolis at a meeting thereof held this _____ day of _____, 20____. If applicable, the written comments and recommendations of the Commissioner of Transportation and the County Highway Engineer have been received by the City or the prescribed 30 day period has elapsed without receipt of such comments and recommendations, as provided by Minn. Statutes Section 505.03, Subd. 2.

CITY CLERK OF MINNEAPOLIS, MINNESOTA
 _____ Assistant City Clerk

RESIDENT AND REAL ESTATE SERVICES, Hennepin County, Minnesota
 I hereby certify that taxes payable in _____ and prior years have been paid for land described on this plat, dated this _____ day of _____, 20____.
 Mark V. Chapin, Hennepin County Auditor By _____ Deputy

SURVEY DIVISION, Hennepin County, Minnesota
 Pursuant to Minnesota Statutes, Section 383B.565 (1969), this plat has been approved this _____ day of _____, 20____.
 Chris F. Mavis, County Surveyor By: _____

REGISTRAR OF TITLES, Hennepin County, Minnesota
 I hereby certify that the within plat of AUGSBURG COLLEGE ADDITION was filed in this office this _____ day of _____, 20____, at _____ o'clock ____m.
 Martin McCormick, Registrar of Title By: _____ Deputy

COUNTY RECORDER, Hennepin County, Minnesota
 I hereby certify that the within plat of AUGSBURG COLLEGE ADDITION was recorded in this office this _____ day of _____, 20____, at _____ o'clock ____m.
 Martin McCormick, County Recorder By: _____ Deputy

R.T. DOC. NO. _____
 C.R. DOC. NO. _____



**Petition to Vacate
City Of Minneapolis Street, Alley or Utility Easement**

Petitioner: Augsburg College
Address: 2211 Riverside Avenue Minneapolis MN 55454
Contact: Beth Reissenweber CFO (612)-330-1120

Vacation File No.

1655

Page 1 of 3

Description of Easement to be vacated: Augsburg requests vacation of all of the retained easements in vacated 7th Street South between 20th and 21st Avenues South. An easement deed for a cul de sac at the intersection will be needed.

Review and Comment

Utility easements cannot be reserved unless there is an existing facility within the area to be vacated. If there is an existing utility, please enclose a map showing its location.

Name of Reviewing Agency _____

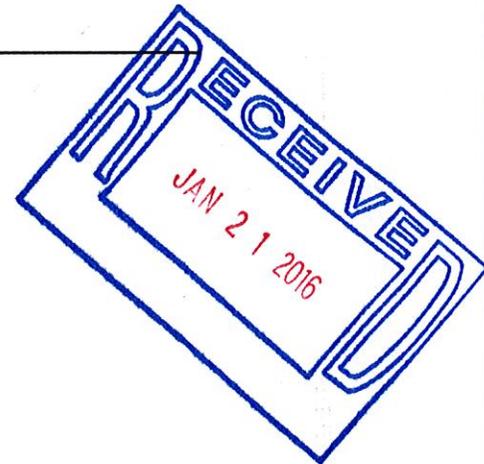
Phone: _____ e-Mail: _____

Approve petition as requested

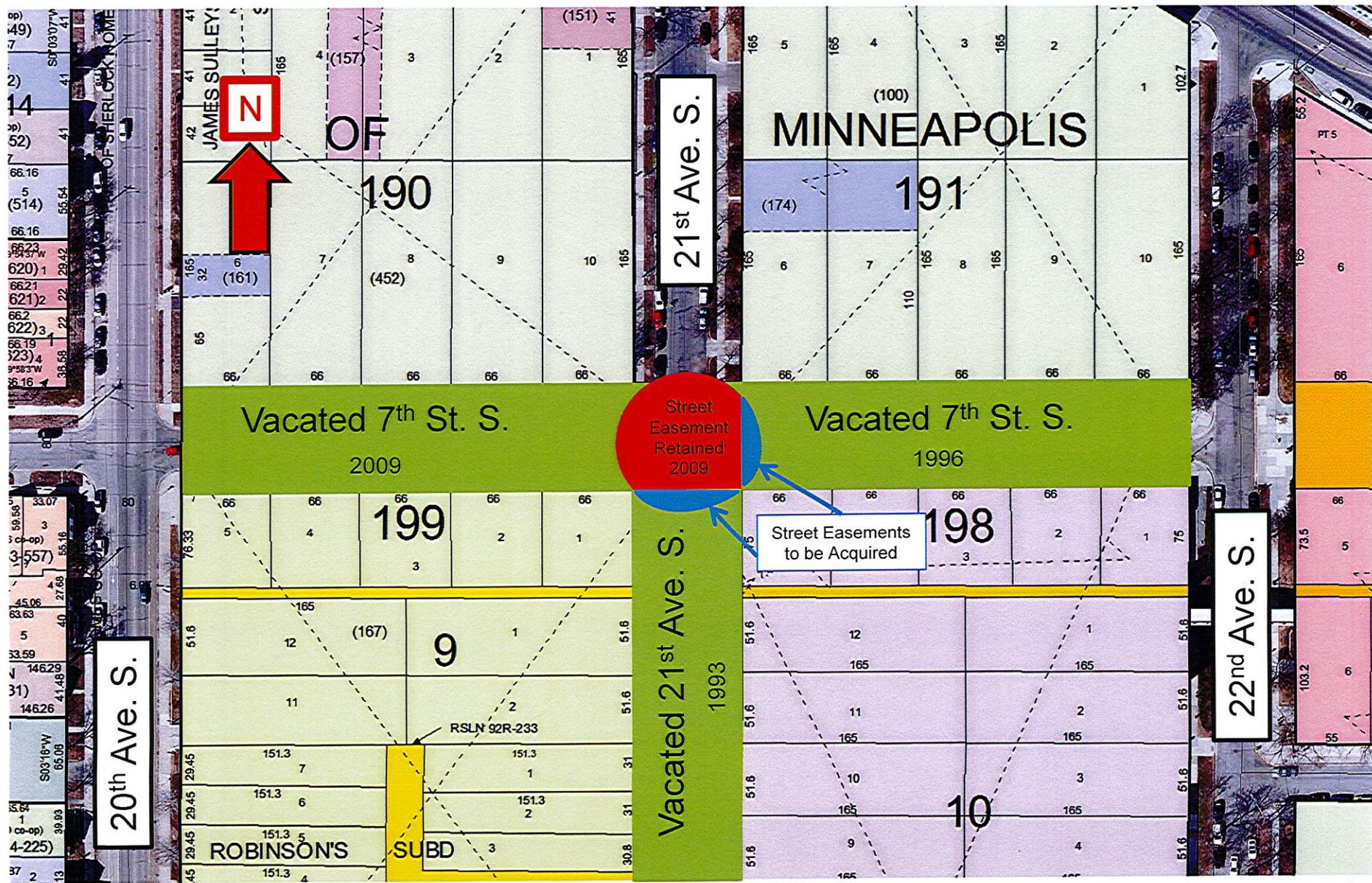
Deny petition (provide explanation)

Reserve Easements (provide description)

By: _____ Date _____



Comments:



Dvorak, Hilary A.

From: Kusz, Lisa M.
Sent: Friday, January 22, 2016 2:47 PM
To: Dvorak, Hilary A.
Subject: FW: Vacation 1655 for your review

FYI

From: Bachelder, John [<mailto:john.bachelder@verizon.com>]
Sent: Friday, January 22, 2016 2:46 PM
To: Kusz, Lisa M.
Subject: RE: Vacation 1655 for your review

Lisa,
Verizon Business (MCI) has NO Facilities at the project location.

PLEASE DO NOT REPLY TO THIS MESSAGE. THIS E-MAIL DOES NOT ACCEPT MESSAGES.
PLEASE SEND INQUIRIES TO Investigations@verizon.com

Thanks,
John Bachelder

From: Boyers, Dean
Sent: Friday, January 22, 2016 1:55 PM
To: Bachelder, John
Subject: FW: Vacation 1655 for your review

Dean Boyers
Global Transport Engineering & Implementation | **Verizon Enterprise Solutions**
Engr III Spec, Documentation
Tel: +1 972 729 6322
2400 N. Glenville, Richardson, TX, 75082, USA

From: Kusz, Lisa M. [<mailto:Lisa.Kusz@minneapolismn.gov>]
Sent: Friday, January 22, 2016 1:41 PM
Subject: Vacation 1655 for your review

Hello!

Attached is Vacation 1655 for your review and comment.

Thank you!

Lisa

Lisa Kusz
Land Use, Preservation and Design

**Petition to Vacate
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Vacation File No.
1655
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Utility easements cannot be reserved unless there is an existing facility within the area to be vacated. If there is an existing utility, please enclose a map showing its location.

Name of Reviewing Agency CenterPoint Energy

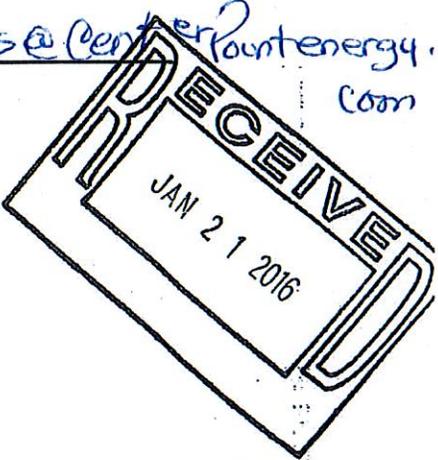
Phone: 612-321-5381

e-Mail: Charles.Mayers@centerpointenergy.com

- Approve petition as requested
Deny petition (provide explanation)
Reserve Easements (provide description)

By: Chuck Mayers

Date 1/29/16



Comments: We have a 2" Class 4 in BOTH Vacation area Being vacated.



700 West Linden Avenue
PO Box 1165
Minneapolis, MN 55440-1165

January 29, 2016

Hilary Dvorak
Principal Planner
Department of Community Planning & Economic Development
250 South 4th Street, Room 300,
Minneapolis, MN 55408

RE: Vacation File No. 1655, Part of Vacated 7th Street S. & 21 Avenue S. Minneapolis.

Dear Mrs. Dvorak:

With reference to the proposed Vacation File No. 1655, Part of 7th Street South and 21st Avenue South, Minneapolis, CenterPoint Energy has a distribution main that is size 4" diameter pipe Class 2 (8-10 psig) facilities in both requested vacation area that will have to be relocated or put in easement before we can move forward.

Since this gas main is an important part of our distribution system in this area, we must object to this Vacation unless suitable easement rights are reserved to CenterPoint Energy, pursuant to MnSta 160.29 & MnRule 7819.3200.

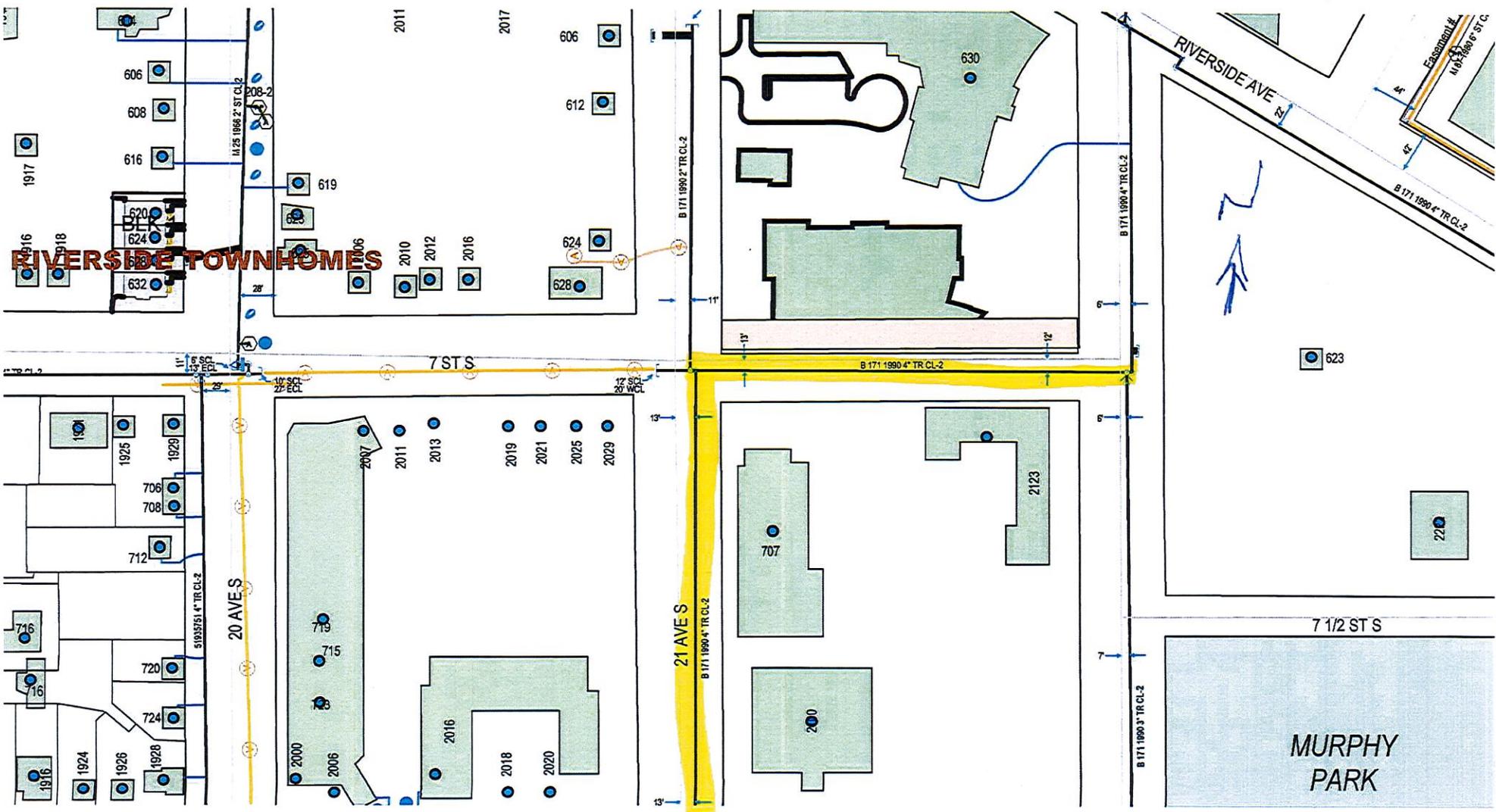
Since Vacation require relocation of the gas main we may consider removing our objection should the petitioner wish to reimburse CenterPoint Energy the cost of relocating the existing gas distribution line or create an easements for CenterPoint Energy facilities to stay in. Please inform the petitioner to contact Andrew Balgobin, Administrative Engineer, at 612.321.5426 to discuss this and any other options that may be available.

Thank you for the advance notice and as always, please send me a copy of the "final action" map.

Respectfully,
CENTERPOINT ENERGY

A handwritten signature in blue ink that reads "Chuck Mayers".

Chuck Mayers SR/WA
Right-of-Way Specialist
Charles.mayers@centerpointenergy.com
pc: Andrew Balgobin, Administrative Engineer
Chris Serritslev Area Manager
Bill Kallberg Supervisor
Dave Olsen Mater Tech-ADV Foreperson
Dean Nicholas Rehab Designer



RIVERSIDE TOWNHOMES

1917
606
608
616
1125 1966 2" TR CL-2
203-2
619
2010
2012
2016
606
612
624
628

1916
1918
620
624
632
1925
1929
706
708
712
5192751 4" TR CL-2
20 AVES S
2000
2006
715
716
1924
1926
1928
2007
2011
2013
2019
2021
2025
2029
2016
2018
2020

B 171 1990 2" TR CL-2
630
11'
13'
12'

B 171 1990 4" TR CL-2
21 AVES S
B 171 1990 4" TR CL-2
707
2123
200
13'
6'

RIVERSIDE AVE S
4"
6"
B 171 1990 4" TR CL-2
623
7 1/2 ST S
MURPHY PARK
B 171 1990 3" TR CL-2
7'

**Petition to Vacate
City Of Minneapolis Street, Alley or Utility Easement**

Petitioner: Augsburg College
Address: 2211 Riverside Avenue Minneapolis MN 55454
Contact: Beth Reissenweber CFO (612)-330-1120

Vacation File No.
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Page 1 of 3

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Name of Reviewing Agency MPKS FIRE

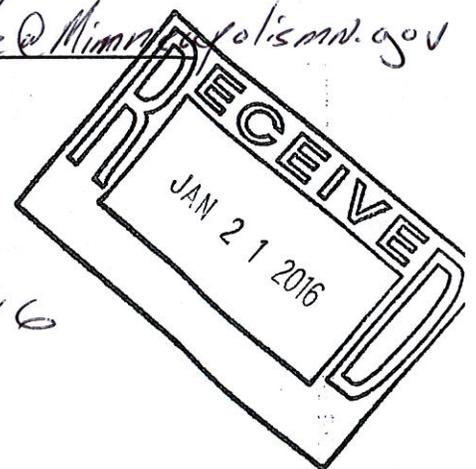
Phone: 612-370-3836 e-Mail: Todd.White@Minneapolismn.gov

Approve petition as requested

Deny petition (provide explanation)

Reserve Easements (provide description)

By: Deputy T. A. White Date 2-3-16



Comments:

Petition to Vacate
City Of Minneapolis Street, Alley or Utility Easement

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Vacation File No.
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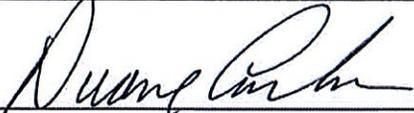
Name of Reviewing Agency COMCAST TOM NIEDZIELSKI

Phone: 651-493-5407 e-Mail: Thomas.Niedzielski@cable.comcast.com

Approve petition as requested

Deny petition (provide explanation)

Reserve Easements (provide description)

By: 

Date 2-10-16

Comments:

Reply to Vacation Inquiry FILE # 1655 Augsburg requests vacation of all retained easements in vacated 7 th Street South.	To: Lisa Baldwin	From: Tom Niedzielski
	City of Minneapolis Planning Commission	Comcast
	Phone # 612-673-5342	Phone # (651) 493-5407
	Fax # 612-673-2526	Fax # (651) 493- 5116

Description of public right-of way proposed to be vacated:
Please see attached Exhibit A - Map and Legal.

This section to be completed ONLY by City Depts.

- We have no objections to this vacation
- We have no objections to the vacation, subject to the conditions stated below
- We object to the vacation for the reasons stated below

Conditions/Reasons:

This section to be completed ONLY by Utilities

- We do NOT have facilities in the proposed vacated area, and we therefore RELEASE our utility easement rights, subject to any conditions or exceptions stated below
- We do NOT have facilities in the proposed vacated area, but we wish to RETAIN our easement rights, subject to any conditions or exceptions stated below
- We DO have facilities in the proposed vacated area, and we therefore RETAIN our easement rights, subject to any conditions or exceptions stated below

Conditions/Exceptions: Provided the proposed improvements do not interfere with its existing facilities or interfere with Comcast's access to the said facilities to maintain, repair, or upgrade them. Should the said improvements in anyway interfere with or prevent access to the said facilities, the petitioner or its successor shall provide new easements as required and the petitioner or its successor shall assume all costs of relocating facilities to the new easements..

Duly authorized representative:

Duane Carlson / Construction Manager
Print Name / Title


Signature

Comcast
Company Name

2/19/16
Date

Description of Proposed Vacation Area

Augsburg requests vacation of all of the retained easements in vacated 7th Street South between 20th and 21st Avenues south. An easement deed for cul de sac at the intersection will be needed.

Please see attached Exhibit A - Map

Petition to Vacate
City Of Minneapolis Street, Alley or Utility Easement

Petitioner: Augsburg College
Address: 2211 Riverside Avenue Minneapolis MN 55454
Contact: Beth Reissenweber CFO (612)-330-1120

Vacation File No.
1655
Page 1 of 3

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Name of Reviewing Agency XCEL ENERGY

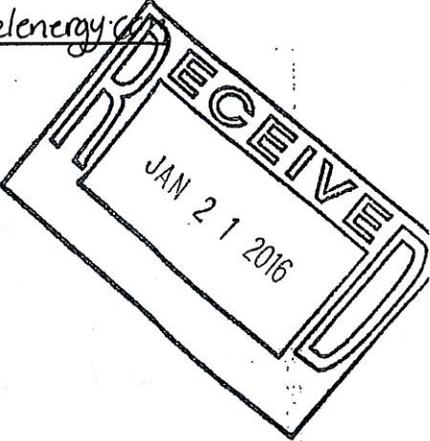
Phone: 612-330-1956 e-Mail: Sean.w.lawler@xcelenergy.com

Approve petition as requested

Deny petition (provide explanation)

Reserve Easements (provide description)

By: SEAN LAWLER - LAND AGENT Date 2-17-16



Comments:
APPROVE OF VACATION OF 7TH STREET, RELOCATION OF EXISTING FACILITIES IS PLANNED. REQUEST AN EASEMENT BE RESERVED ACROSS THE INTERSECTION OF 7TH STREET & 21ST AVE FOR AN UNDEGROUND PRIMARY.

Augsburg College

The Center for Science, Business & Religion (CSBR)

Travel Demand Management Plan

Prepared for

Augsburg College



February 22, 2016

SRF No. 0158930

Plan Approval

Augsburg College

By: Beth Reissenweber Dated: 2-22-2016

Beth Reissenweber

Vice President for Finance and Administration

2211 Riverside Avenue, Campus Box 130

Minneapolis, MN 55454

Minneapolis Community Planning and Economic Development Department

By: _____ Dated: _____

Steve Poor

Development Services Director, CPED

Minneapolis Public Works Department

By: _____ Dated: _____

Steve Mosing, PE, PTOE

Traffic Operations Engineer

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Introduction

Augsburg College is located on 27 acres just south of downtown Minneapolis. The Minneapolis campus is comprised of approximately 3,100 students (501 attend evening classes), 175 faculty, and 370 staff. The Travel Demand Management Plan (TDMP) was prepared for the proposed Center for Science, Business & Religion (CSBR) building at Augsburg College. This plan documents the development impacts to the area's traffic and parking, the City of Minneapolis Travel Demand Management (TDM) policies and goals, and the overall recommended TDM strategies to address area traffic and parking impacts associated with the proposed CSBR building.

Project Description

The proposed CSBR is a state-of-the-art, interdisciplinary academic building that is being constructed to better serve the existing and future student population by 2018. Construction of the proposed building alone will not expand the existing student population, staff or faculty in the near-term. The proposed building will be 135,000 square feet (sq. ft.), which includes 11 administrative offices and 27 classrooms. The building will be located on the blocks bound by 6th Street South, 7th Street South, 20th Avenue South, and 21st Avenue South (see Figure 1). The proposed development will extend across 7th Street South between 20th Avenue South and 21st Avenue South. This segment of roadway was vacated in 2009. Plans for construction are slated for the spring of 2016.

As part of the development, a total of 189 off-street and 29 on-street commuter parking spaces will be removed (net loss of 218 spaces), and 65 off-street spaces will be created. This includes 26 spaces on-site at the CSBR and the expansion of Lot D by 39 spaces. The total net loss in parking is 153 spaces. The replacement of the 153 parking spaces will be absorbed throughout campus by Augsburg's existing parking supply (i.e., off-street parking lots and the expansion of Lot D). The parking analysis demonstrates these findings in greater detail. In addition, the proposed CSBR will provide additional bicycle stalls and apply various TDM strategies to reduce the demand for parking.

Access to the site (see Figure 1) is proposed at the 7th Street South entrance at 21st Avenue South. This entrance is being proposed as a prominent gateway to the new facility. In essence, this location will serve as a drop-off zone and will provide emergency vehicle access. Additional access to the site can be made via 7th Street South at 20th Avenue South. Off-street parking (26 spaces) will also be provided adjacent to the building along 6th Street South, which provides another access point to the site.

Disclosure of Transportation Impacts

This section of the TDMP summarizes and describes the transportation impacts associated with the proposed development. Findings are based on a detailed traffic operations and parking analysis. This information shaped the TDM strategies.

Traffic Operations

Existing Conditions

Data Collection

To determine the impact of the proposed development to the adjacent roadway network, existing operations were evaluated within the area. Turning movement counts were collected for the a.m. and p.m. peak period counts by SRF Consulting Group in October 2015 at the following intersections (see Figure 2):

- 20th Avenue South/8th Street South
- 20th Avenue South/6th Street South

Turning movement counts were also provided by the City of Minneapolis for the following intersections (see Figure 2):

- Riverside Avenue/20th Avenue South
- Riverside Avenue/21st Avenue South
- Riverside Avenue/23rd Avenue South
- Riverside Avenue/25th Avenue South
- Butler Place/25th Avenue South

Existing Intersection Capacity Analysis

An existing intersection capacity analysis was completed to establish a baseline condition to which future traffic operations could be compared. The study intersections were analyzed using a combination of Synchro/SimTraffic software (V8.0) and the *Highway Capacity Manual* (HCM).

Capacity analysis results identify a Level of Service (LOS), which indicates how well an intersection is operating. Intersections are ranked from LOS A through LOS F. The LOS results are based on average delay per vehicle, which correspond to the delay threshold values shown in Table 1. LOS A indicates the best traffic operation, while LOS F indicates an intersection where demand exceeds capacity. Intersections rated LOS A through LOS D are generally considered acceptable in the Twin Cities Metropolitan Area.

Table 1: Level of Service Criteria for Signalized and Unsignalized Intersections

LOS Designation	Signalized Intersection Average Delay/Vehicle (seconds)	Unsignalized Intersection Average Delay/Vehicle (seconds)
A	≤ 10	≤ 10
B	> 10 - 20	> 10 - 15
C	> 20 - 35	> 15 - 25
D	> 35 - 55	> 25 - 35
E	> 55 - 80	> 35 - 50
F	> 80	> 50

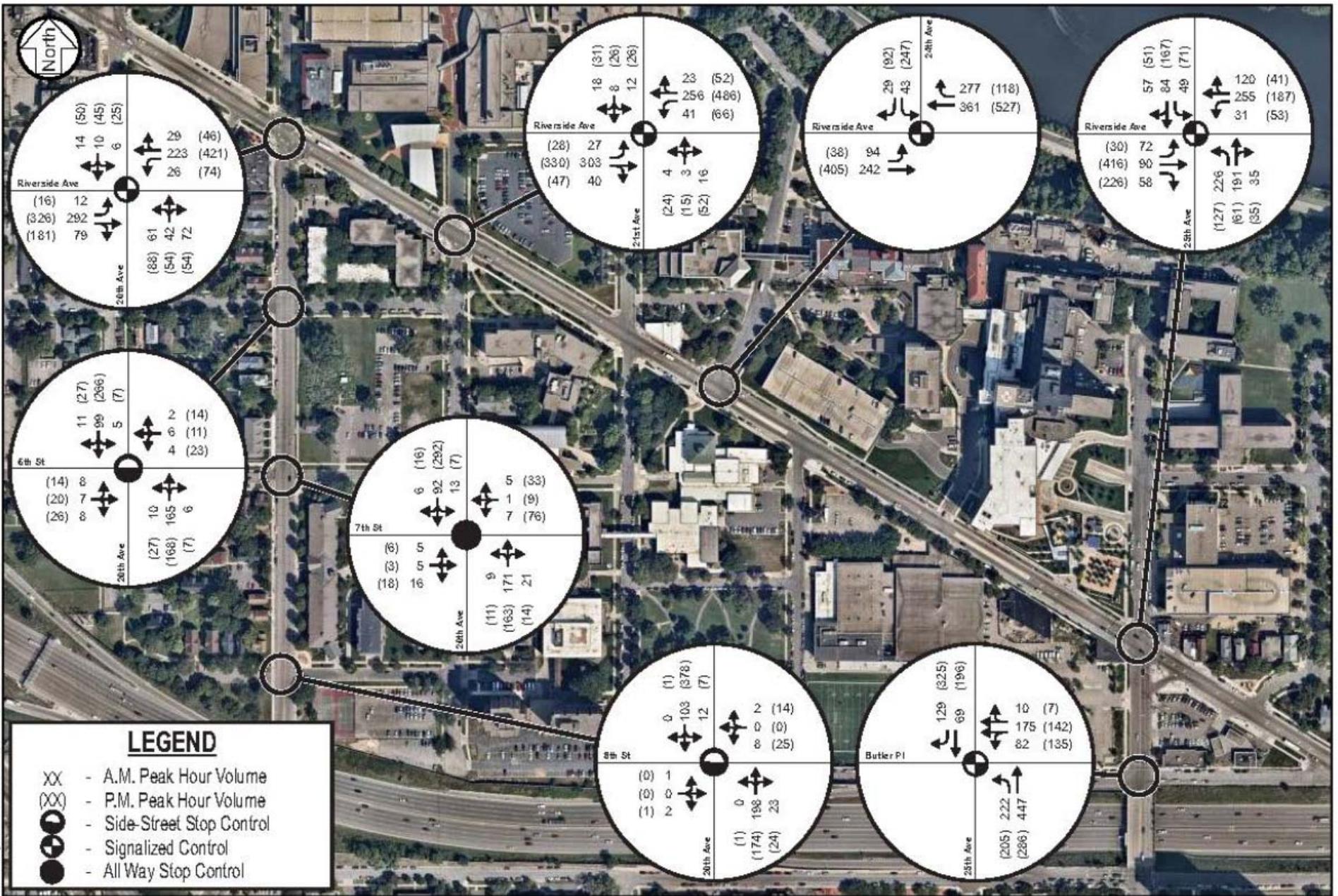
For side-street stop controlled intersections, special emphasis is given to providing an estimate for the level of service of the side-street approach. Traffic operations at an unsignalized intersection with side-street stop control can be described in two ways. First, consideration is given to the overall intersection level of service. This takes into account the total number of vehicles entering the intersection and the capability of the intersection to support these volumes. Second, it is important to consider the delay on the minor approach. Since the mainline does not have to stop, the majority of delay is attributed to the side-street approaches. It is typical of intersections with higher mainline traffic volumes to experience high levels of delay (i.e. poor levels of service) on the side-street approaches, but an acceptable overall intersection level of service during peak hour conditions.

Results of the existing intersection capacity analysis shown in Table 2 indicate that all of the study intersections currently operate at an acceptable overall LOS C or better during the a.m. and p.m. peak hours with existing traffic control and geometric layout. It should be noted that minor queuing along Riverside Avenue is observed during the p.m. peak hour; however, this is not determined to be a significant issue.

Table 2: Existing Intersection Capacity Analysis

Intersection	Level of Service (LOS)	
	A.M. Peak Hour	P.M. Peak Hour
20th Avenue South/8th Street South ¹	A/B	A/B
20th Avenue South/6th Street South ¹	A/B	A/C
20th Avenue South/Riverside Avenue South	B	B
21st Avenue South/Riverside Avenue South	A	B
23rd Avenue South/Riverside Avenue South	A	B
25th Avenue South/Riverside Avenue	C	B
25th Avenue South/Butler Place South	B	B

1) Indicates an unsignalized intersection with side-street stop control, where the overall LOS is shown followed by the worst approach LOS.



Traffic Forecasts

Background Growth

To account for general background growth in the area, an annual growth rate of one-half percent (0.5 percent) was applied to the existing peak hour traffic volumes to develop year 2019 (one year after construction) background traffic forecasts (see Figure 3). This growth rate is consistent with historical growth rates in the study area within the past ten years.

Trip Generation

Based on information provided for the proposed CSBR building, there is not expected to be a significant change in student enrollment or faculty positions to the Augsburg College population in the near term, and therefore, no additional trips generated by the new building. Existing trips throughout the study area were redistributed to account for the construction of the proposed CSBR building on 7th Street South and 21st Avenue South (see Figure 4) and the redistribution of trips from the parking lots being removed. Thus, the redistribution of traffic from the parking lots being replaced are expected to have minimal impact on traffic operations. No issues were identified with the operations of the key intersections, which is described in the following section.

Future Conditions

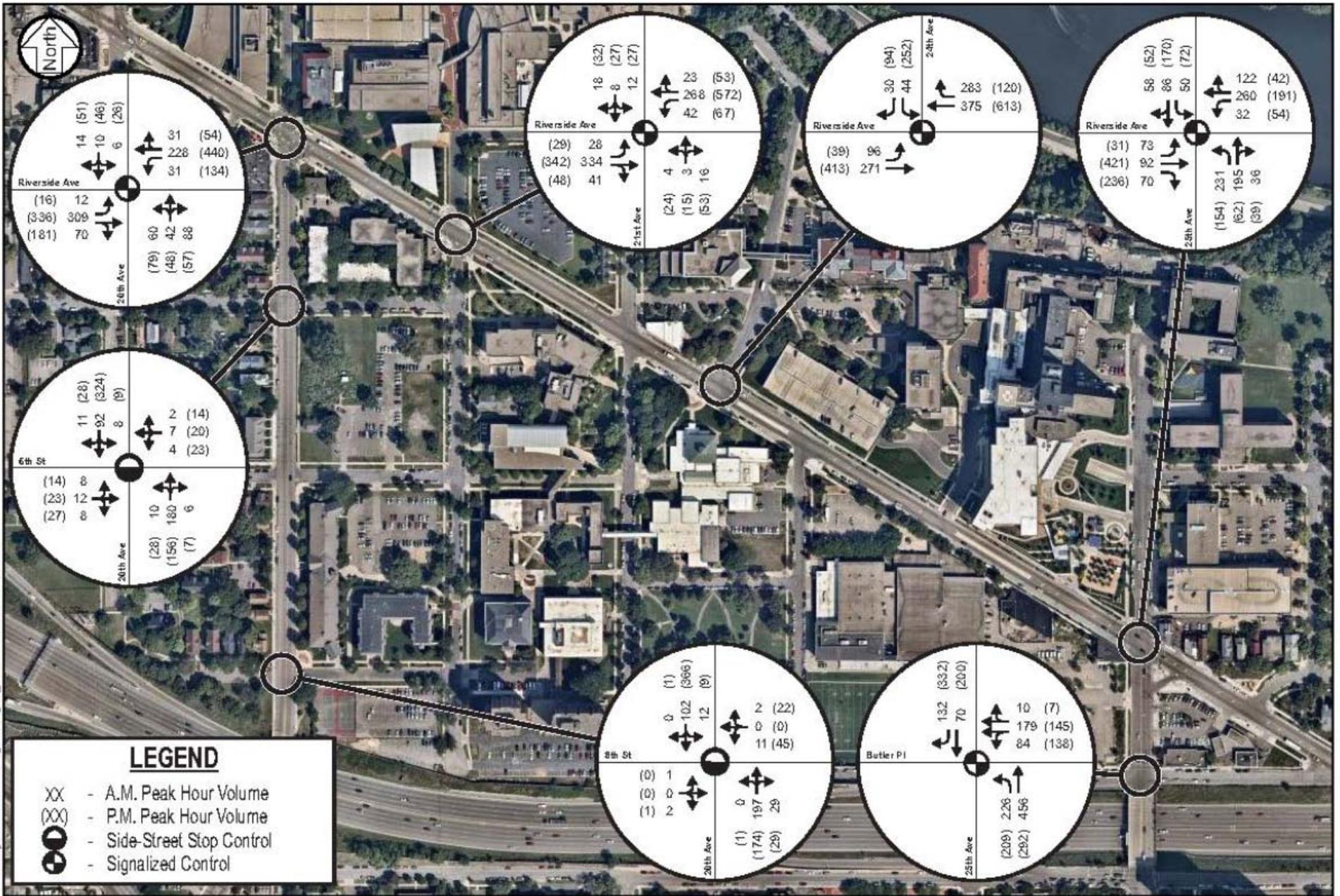
Trip Operations Build Conditions (2019)

Results of the year 2019 build conditions intersection capacity analysis are shown in Table 2. The analysis indicates that all study intersections are expected to continue to operate at an acceptable overall LOS C or better during the a.m. and p.m. peak hours with the closure of 7th Street South. The minor queuing along Riverside Avenue observed during the existing p.m. peak hour is expected to continue; however, this is not a significant issue.

Table 3: Year 2019 Build Intersection Capacity Analysis

Intersection	Level of Service (LOS)	
	A.M. Peak Hour	P.M. Peak Hour
20th Avenue South/8th Street South ¹	A/B	A/B
20th Avenue South/6th Street South ¹	A/B	A/C
20th Avenue South/Riverside Avenue South	B	B
21st Avenue South/Riverside Avenue South	A	B
23rd Avenue South/Riverside Avenue South	A	B
25th Avenue South/Riverside Avenue	C	B
25th Avenue South/Butler Place South	B	B

1) Indicates an unsignalized intersection with side-street stop control, where the overall LOS is shown followed by the worst approach LOS.





Parking

The parking study contains a complete review and analysis of the current and future campus parking supply and demand. The study provides recommendations to meet current and future needs based on a data-driven process, utilization counts, City of Minneapolis Parking Requirements, best practices, and campus information. The current study builds upon a parking study that was prepared in 2008 for Augsburg College.

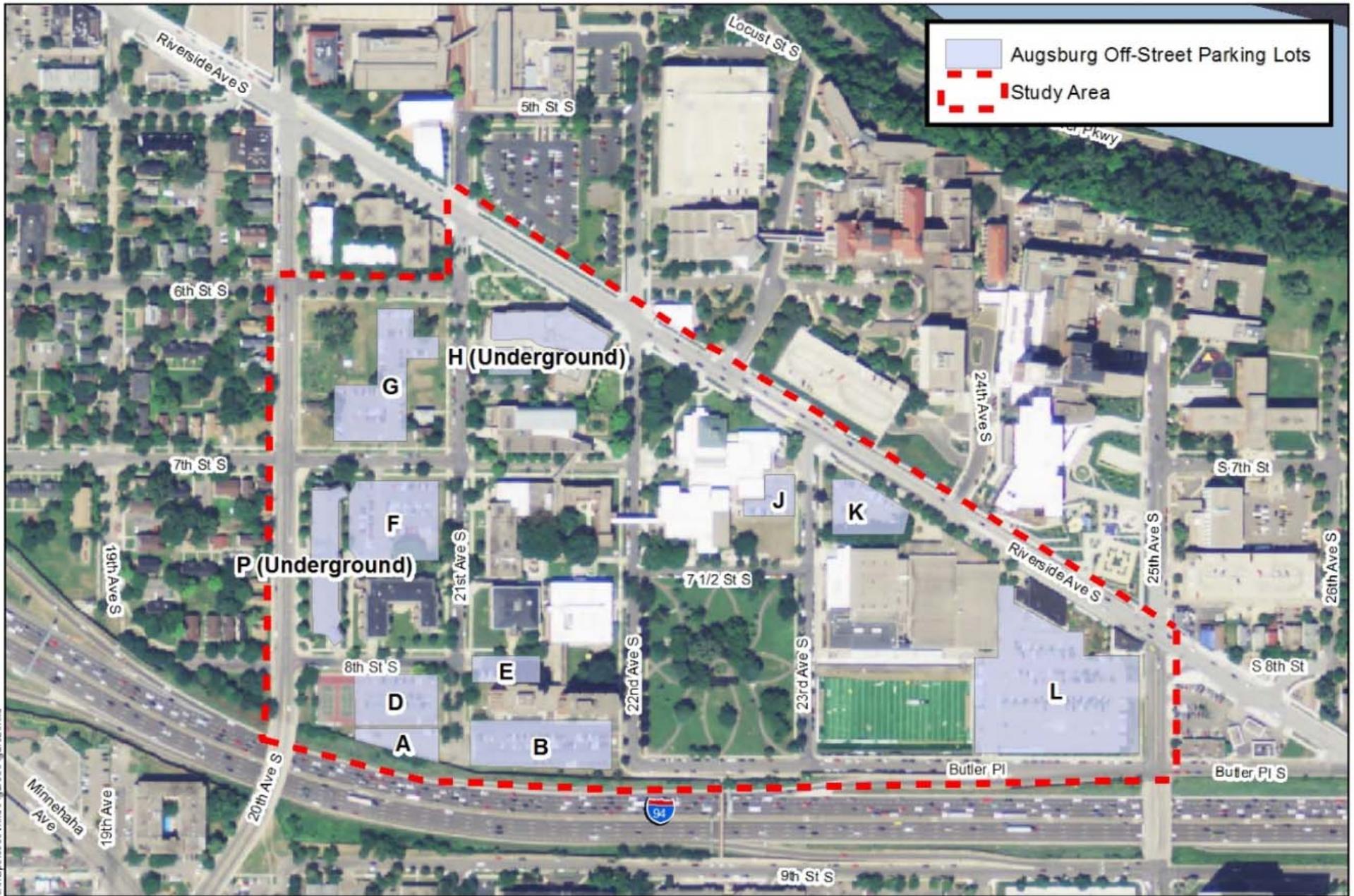
Parking Supply

To determine the amount of off-street and on-street parking within the project area, a parking inventory was conducted in September 2015. Findings from this assessment were compared to the 2008 parking study supply numbers. Since that time, adjustments have been made to the parking supply. These adjustments reflect additional on-street commuter parking along 7th Street South and the restriping of off-street facilities. For the purposes of this study, a total parking supply of 988 (887 off-street parking and 101 on-street commuter parking) spaces is being used (see Table 4 and Figure 5). This total does not include on-street parking controlled by the City of Minneapolis.

The future parking supply will be impacted by the proposed development, reducing the net parking supply by 153 spaces. The total parking supply for Augsburg College after the construction of CSBR will be 835 spaces.

Table 4: Augsburg College Total Parking Supply

Parking Lot (see Figure 5)	Number of Spaces
A	27
B	116
D	74
E	22
F	85
G	104
H (underground)	43
I	8
J	20
K	45
L	287
P (underground)	56
Commuter (on-street)	101
Total	988



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Parking Utilization

An off-street and on-street parking utilization survey was completed as part of the TDMP. The utilization counts were conducted on Wednesday, September 16th and Thursday, September 17th, 2015. The selected times included a morning (11 a.m.), afternoon (2 p.m.), and evening (6 p.m.) count. Additional counts were collected on Wednesday, October 7th and Thursday, October 8th, 2015 to supplement and verify the September counts. These counts also included additional on-street parking utilization counts in the residential neighborhood per the City of Minneapolis' request.

The results showed (see Table 5) that while many of the lots in the campus experienced heavy use (between 11 a.m. and 2 p.m.), sometimes up to 100 percent full, the campus overall never used over 85 percent of its capacity (see Table 6). In 2008, utilization counts were conducted and indicated similar findings. The overall off-street parking utilization at that point in time was 88 percent. Key findings from the 2015 utilization counts determined the southeast portion of campus (Lot L – see Table 6) was underutilized.

Table 5: Off-Street Utilization Survey Findings

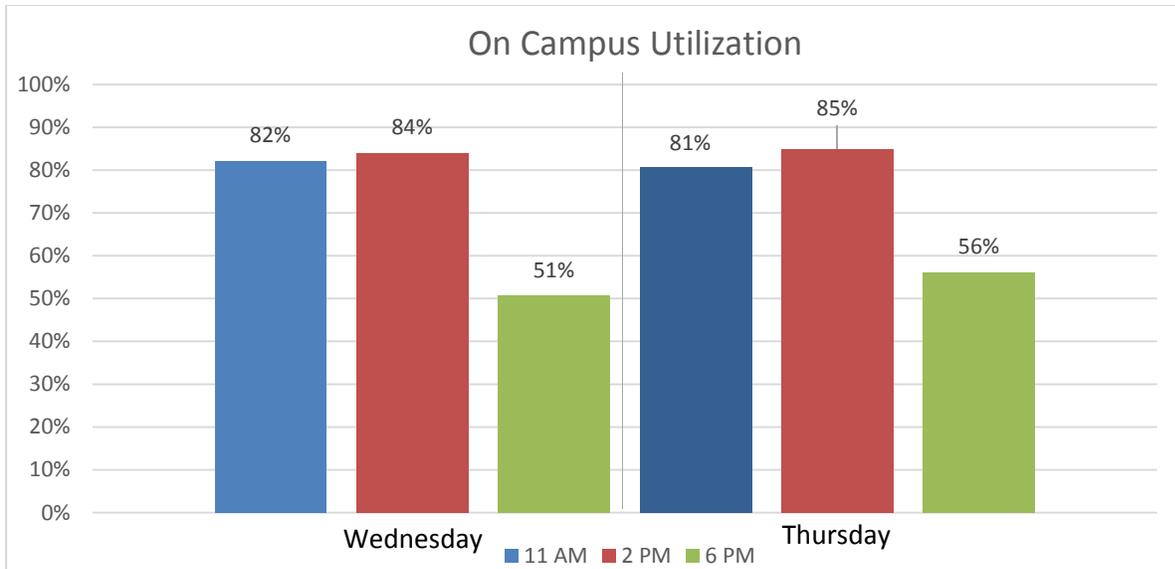
Parking Lot	Number of Spaces ¹	Wednesday (9/16/15) ³			Thursday (9/17/15) ³		
		11 AM	2 PM	6 PM	11 AM	2 PM	6 PM
A	27	111%	96%	48%	93%	104%	59%
B	116	89%	97%	81%	94%	96%	86%
D	74	97%	97%	50%	99%	96%	49%
E	22	91%	86%	18%	91%	95%	82%
F	85	98%	96%	89%	94%	93%	87%
G	104	99%	98%	44%	97%	96%	56%
H ² (underground)	43	74%	60%	53%	70%	77%	51%
I	8	63%	63%	0%	63%	88%	38%
J	20	90%	80%	55%	90%	85%	55%
K	45	100%	96%	53%	100%	96%	58%
L	287	62%	75%	36%	63%	74%	43%
P ² (underground)	56	50%	48%	30%	39%	52%	45%
Commuter (on-street)	101	95%	85%	52%	88%	87%	43%
Total	988	82%	84%	51%	81%	85%	56%

1.) The change in parking supply from 2008 to 2015 reflect modifications to existing parking lots (e.g., stripping or loss of parking for other uses). The 2015 parking supply numbers were verified and confirmed in the field.

2.) Utilization counts for Lot H and P were conducted on Wednesday October 7 and Thursday October 8.

3.) Cells highlight in gray indicate utilization rates that exceed an 85% threshold. Utilization counts exceeding 100% indicate parking lots that have been over parked (e.g., vehicles parking illegally).

Table 6: Off-Street Utilization Survey Findings



The study also included utilization counts for on-street parking internal and external to campus (see Figure 6). Findings determined on-street parking internal to campus with long-term restrictions (i.e., two- to four-hour limits) are heavily utilized (see Table 7). On-street parking internal and external to campus with short-term restrictions (one-hour limit) are not heavily utilized (see Table 7). This finding suggests the majority of students, faculty, and staff are seeking long-term parking options. Field observations also determined vehicles parking on-street near campus are not necessarily Augsburg students, faculty or staff. Therefore, it is important to recognize on-street parking is being utilized by other land uses within the area.

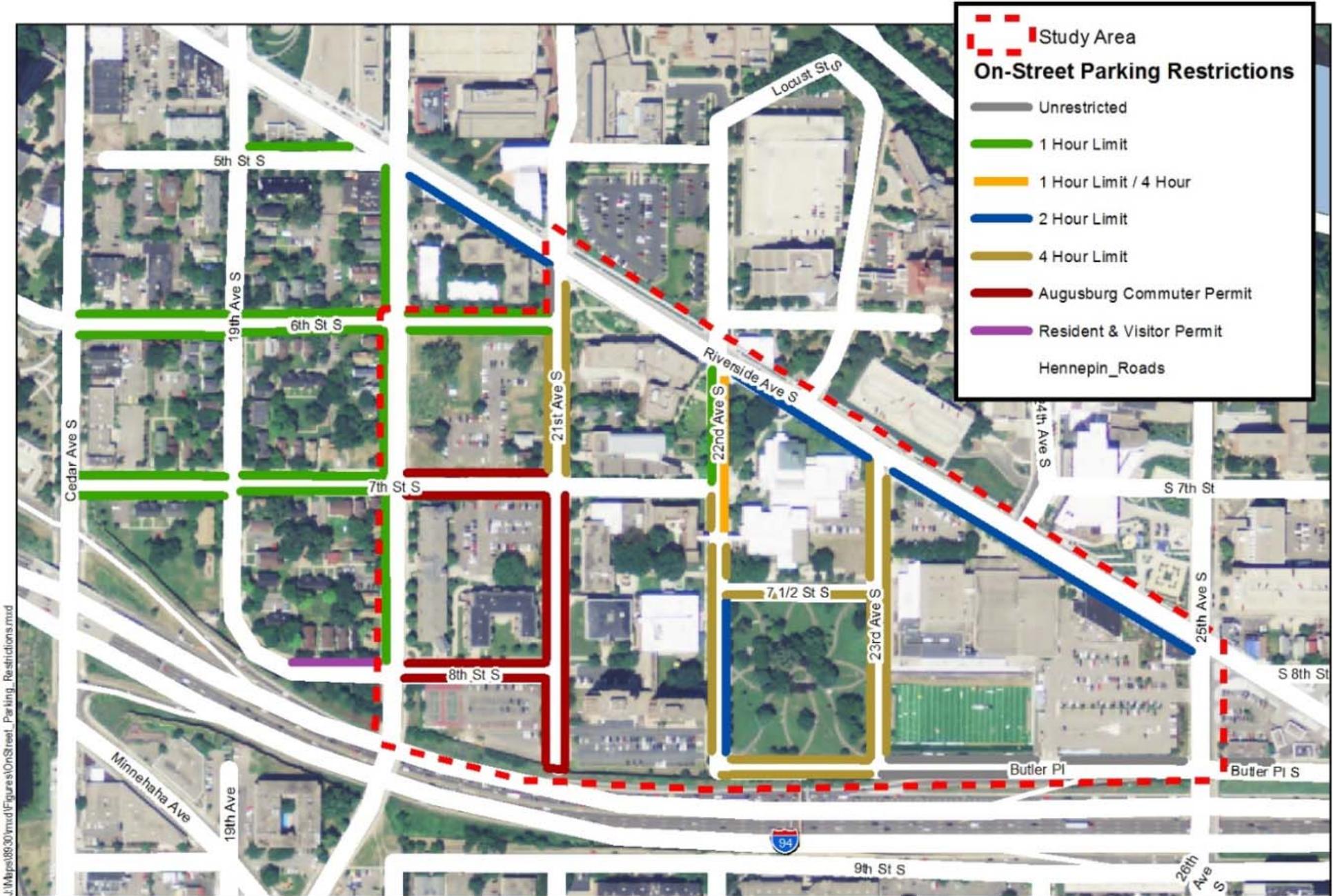
Findings also determined there are no on-street parking issues within the adjacent neighborhoods during the dates/times data was collected. Table 7 demonstrates the low-utilization counts for on-street parking external to campus. It is also assumed students, faculty and staff are not utilizing on-street parking in the adjacent neighborhoods, since these areas require a residential parking permit by the City.

Table 7: On-Street Utilization Survey Findings

Internal to Campus (Restrictions)	Number of Spaces ¹	Wednesday (9/16/15) ²			Thursday (9/17/15) ²		
		11 AM	2 PM	6 PM	11 AM	2 PM	6 PM
1 Hour	23	78%	78%	74%	96%	83%	61%
1 Hour / 4 Hour	14	86%	79%	36%	100%	79%	86%
2 Hour	54	89%	61%	52%	93%	65%	85%
4 Hour	169	95%	94%	87%	92%	94%	88%
No Restrictions	49	100%	100%	76%	94%	100%	69%
Total	309	93%	87%	76%	93%	88%	82%
External to Campus (Restrictions)	Number of Spaces ¹	11 AM	2 PM	6 PM	11 AM	2 PM	6 PM
1 Hour	155	72%	77%	64%	60%	71%	67%
2 Hour	9	100%	78%	100%	100%	67%	111%
No Restrictions	16	56%	56%	56%	56%	63%	50%
Residential - Permit	16	44%	50%	38%	44%	31%	31%
Total	196	69%	73%	63%	60%	67%	65%

1.) In most cases, on-street parking is not striped. The number of spaces were determined by field observations and using aerial photography. A parking stall width of 22' was used to determine the number of on-street parking spaces a roadway segment could accommodate.

2.) Utilization counts for on-street parking external to campus were collected on October 7 and 8, 2015.



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Figure 6

Parking Requirements

To determine how many parking spaces are necessary to support the proposed CSBR, the minimum and maximum off-street parking requirements were calculated, and parking demand models were developed.

Minimum and Maximum City Parking Requirements

The City of Minneapolis, through the zoning code, requires development to provide a minimum number of off-street parking stalls. The zoning code also has a maximum parking requirement. Campus wide parking requirements were estimated to determine if enough off-street on-campus parking is being proposed as part of the proposed CSBR. Table 8 lists the land uses and requirements for the campus today and after the completion of CSBR. It is important to note that the City of Minneapolis Parking Requirements have changed since the 2008 parking study. These changes now reflect a minimum and maximum parking requirement.

According to the City of Minneapolis Parking Requirements, Augsburg College will be required to provide a minimum of 792 off-street parking spaces on-campus with the completion of the CSBR (see Table 8). The maximum off-street parking requirement, with the completion of the CSBR, is 1,635 spaces. Currently Augsburg College meets these requirements with 988 existing parking spaces (887 off-street parking and 101 on-street commuter parking). The proposed CSBR will reduce parking by 153 spaces, resulting in a net total of 835 parking spaces. The CSBR will meet the City of Minneapolis parking requirements.

Shared Parking Reduction

Because the campus is a mixed use facility, the City of Minneapolis allows shared parking calculations to be applied to their parking requirements. This way, when certain land uses are not in heavy use during the day, such as housing and retail, the parking can be used by land uses that do have a higher occupancy during the day, such as office and classrooms. The City of Minneapolis' approved shared parking requirements were applied for this analysis to determine the parking requirements. Table 9 shows the percentages required for different times of the day by land use.

Based on the shared parking requirements, the midday, weekday time period has the highest accumulated number of required spaces at 577 (see Table 10). The net total of parking spaces after CSBR construction is 835, which meets the shared parking requirements.

Table 8: City of Minneapolis Parking Requirements

Existing Land Use	Size	Minimum Requirement	Maximum Requirement	Min. Req. Spaces	Max. Req. Spaces
Housing (Beds)	1,075 (beds)	0.5 per bed	1 per bed	538	1,075
Classrooms	77 (rooms)	1 per room	1 per room	77	77
Students in Classrooms	751 (students)	0.2 per student	0.33 per student	150	250
Office ¹	195 (offices)		1 per office		195
Sub Total (Existing)				765	1,597
Future Land Use (CSBR)	Size	Minimum Requirement	Maximum Requirement	Min. Req. Spaces	Max. Req. Spaces
Classrooms	27 (rooms)	1 per room	1 per room	27	27
Students in Classrooms ²	220 (students)	0.2 per student	0.33 per student	-	-
Office	11 (offices)		1 per office		11
Sub Total (Future)				27	38
Total (Existing & Future)				792	1,635

1) Offices for non-faculty staff members. Faculty are incorporated into the college classroom requirement.

2.) The proposed CSBR will not generate any new students. The facility will be utilized by existing students and faculty. Therefore, the City of Minneapolis Parking Requirements were not applied to this category.

Table 9: City of Minneapolis Shared Parking Calculations

Land Use	Weekdays			Weekends		
	2: a.m. to 7 a.m.	7 a.m. to 6 p.m.	6 p.m. to 2 a.m.	2: a.m. to 7 a.m.	7 a.m. to 6 p.m.	6 p.m. to 2 a.m.
Residential	100%	60%	100%	100%	75%	90%
Classrooms ¹	5%	100%	50%	0%	50%	30%
Retail	0%	90%	80%	0%	100%	60%
Office	5%	100%	5%	0%	10%	0%

1.) K-12 Classroom Reductions used as recommended by City of Minneapolis Staff

Table 10: Shared Parking Spaces Required by Time of Day (includes CSBR requirements).

Land Use	Weekdays			Weekends		
	2: a.m. to 7 a.m.	7 a.m. to 6 p.m.	6 p.m. to 2 a.m.	2: a.m. to 7 a.m.	7 a.m. to 6 p.m.	6 p.m. to 2 a.m.
Residential	538	323	538	538	403	484
Classrooms ¹	0	254	64	0	76	25
Office	0	0	0	0	0	0
Total	538	577	602	538	500	509

1) K-12 Classroom Reductions used as recommended by City of Minneapolis Staff

Future Parking Needs

Existing and future parking requirements will be met using the City of Minneapolis' Shared Parking Requirements. However, it is important to recognize the current utilization rate for the entire campus is at 85 percent. In general, a campus such as Augsburg College should target a 90 percent utilization rate. This allows for an effective supply cushion and allows for traffic circulation. With this in mind, it is important to recognize parking will be reduced in Lots F and G, and on-street commuter parking. The loss of these parking spaces will force users to park in other lots. This will likely result in Augsburg's overall utilization rate to exceed the 90 percent threshold. In that respect, a parking analysis was prepared to determine the reduction in parking and its potential impact on existing utilization rates. The following assumptions were used as part of this analysis:

- Net loss of parking of 153 spaces
 - Parking reduction in Lots F and G, and On-Street Commuter
- Maintain current parking utilization at 90 percent
- No new parking demand generated by the proposed CSBR

Findings

A total of 79 to 87 spaces would be needed (see Table 11) to accommodate the reduction in parking, while maintaining a campus utilization rate of 90 percent (see Table 11). This analysis took into consideration the expansion of Lot D by 39 spaces. This finding also took into consideration the capacity existing lots could absorb to accommodate the loss in parking. For example, Lot L was determined to be underutilized. Lot L could absorb approximately 40 to 80 additional vehicles (see Table 11) during peak periods of the day (e.g., 11 a.m. and 2 p.m.), while maintaining a 90 percent utilization rate.

To help address this need, Augsburg College is committed to reducing parking demand through various TDM strategies. However, these strategies will need to be balanced with the expansion of existing parking facilities (i.e., Lot D) to address the immediate reduction in parking. As TDM strategies are implemented and a shift in commuter culture comes to fruition, Augsburg College will reevaluate parking needs and incorporate changes into their future campus planning efforts. Furthermore, the College will continue to monitor the parking demand on campus during and after CSBR construction. If significant parking issues emerge, the College will revisit the TDMP strategies with the City.

Table 11: Future Parking Needs

Parking Lot	Future Parking Supply ¹	Wednesday (9/16/15)			Thursday (9/17/15)		
		11 AM	2 PM	6 PM	11 AM	2 PM	6 PM
A	27	-6	-2	11	-1	-4	8
B	116	1	-8	10	-5	-7	4
D ²	113	30	30	65	29	31	66
E	22	0	1	16	0	-1	2
F	0	-83	-82	-76	-80	-79	-74
G	26	-81	-80	-24	-79	-78	-36
H (underground)	43	7	13	16	9	6	17
I	8	2	2	7	2	0	4
J	20	0	2	7	0	1	7
K	45	-5	-3	17	-5	-3	15
L	287	81	44	155	77	47	135
P (underground)	56	22	23	33	28	21	25
Commuter (on-street)	72	-31	-21	12	-24	-23	22
Total Parking Needed to maintain an 90% utilization rate ³	835	-61	-79	251	-47	-87	197

1.) The change in parking supply reflects the loss of parking in Lot F and G, and on-street commuter parking.

2.) Lot D includes the expansion of the tennis courts (39 new spaces)

3.) The total parking need was determined by evaluating the existing utilization rates and the number of spaces that can be absorbed before reaching an 90% threshold. Negative numbers represent the additional parking spaces needed to maintain an 90% utilization rate.

Travel Demand Management Strategies

The purpose of this section of the TDMP is to outline measures to encourage students, faculty, staff, and visitors of Augsburg College and the CSBR building to use alternative modes of transportation rather than driving alone. The implementation of the following actions is the responsibility of the Augsburg College's parking and environmental stewardship committee. The measures work to promote the City of Minneapolis Transportation Goals outlined below.

City of Minneapolis Transportation Goals

The proposed project recognizes and embraces the City of Minneapolis' Transportation Goals. The following transportation policies were identified in Chapter 2 of the *Minneapolis Plan for Sustainable Growth*, adopted by the Minneapolis City Council on October 2, 2009:

- Policy 2.1 – Encourage growth and reinvestment by sustaining the development of a multi-modal transportation system.
- Policy 2.2 – Support successful streets and communities by balancing the needs of all modes of transportation with land use policy.
- Policy 2.3 – Encourage walking throughout the city by ensuring that routes are safe, comfortable, pleasant, and accessible.
- Policy 2.4 – Make transit a more attractive option for both the new and existing riders.
- Policy 2.5 – Ensure that bicycling throughout the city is safe, comfortable, and pleasant.
- Policy 2.6 – Manage the role and impact of automobiles in a multi-modal transportation system.
- Policy 2.7 – Ensure that freight movement and facilities throughout the city meet the needs of the local and regional economy while remaining sensitive to impacts on surrounding land uses.
- Policy 2.8 – Balance the demand for parking with objectives for improving the environment for transit, walking and bicycling, while supporting the city's business community.
- Policy 2.9 – Promote reliable funding and pricing strategies to manage transportation demand and improve alternative modes.
- Policy 2.10 – Support the development of a multi-modal Downtown transportation system that encourages an increasingly dense and vibrant regional center.
- Policy 2.11 – Minneapolis recognizes the economic value of Minneapolis-St. Paul International Airport and encourages its healthy competition to reach global markets in an environmentally responsible manner.

Travel Demand Management Goal

Based on previous TDMPs in the area, the location of the site with respect to the Augsburg College campus and the University Area Overlay District, the results of the 2015 Augsburg College Commuter Survey, as well as the availability of nearby transit options, the College has identified the Target Transportation goals shown in Table 12.

Table 12: Target Transportation Goals

Mode Split	Current Mode Split <i>(based on October 2015 Commuter Survey)</i>	Year 2021+ Target Transportation Goals
Auto	78%	50%
Transit/ Carpool/ Other	14%	30%
Bike/Walk	8%	20%

2015 Augsburg College Commuter Survey

Augsburg College students, staff, and faculty were surveyed in October 2015 to determine their commuting habits and alternative transportation options (see Attachment A for survey results). The 653 (22 percent response rate) respondents primarily commuted to campus by car with 78 percent identifying driving alone as their primary mode of travel. The remaining 22 percent's primary mode of transportation to campus is by transit, foot, bike, or carpool (eight percent: transit, eight percent: walk or bike, four percent: carpooling/vanpooling, and three percent had a mix of travel modes). The survey helped identify a baseline for setting transportation goals over the next four to five years. The end goal is a 28 percent reduction in single occupancy trips to campus.

The survey also helped set a better understanding for how parking is being utilized on campus. For example, the vast majority of commuters are on campus for an extended period of time. Approximately 65 percent of commuters are on campus for seven or more hours while 39 percent are on campus for more than eight hours. Augsburg College Parking Permit holders accounted for 65 percent of the respondents. The remaining respondents either park on city streets (26 percent), on-street with a permit (four percent), pay for metered parking (two percent), or find other parking solutions nearby (three percent). These findings suggest a majority of commuters are single occupancy drivers who stay on campus for a majority of the day, and take advantage of permit parking or on-street parking.

Active Transportation and Car Sharing Options

The TDMP also recognizes the vast range of existing transit options and alternative modes of transportation located within proximity to Augsburg College (see Figure 7 & 8). For example, the

campus is serviced by both light rail and transit routes (see Table 13). This includes three light rail stations and 98 bus stops (34 of which have a shelter) within a half-mile walking radius (see Figure 9).

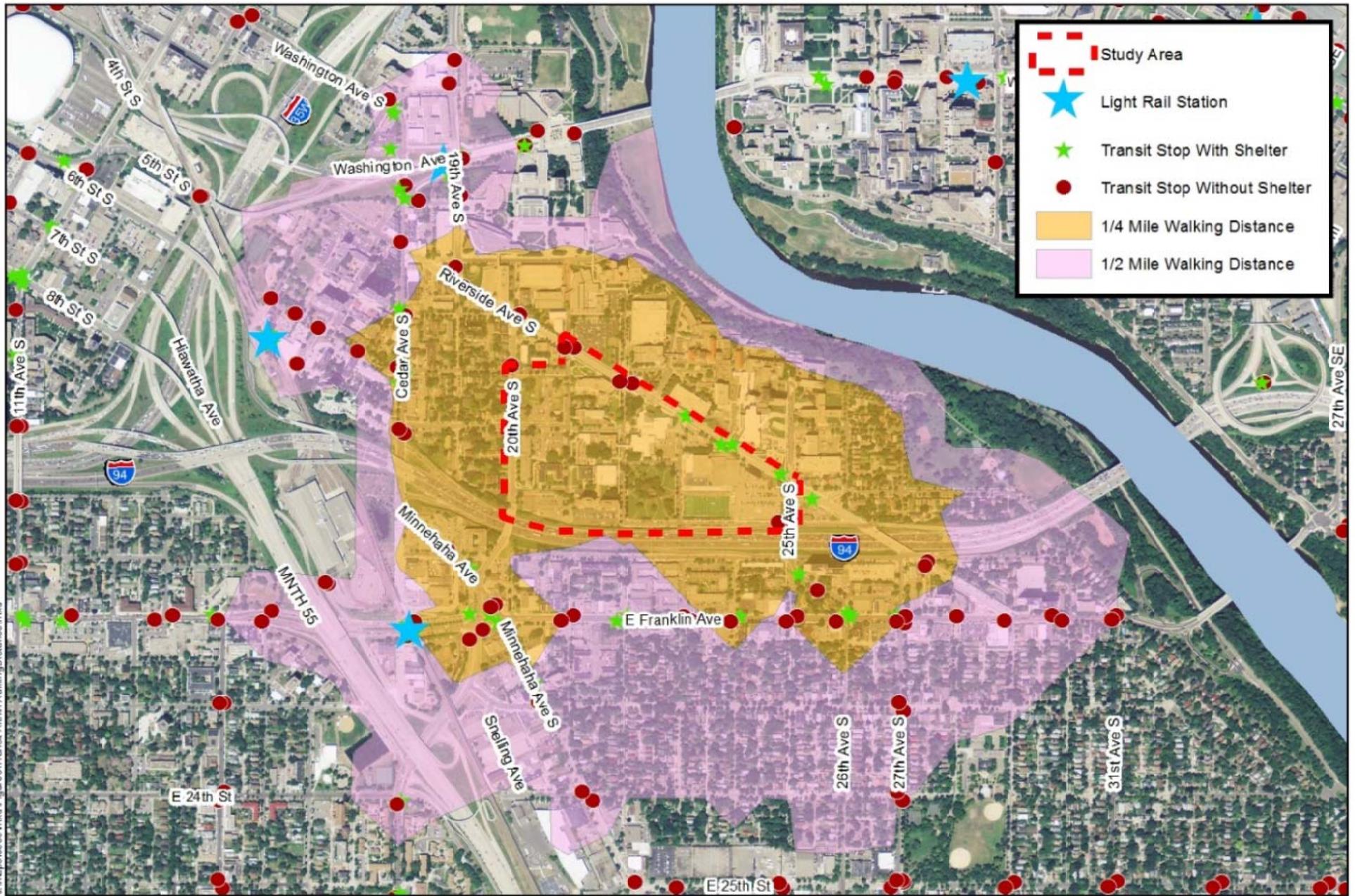
Bike racks are also provided throughout the campus (64 spaces) including the residence halls, student union, and the library. Many bicycle users travel several miles each way to and from Augsburg College campus, utilizing the extensive City of Minneapolis bike and trail network, including the Hiawatha LRT Trail, and bike lanes on Franklin Avenue, 20th Avenue, and Riverside Avenue. Furthermore, Nice Ride bikes are located on campus. Nice Ride Minnesota is a seasonally-operated, subscription based, nonprofit bicycle sharing system in the Twin Cities. Four Nice Ride Minnesota kiosks are located on campus or within walking distance (see Figure 8). The total number of bike spaces across the four facilities is approximately 70, per information on Nice Ride Minnesota's website (as of October 2015).

The last additional transportation mode to highlight is shared cars. HOURCAR and Zipcar are car sharing services in use across the City. These programs allow users to rent on an hourly basis (or daily depending on need) a community car without having the responsibility or significant costs of insurance, fuel and maintenance. There is one HOURCAR located in Augsburg College's Lot K, which is the nearest shared car (see Figure 7).

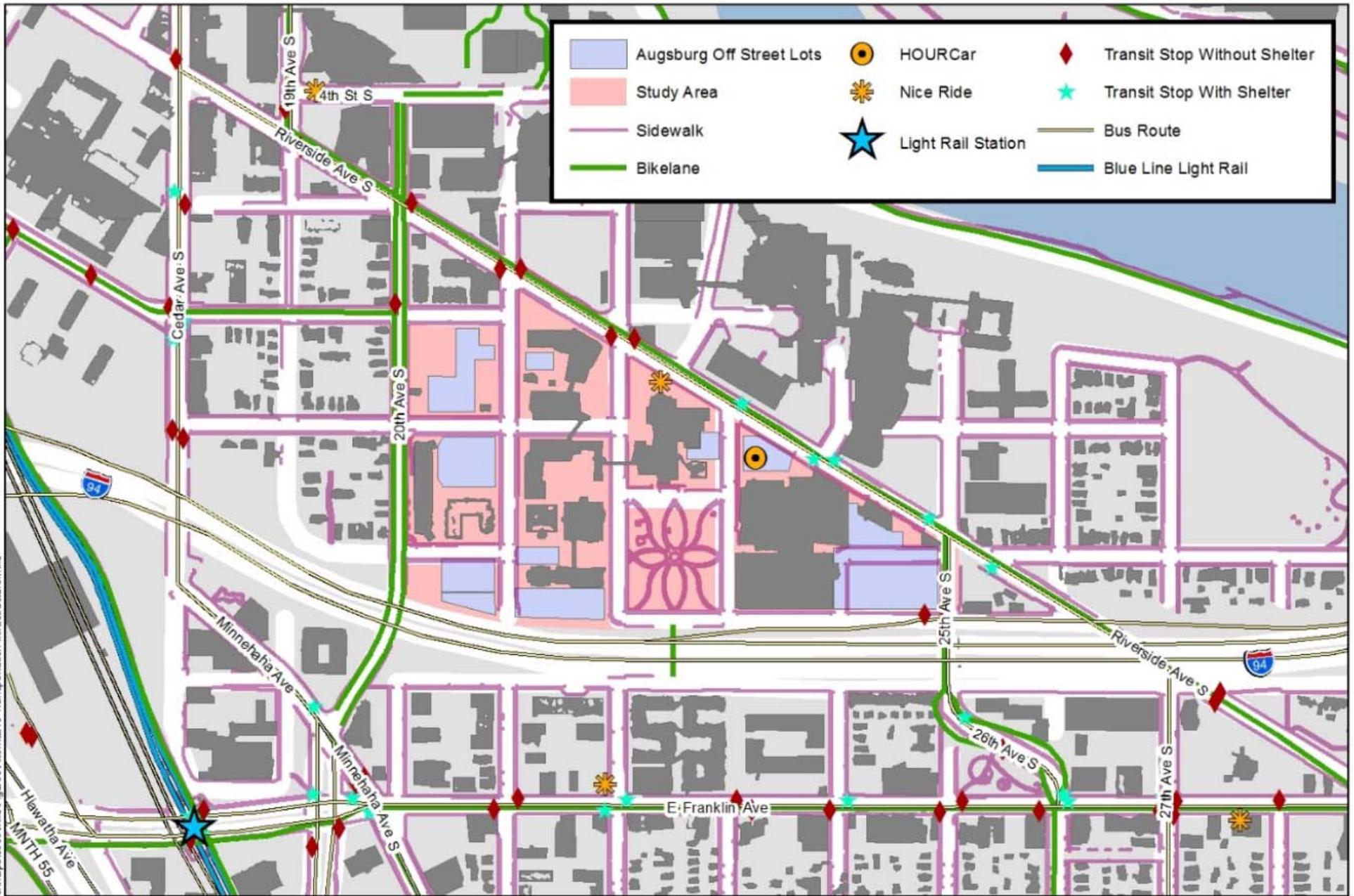
Finally, Car2Go is another available shared car/ride service. While there are no fixed pick-up or drop-off locations, members are able to access cars easily throughout Minneapolis, Augsburg College, and surrounding neighborhoods. On-street, free parking to terminate Car2Go trips is available at any two-hour (or longer), non-restricted meter in Minneapolis or Saint Paul.

Table 13: Transit Service

Route	Service Area	Day	Time	Frequency
METRO Blue Line	Minneapolis to Airport/Mall of America	Weekday	Peak	10 min
			Off Peak	15 min
		Weekend	-	10-15 min
METRO Green Line	Minneapolis to St. Paul	Weekday	Peak	10 min
			Off Peak	15 min
		Weekend	-	10-15 min
7	Plymouth Ave., Downtown Minneapolis, Highway 62	Weekday	Peak	15-30 min
			Off Peak	30 min
		Weekend	-	30-60 min
2	Franklin Ave, Riverside, U of M	Weekday	Peak	10-15 min
			Off Peak	20-30 min
		Weekend	-	20-30 min
67	W Minnehaha, Raymond Station, Hiawatha	Weekday	Peak	20 min
			Off Peak	20-30 min
		Weekend	-	20-60 min
2	Brooklyn Center, Lyndale Ave. N., VA Hospital	Weekday	Peak	10-20 min
			Off Peak	20-30 min
		Weekend	-	20-30 min



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J:\Maps\0830\mud\Figures\Alternative Transportation Infrastructure.mxd

Figure 8

Commitments

Augsburg College currently has a comprehensive TDM program. The following strategies look to expand upon the college's current policies and promote new approaches. The policies outlined below will help Augsburg College capitalize on the outstanding connections via light rail, bus, biking, and walking. More importantly, Augsburg College is committed to expanding and implementing new TDM strategies as part of the development of the CSBR. As part of this effort, the College will continue to monitor the parking demand on campus during and after CSBR construction. If significant parking issues emerge, the College will revisit the TDMP strategies with the City to discuss new strategies and options for adding new parking spaces.

Signage and Promotion

1. Augsburg College will develop a parking management/wayfinding plan to help manage the existing parking supply. This plan will be developed in early 2016 before CSMR construction. The plan will evaluate the location of parking by use (e.g., faculty, staff, students and visitors) and signage to direct vehicles to underutilized parking lots (i.e., Lot L). More importantly, the wayfinding plan will address the signage needs to redirect visitors to the new lot that is being expanded (i.e., Lot D). The wayfinding plan will also explore the walkability and connection to alternative transportation options by using maps, kiosks and signage.
2. Augsburg College will develop a more formal orientation packet for students that provide information regarding various transit discounts and alternative transportation options.
3. Augsburg College will promote alternative transportation options and programs throughout campus via email, posters, and through on campus promotions. As part of this effort, Augsburg College will evaluate their current website to provide a more robust web page promoting alternative modes of transportation.
4. During the CSBR construction, Augsburg College and the developer will provide periodic updates to students, faculty and staff. Updates will provide information regarding construction impacts to parking and traffic. This will also be an opportunity to encourage students, staff, and faculty to choose alternative modes of transportation.
5. Augsburg will host a "Car Free" week to encourage students, staff, and faculty to reduce their reliance on automobiles.
6. Augsburg College will evaluate the feasibility and effectiveness of installing electronic signs that indicate when lots are full.
7. Augsburg College will evaluate the feasibility and effectiveness of installing real-time transit display boards to help encourage transit ridership.
8. Augsburg College will commit to hosting sessions where TMO, Metro Transit and shared bike and shared car providers come to the site to conduct a commuter fair and educate students, faculty and staff on commuting options.

Transit and Bicycle Amenities

1. Augsburg College will include shower facilities in the CSBR building. This will help promote biking as a viable alternative mode of transportation.
2. Augsburg College will promote guaranteed ride home programs and encourage better utilization of Metro Transit's programs. This is a program where if a carpooler or regular transit rider stays late or has an emergency, they will have a guaranteed ride home.
3. Augsburg College is committed in providing transit discounts and subsidies Augsburg College currently provides a discount for transit passes. They will evaluate whether an increase in subsidy will encourage more ridership, as well as increase promotion of the program.

Parking

1. Augsburg College will eliminate parking for first year resident students. With a majority of first year students living on campus (approximately 80 students) and within walking distance to class this strategy will reduce parking needs and encourage a multimodal friendly culture on campus.
2. Augsburg College will adjust parking permit prices to better reflect current supply and demand. This strategy will be paired with educational information to demonstrate the cost savings in taking an alternative mode of transportation versus driving alone and paying for parking. The college will also evaluate a tiered parking permit system. For example, a tiered parking permit system includes increased parking permit costs for lots located near popular buildings on campus. To help offset the permit costs, carpool discounts will be available.
3. Augsburg College will increase parking enforcement in permitted lots and those that have time restrictions.
4. Augsburg College will continue to explore off-site parking locations. For example, a current partnership with Fairview Hospital exists where shared parking agreements are made during major events (e.g., sporting events). Augsburg College will continue to work with local business and property owners to identify shared parking opportunities.

Programs

1. As the TDMP was being developed, a Technical Advisory Committee (TAC) was formed to review data and select the appropriate TDM strategies. The TAC was comprised of Augsburg College staff. The TAC will now serve as Augsburg College's TDM Board. The TDM Board will monitor the implementation of the proposed TDMP actions and work toward achieving the TDMP mode split goals through the following monitoring program:
 - a. Conduct a statistically valid baseline student, faculty, and staff commuter survey within the first six months of the opening of the proposed CSBR. Survey results will be compared against the commuter survey conducted for this TDMP to determine trends and achieving the TDMP mode split goals.

- b. Conduct a student, faculty, and staff commuter survey every year after the original baseline survey, for five years or until the TDMP mode split goals for alternative modes of transportation are achieved.
- c. After each round of commuter surveys, review the TDMP to determine its effectiveness. As part of the review, prepare a status report for the City of Minneapolis CPED and Public Works Departments to review and provide comments.
- d. Report on the results of the evaluations of the feasibility and effectiveness of installing electronic lot full signs and real-time transit display boards.

Attachment A – Survey Findings

Initial Report

Last Modified: 11/02/2015

1. Are you Student, Staff, or Faculty?

#	Answer	Response	%
1	Faculty	125	19%
2	Staff	225	34%
3	Undergraduate - Day Student	195	30%
4	Graduate/ Professional Student	61	9%
5	Other (please specify)	10	2%
6	Undergraduate - Adult Evening/Weekend	37	6%
	Total	653	100%

Other (please specify)

Faculty and graduate student
 Staff + Adjunct Fac
 Staff and Graduate Student
 Adjunct Faculty
 Staff and Graduate Student
 And Student
 Staff & Instructor
 Graduate Student and Staff
 Adjunct Instructor
 Retired

Statistic	Value
Min Value	1
Max Value	6
Mean	2.57
Variance	1.59
Standard Deviation	1.26
Total Responses	653

2. What is your primary mode of travel to Augsburg College in Minneapolis?

#	Answer	Response	%
1	Drive Alone	509	78%
2	Transit - Bus/Light Rail	52	8%
3	Carpool/ Vanpool	24	4%
4	Walk	31	5%
5	Bike	18	3%
6	Motorcycle/ Moped	1	0%
7	Other (please specify)	18	3%
	Total	653	100%

Other (please specify)

Live on campus. Drive home or with a friend twice per week.
50% drive alone, 50% transit
live on campus
Drive Alone, but carpool home with husband
given a ride by my husband
bike in nice weather, otherwise on the bus
Bike in summer, drive alone in winter
Carpool with husband who attends U of M
Carpool
About 50/50 alone or with 1 other person
PCA drives me
50/50 driving alone and biking
I live on campus, but I take the Light Rail & Bus home sometimes (I live in Princeton, MN) or I am driven here and back home by my parents
Telaport
Live on campus
I live on campus
Live on campus

Statistic	Value
Min Value	1
Max Value	7
Mean	1.58
Variance	1.79
Standard Deviation	1.34
Total Responses	653

3. What is your secondary mode of travel to the Augsburg College campus?

#	Answer	Response	%
1	Drive Alone	45	14%
2	Carpool/ Vanpool	79	24%
3	Walk	21	6%
4	Bike	49	15%
5	Motorcycle/ Moped	8	2%
6	Other (please specify)	37	11%
7	Transit - Bus/Light Rail	86	26%
	Total	325	100%

Other (please specify)

Get a ride from my husband
 I live on campus
 50-50 drive alone, transit
 Dropped off
 none available
 Bike
 weather-related: see above
 live on campus
 none
 wife
 car2go or uber
 Car
 Northstar/Blue Line
 I drive from Rochester for department meetings etc
 I would get dropped off.
 dropped off
 sometimes I have to be dropped off if I have to come at a time when there is no parking
 None. Given the distance I travel to work, there are not secondary options
 Spouse
 Carpool
 i don't have another mode of transportation
 Car2go
 Metro Mobility
 walk
 Uber
 none
 Any other mode, bus or transit, would add 1hr to the commute each way
 Dropped off
 50/50 bike/drive
 family member will drop me off
 Live on campus

Statistic	Value
Min Value	1
Max Value	7
Mean	4.08
Variance	5.15
Standard Deviation	2.27
Total Responses	325

4. Approximately how many miles one way is your commute to campus?

Text Response

10

4

2

4

5

13

4

3

6.5

35

2

1

10

12

5

6

12

22

22

15

7

35

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20

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12
4
8
15

Statistic	Value
Total Responses	587

5. On average, how many days per week do you commute to campus?

Text Response

5

6

4

40

5

1

2

5

5

1

5

5

5

5

4

5

7

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2

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5
1

Statistic	Value
Total Responses	587

6. During a typical week of commuting to Augsburg, what percentage of the miles you commute do you use the following modes of transportation (percentages should total 100)?

#	Answer	Min Value	Max Value	Average Value	Standard Deviation
1	Bus	0.00	100.00	4.85	17.80
2	Light rail or train	0.00	100.00	3.25	14.41
3	Single-occupancy car	0.00	100.00	78.11	37.12
4	Motorcycle or scooter	0.00	50.00	0.25	2.69
5	Bicycle	0.00	100.00	3.89	15.54
6	Walk	0.00	100.00	4.26	17.91
7	Carpool	0.00	100.00	5.56	19.54

7. Check all times when you expect to commute to campus:

#	Answer	Response	%
1	Fall Semester	565	98%
2	Spring Semester	547	95%
3	Summer	392	68%

Statistic	Value
Min Value	1
Max Value	3
Total Responses	578

8. On average, how long do you stay on the Minneapolis campus before leaving?

#	Answer	Response	%
1	0 - 2 hours	28	5%
2	3 - 4 hours	84	14%
3	5 - 6 hours	97	16%
4	7 - 8 hours	147	25%
5	Greater than 8 hours	232	39%
	Total	588	100%

Statistic	Value
Min Value	1
Max Value	5
Mean	3.80
Variance	1.52
Standard Deviation	1.23
Total Responses	588

9. What is your primary location for parking?

#	Answer	Response	%
1	Campus Parking Permit - Surface Lot	313	60%
2	Campus Parking Permit - Underground Lot	24	5%
3	Metered Parking	10	2%
4	On-Street by Permit	23	4%
5	On-Street - No permit	137	26%
6	Other (please specify)	17	3%
	Total	524	100%

Other (please specify)
I don't have a car on campus
Temporary campus permit - surface lot (pay by the day)
Visitor permit
Disability Parking
Luther Seminary
I carpool and am dropped off at campus, but when I park on campus, I use a campus parking permit on a surface lot.
Friend's house
Get dropped off
Guest Lot A
Park & ride garage
permit with handicap sticker
Luther Seminary campus
Parking lot at my other job
Get drop off
Handicap
On Street/Handicap
U of M lot

Statistic	Value
Min Value	1
Max Value	6
Mean	2.42
Variance	3.49
Standard Deviation	1.87
Total Responses	524

10. If you park in a Surface Lot, which is your preferred location:

#	Answer	Response	%
1	Lot B - behind Mortensen and Urness	22	6%
2	Lot D - next to Tennis Courts	86	22%
3	Lot E - in front of Old Main	10	3%
4	Lot F - nestled between Anderson and Luther	21	5%
5	Lot G - across the street from OGC and Lindell Library	148	37%
6	Lot J - behind Foss	37	9%
7	Lot K - next to Si Melby	19	5%
8	Lot L - behind the Athletic Field	54	14%
	Total	397	100%

Statistic	Value
Min Value	1
Max Value	8
Mean	4.62
Variance	4.37
Standard Deviation	2.09
Total Responses	397

11. Augsburg College has committed to reducing its "carbon footprint" to as low as possible by 2019. One way to do this is to reduce the number of single-occupancy vehicles traveling to and from campus. Would you support or oppose raising annual parking fees and using those additional revenues to reduce the cost of a transit pass or to support more biking or carpooling to and from campus?

#	Answer	Response	%
1	Strongly oppose	262	45%
2	Oppose	120	21%
3	Neutral	100	17%
4	Support	59	10%
5	Strongly support	37	6%
	Total	578	100%

Statistic	Value
Min Value	1
Max Value	5
Mean	2.12
Variance	1.60
Standard Deviation	1.26
Total Responses	578

2015 Augsburg College Commuter Survey (Question 12 & 14)

Augsburg College (three reviewers) read through the comments provided by respondents. Listed below is the analysis to question 12, which provided respondents the opportunity to clarify their response to question 11, and question 14.

Question 11

Augsburg College has committed to reducing its "carbon footprint" to as low as possible by 2019. One way to do this is to reduce the number of single-occupancy vehicles traveling to and from campus. Would you support or oppose raising annual parking fees and using those additional revenues to reduce the cost of a transit pass or to support more biking or carpooling to and from campus?

Question 12

If you would like to explain or qualify your answer to the previous question, please include that explanation in the box below

Most Reactions to Parking Price Increase are Very Negative

1. Despite price increase many would still drive solo because it's a necessity, due to
 - Family responsibilities
 - Students who travel to work
 - Where they live
 - Infrequency of being on campus – easier to make occasional drive than use transit.

2. Students, staff, and faculty all can have very limited time and money:
 - Tuition is already too high; pay is already too low. Some would look at other schools or workplaces
 - Increasing the cost of parking permit is "unfair," "ridiculous," "penalizing," "wrong." Most common words were variations of penalty and punishment.
 - Alternative options must be highly incentivized in order to be worth the time and inconvenience, and to offset what, for many, are expensive transit options.

3. Price increase / parking shortage negatively impacts many groups that Augsburg wants, needs, or seeks to attract:
 - Adult students
 - Professional or working students
 - Working parents

- People who often disregarded elsewhere (physically disabled, poor)
- Faculty and staff willing to work unusual/long hours (incl. adjuncts who park for short hours and can't afford to pay for parking)

Selected responses:

"I commute 70 miles RT. My carpooling opportunities are limited, and to use a combination of car/lightrail/walk would take twice the time. I also use my car during College business during the day."

"Graduate Students come from all over the metro and some from WI, it would be a huge burden to make those of us that are only on campus 1-2 times a week pay even more in parking."

"I need to drive to school and I can't use a carpool because I go straight to work before and after school"

"I work non-traditional hours and public transportation is not an option. We already pay more than any other division III school in the area and just started charging for summer. A rate increase is ridiculous."

"I don't have access to affordable and reliable public transportation in my neighborhood. It would take me over 2 hours one way to get to Augsburg, which means I need to drive. I don't want to have to pay more to park on campus."

"College tuition and books are expensive enough as it is!! If the prices were raised, some of us who have cars to get to and from reoccurring medical appointments that are outside of public transit limits would be forced to pay extra for something that is not a luxury, but a necessary."

"I live in a suburb and drive 36 miles round trip to and from campus; I also have an irregular schedule, so public transportation or car pooling isn't very workable for me."

"I do drop off/pick up for my toddler with daycare, so have a lot more to factor into my transportation situation than just getting to work and back."

Question 14

Please share any thoughts or comments you think would be informative to parking and transportation needs at Augsburg College.

1. Increase use of public transportation

- Further subsidize public transit passes
- Financial incentives for using an alternative option (public transit, carpool, bike): health care credit, cashback
- Provide shuttle service to and from light rail stations

2. Ideas to increase parking, better use of current parking spaces

- Parking ramp
- More parking at tennis courts (surface lot or ramp)
- Facilitated carpooling program, such as commuter forum or group for potential carpoolers to meet and coordinate transportation
- Create and price a parking pass for infrequent users, to assist those who must drive occasionally.
-

3. Other

- Alternative workdays, working from home, rotate work schedules for applicable staff.
- Install more bike racks

13. What is the 5-digit zip code where you live?

Text Response

55439

55108

55422

55417

55407

55106

55414

55414

55105

55315

55112

55454

55414

55423

55417

55104

55112

55014

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55422
55415
55454
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55109
55418
55105
55105
54025
55414
55956
55454
55422
55105
55112

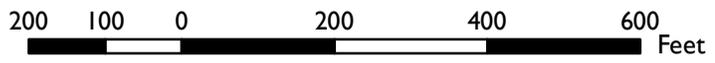
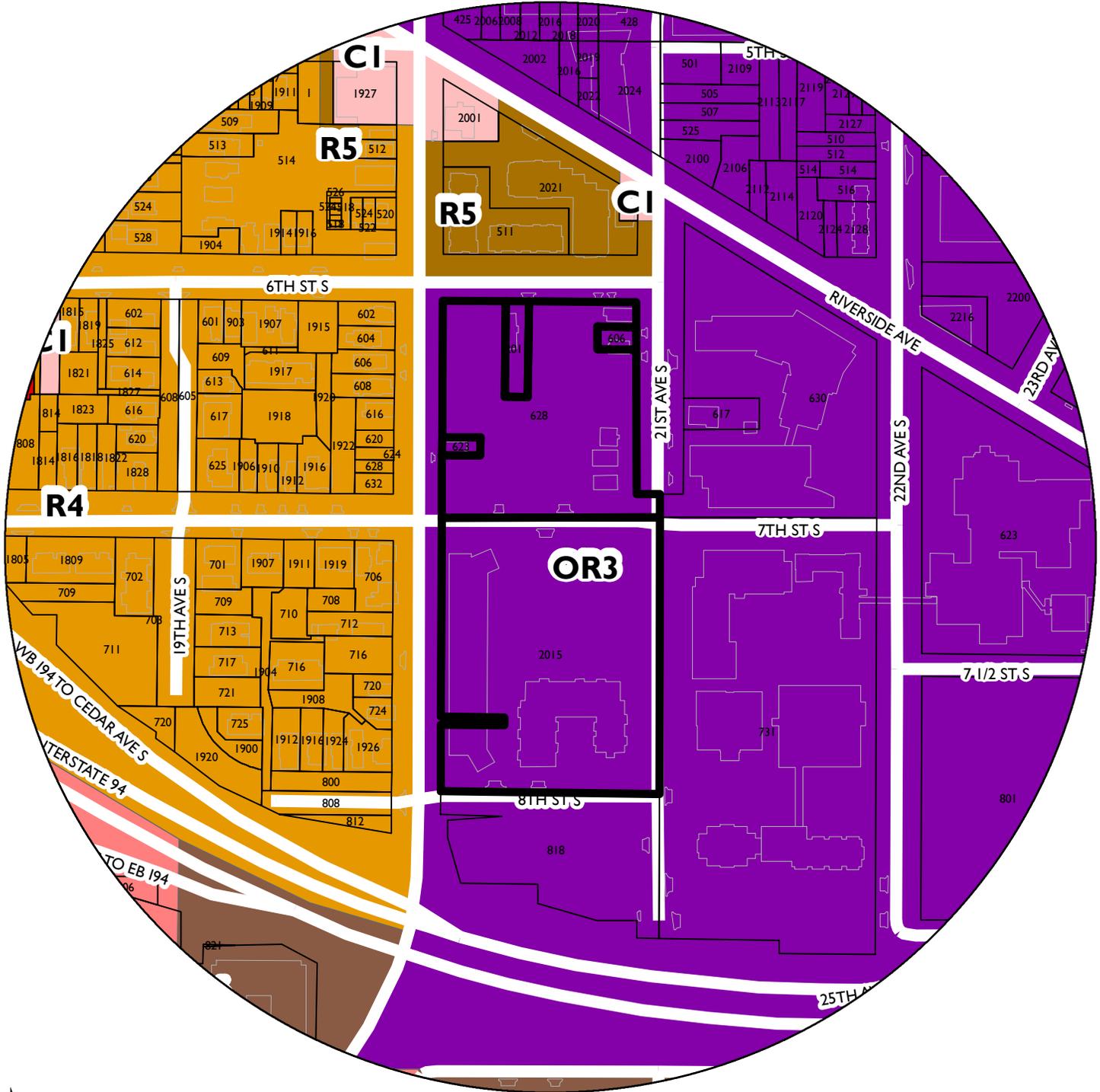
55449

55317

Statistic	Value
Total Responses	565

NAME OF APPLICANT

WARD



PROPERTY ADDRESS

606 & 628 21st Ave S, 2015 S 7th St, 623 20th Ave S and 2011 S 6th S

FILE NUMBER

BZZ-7568

THE HAGFORS CENTER FOR SCIENCE, BUSINESS, AND RELIGION

AUGSBURG COLLEGE



Architecture | Engineering | Planning
 Hammel, Green and Abrahamson, Inc.
 420 5th Street North, Suite 100
 Minneapolis, Minnesota USA 55401
 Telephone 612.758.4000 Facsimile 612.758.4199



McGough



LAND USE APPLICATION (LUA)

hga commission number: 1826-029-00
FEBRUARY 17, 2016

SHEET INDEX

ISSUED FOR CONSTRUCTION
 ISSUED FOR REFERENCE ONLY

CIVIL	ARCHITECTURAL	ARCHITECTURAL	MECHANICAL & PLUMBING	ELECTRICAL	LABORATORY FURNISHINGS
0091 SITE SURVEY - MASTER SHEET	A001 EXISTING SITE PHOTOS	A303A THIRD LEVEL REFLECTED CEILING PLAN AREA A	M090 MECHANICAL SYMBOLS, ABBREVIATIONS AND SHEET INDEX	E000 ELECTRICAL TITLE SHEET	LF010 LABORATORY FURNISHINGS GENERAL NOTES AND LEGENDS
0094 SITE SURVEY - SHEET A-1	A002 PROPOSED BUILDING RENOVATIONS	A303B THIRD LEVEL REFLECTED CEILING PLAN AREA B	M091 UNDERGROUND PLUMBING PLAN A	E040 EXISTING ELECTRICAL SITE PLAN	LF011 LABORATORY FURNISHINGS SCHEDULES
0096 SITE SURVEY - SHEET B-1	A010 GENERAL NOTES, ABBREVIATIONS AND SYMBOLS	A303C FOURTH LEVEL REFLECTED CEILING PLAN AREA C	M200B UNDERGROUND PLUMBING PLAN B	E041 ELECTRICAL SITE PLAN	LF020 LABORATORY FURNISHINGS SCHEDULES
0097 SITE SURVEY - SHEET B-2	A011A MATERIAL IDENTIFICATION CODES	A303D FOURTH LEVEL REFLECTED CEILING PLAN OVERALL	M200C UNDERGROUND PLUMBING PLAN C	E042 SITE PLAN - PHOTOGRAPHIC STUDY	LF021 LABORATORY FURNISHINGS MOBILE BENCH CASEWORK MENU
0098 SITE SURVEY - SHEET C-1	A011B MATERIAL IDENTIFICATION CODES (CONT.)	A303E FOURTH LEVEL REFLECTED CEILING PLAN AREA A	M100 BASEMENT LEVEL FIRE PROTECTION PLAN	E044 NEW TENNIS COURT LOT SITE PLAN	LF022 LABORATORY FURNISHINGS OVERALL FLOOR PLAN - LEVEL 0
0099 OVERALL CAMPUS PLAN	A020 BASEMENT LEVEL LIFE SAFETY PLAN	A303F FOURTH LEVEL REFLECTED CEILING PLAN AREA B	M101 FIRST LEVEL FIRE PROTECTION PLAN	E200A BASEMENT LEVEL LIGHTING PLAN - AREA A	LF023 LABORATORY FURNISHINGS ENLARGED FLOOR PLAN - LEVEL 0
C100 STORM WATER POLLUTION PREVENTION PLAN	A021 FIRST LEVEL LIFE SAFETY PLAN	A400 EXTERIOR ELEVATIONS - OVERALL	M102 SECOND LEVEL FIRE PROTECTION	E201A FIRST LEVEL LIGHTING PLAN - AREA A	LF024 LABORATORY FURNISHINGS ENLARGED FLOOR PLAN - LEVEL 0
C101 EROSION AND SEDIMENT CONTROL DETAIL	A022 SECOND LEVEL LIFE SAFETY PLAN	A401 EXTERIOR ELEVATIONS	M103 THIRD LEVEL FIRE PROTECTION	E201B FIRST LEVEL LIGHTING PLAN - AREA B	LF025 LABORATORY FURNISHINGS OVERALL FLOOR PLAN - LEVEL 1
C102 EROSION CONTROL DETAILS	A023 THIRD LEVEL LIFE SAFETY PLAN	A402 EXTERIOR ELEVATIONS	M104 FOURTH LEVEL FIRE PROTECTION	E201C FIRST LEVEL LIGHTING PLAN - AREA C	LF026 LABORATORY FURNISHINGS ENLARGED FLOOR PLAN - LEVEL 1
C110 EROSION AND SEDIMENT CONTROL PLAN - PARKING LOTS	A024 FOURTH LEVEL LIFE SAFETY PLAN	A403 EXTERIOR ELEVATIONS	M200A BASEMENT LEVEL PLUMBING PLAN A	E202A SECOND LEVEL LIGHTING PLAN - AREA A	LF027 LABORATORY FURNISHINGS ENLARGED FLOOR PLAN - LEVEL 1
C200 SITE DEMOLITION PLAN	A040 SITE PLAN - EXISTING & PROPOSED	A404 EXTERIOR PRECAST ELEVATIONS	M201A FIRST LEVEL PLUMBING PLAN A	E202B SECOND LEVEL LIGHTING PLAN - AREA B	LF028 LABORATORY FURNISHINGS ENLARGED FLOOR PLAN - LEVEL 1
C210 SITE DEMOLITION PLAN - PARKING LOTS	A041 CAMPUS PLAN	A405 EXTERIOR PRECAST ELEVATIONS	M201B SECOND LEVEL PLUMBING PLAN B	E202C SECOND LEVEL LIGHTING PLAN - AREA C	LF029 LABORATORY FURNISHINGS OVERALL FLOOR PLAN - LEVEL 2
C300 SITE LAYOUT AND SURFACING PLAN	A042 SITE PLAN	A406 EXTERIOR PRECAST ELEVATIONS	M201C FIRST LEVEL PLUMBING PLAN C	E203A THIRD LEVEL LIGHTING PLAN - AREA A	LF030 LABORATORY FURNISHINGS ENLARGED FLOOR PLAN - LEVEL 2
C310 SITE LAYOUT AND SURFACING PLAN - PARKING LOTS	A043 SITE SPECIFIC AREA DETAILS	A407 BUILDING SECTIONS	M202A SECOND LEVEL PLUMBING PLAN A	E203B THIRD LEVEL LIGHTING PLAN - AREA B	LF031 LABORATORY FURNISHINGS OVERALL FLOOR PLAN - LEVEL 2
G400 SITE GRADING AND DRAINAGE PLAN	A060 TYPICAL INTERIOR PARTITION TYPES	A411 BUILDING SECTIONS	M202B SECOND LEVEL PLUMBING PLAN B	E203C THIRD LEVEL LIGHTING PLAN - AREA C	LF032 LABORATORY FURNISHINGS ENLARGED FLOOR PLAN - LEVEL 2
C500 SITE UTILITY PLAN	A061 TYPICAL INTERIOR FRAMING DETAILS	A412 WALL SECTIONS	M202C THIRD LEVEL PLUMBING PLAN C	E204A FOURTH FLOOR LIGHTING PLAN - AREA A	LF033 LABORATORY FURNISHINGS OVERALL FLOOR PLAN - LEVEL 3
C510 STRUCTURE SCHEDULE AND STORM SEWER DETAILS	A070 TYPICAL CEILING AND SOFFIT DETAILS	A413 WALL SECTIONS	M203A THIRD LEVEL PLUMBING PLAN A	E204B FOURTH FLOOR LIGHTING PLAN - AREA B	LF034 LABORATORY FURNISHINGS ENLARGED FLOOR PLAN - LEVEL 3
C520 STORM WATER MANAGEMENT DETAILS	A071 TYPICAL CEILING AND SOFFIT DETAILS	A414 TYPICAL EXTERIOR CONSTRUCTION TYPES	M203B THIRD LEVEL PLUMBING PLAN B	E300A BASEMENT LEVEL POWER PLAN - AREA A	LF035 LABORATORY FURNISHINGS ENLARGED FLOOR PLAN - LEVEL 3
C530 FOUNDATION DRAINAGE PLAN	A080 DOOR AND FRAME SCHEDULE	A415 EXTERIOR DETAILS	M203C THIRD LEVEL PLUMBING PLAN C	E301A FIRST LEVEL POWER PLAN - AREA A	LF036 LABORATORY FURNISHINGS OVERALL FLOOR PLAN - LEVEL 4
C600 DOOR AND FRAME SCHEDULE	A081 DOOR AND FRAME DETAILS	A416 EXTERIOR DETAILS	M204A FOURTH LEVEL PLUMBING PLAN A	E301B FIRST LEVEL POWER PLAN - AREA B	LF037 LABORATORY FURNISHINGS ENLARGED FLOOR PLAN - LEVEL 4
C601 SITE DETAILS	A082 DOOR AND FRAME DETAILS	A417 EXTERIOR DETAILS	M204B FOURTH LEVEL PLUMBING PLAN B	E301C FIRST LEVEL POWER PLAN - AREA C	LF038 LABORATORY FURNISHINGS OVERALL FLOOR PLAN - LEVEL 4
C602 SITE DETAILS	A090 ROOM FINISH SCHEDULE - BASEMENT AND FIRST LEVELS	A418 EXTERIOR DETAILS	M204C BASEMENT LEVEL HVAC PLAN A	E302A SECOND LEVEL POWER PLAN - AREA A	LF039 LABORATORY FURNISHINGS ENLARGED FLOOR PLAN - LEVEL 4
C603 SITE DETAILS	A091 ROOM FINISH SCHEDULE - THIRD AND FOURTH LEVELS	A419 EXTERIOR DETAILS	M204B FIRST LEVEL HVAC PLAN A	E302B SECOND LEVEL POWER PLAN - AREA B	LF040 LABORATORY FURNISHINGS ENLARGED FLOOR PLAN - LEVEL 4
C604 SITE DETAILS	A092 ROOM FINISH SCHEDULE - SECOND LEVEL	A420 SINGLE PLY ROOF DETAILS	M204C FIRST LEVEL HVAC PLAN B	E302C SECOND LEVEL POWER PLAN - AREA C	LF041 LABORATORY FURNISHINGS ELEVATIONS
C605 SITE DETAILS	A093 ROOM FINISH SCHEDULE - BASEMENT AND FIRST LEVELS	A421 ROOF DETAILS	M204D SECOND LEVEL HVAC PLAN A	E303A THIRD LEVEL POWER PLAN - AREA A	LF042 LABORATORY FURNISHINGS ELEVATIONS
C606 SITE DETAILS	A094 FOUNDATION & BASEMENT LEVEL FLOOR PLAN AREA A	A422 ENLARGED STAIR DETAILS	M204E SECOND LEVEL HVAC PLAN B	E303B THIRD LEVEL POWER PLAN - AREA B	LF043 LABORATORY FURNISHINGS ELEVATIONS
C607 SITE DETAILS	A095 FOUNDATION & BASEMENT LEVEL FLOOR PLAN AREA B	A423 ENLARGED STAIR PLANS AND SECTIONS	M204F THIRD LEVEL HVAC PLAN A	E303C THIRD LEVEL POWER PLAN - AREA C	LF044 LABORATORY FURNISHINGS ELEVATIONS
C608 SITE DETAILS	A096 FOUNDATION & BASEMENT LEVEL FLOOR PLAN AREA C	A424 ENLARGED ELEVATOR PLANS AND SECTIONS	M204G FOURTH LEVEL HVAC PLAN A	E304A FOURTH LEVEL POWER PLAN - AREA A	LF045 LABORATORY FURNISHINGS ELEVATIONS
C609 SITE DETAILS	A097 FIRST LEVEL FLOOR PLAN AREA A	A425 TYPICAL MOUNTING HEIGHTS	M204H FOURTH LEVEL HVAC PLAN B	E400A BASEMENT LEVEL SYSTEMS PLAN - AREA A	LF046 LABORATORY FURNISHINGS ELEVATIONS
C610 SITE DETAILS	A098 FIRST LEVEL FLOOR PLAN AREA B	A426 DESIGN GUIDE - MOUNTING HEIGHTS	M204I ROOF LEVEL HVAC PLAN A	E401A FIRST LEVEL SYSTEMS PLAN - AREA A	LF047 LABORATORY FURNISHINGS ELEVATIONS
C611 SITE DETAILS	A099 FIRST LEVEL FLOOR PLAN AREA C	A427 CASEWORK ELEVATIONS	M204J ROOF LEVEL HVAC PLAN B	E401B FIRST LEVEL SYSTEMS PLAN - AREA B	LF048 LABORATORY FURNISHINGS ELEVATIONS
C612 SITE DETAILS	A100 SECOND LEVEL FLOOR PLAN OVERALL	A428 CASEWORK ELEVATIONS	M204K ROOF LEVEL HVAC PLAN A	E401C FIRST LEVEL SYSTEMS PLAN - AREA C	LF049 LABORATORY FURNISHINGS DETAILS
C613 SITE DETAILS	A101A SECOND LEVEL FLOOR PLAN AREA A	A429 CORRIDOR - INTERIOR ELEVATIONS	M204L ROOF LEVEL HVAC PLAN B	E402A SECOND LEVEL SYSTEMS PLAN - AREA A	LF050 LABORATORY FURNISHINGS DETAILS
C614 SITE DETAILS	A101B SECOND LEVEL FLOOR PLAN AREA B	A430 TOLLET ROOMS - ENLARGED PLANS & ELEVATIONS	M204M BASEMENT LEVEL PIPING PLAN A	E402B SECOND LEVEL SYSTEMS PLAN - AREA B	LF051 LABORATORY FURNISHINGS DETAILS
C615 SITE DETAILS	A101C SECOND LEVEL FLOOR PLAN AREA C	A431 SKYWAY - ENLARGED PLANS & RCP'S	M204N FIRST LEVEL PIPING PLAN A	E402C THIRD LEVEL SYSTEMS PLAN - AREA A	LF052 LABORATORY FURNISHINGS DETAILS
C616 SITE DETAILS	A102A THIRD LEVEL FLOOR PLAN OVERALL	A432 SKYWAY - ELEVATIONS, SECTIONS & DETAILS	M204O SECOND LEVEL PIPING PLAN B	E402D THIRD LEVEL SYSTEMS PLAN - AREA B	LF053 LABORATORY FURNISHINGS DETAILS
C617 SITE DETAILS	A102B THIRD LEVEL FLOOR PLAN AREA A	A433 TYPICAL ARCHITECTURAL CASEWORK DETAILS	M204P SECOND LEVEL PIPING PLAN C	E403A THIRD LEVEL SYSTEMS PLAN - AREA A	LF054 LABORATORY FURNISHINGS DETAILS
C618 SITE DETAILS	A102C THIRD LEVEL FLOOR PLAN AREA B		M204Q THIRD LEVEL PIPING PLAN A	E403B THIRD LEVEL SYSTEMS PLAN - AREA B	LF055 LABORATORY FURNISHINGS DETAILS
C619 SITE DETAILS	A102D THIRD LEVEL FLOOR PLAN AREA C		M204R THIRD LEVEL PIPING PLAN B	E403C THIRD LEVEL SYSTEMS PLAN - AREA C	LF056 LABORATORY FURNISHINGS DETAILS
C620 SITE DETAILS	A103A FOURTH LEVEL FLOOR PLAN OVERALL		M204S THIRD LEVEL PIPING PLAN C	E404A FOURTH LEVEL SYSTEMS PLAN - AREA A	LF057 LABORATORY FURNISHINGS DETAILS
C621 SITE DETAILS	A103B FOURTH LEVEL FLOOR PLAN AREA A		M204T FOURTH LEVEL PIPING PLAN A	E404B FOURTH LEVEL SYSTEMS PLAN - AREA B	LF058 LABORATORY FURNISHINGS DETAILS
C622 SITE DETAILS	A103C FOURTH LEVEL FLOOR PLAN AREA B		M204U FOURTH LEVEL PIPING PLAN B	E500 LIGHT FIXTURE SCHEDULE	
C623 SITE DETAILS	A103D FOURTH LEVEL FLOOR PLAN AREA C		M204V FOURTH LEVEL PIPING PLAN C	E501 LIGHT FIXTURE SCHEDULE	
C624 SITE DETAILS	A104A ROOF PLAN OVERALL		M204W ROOF LEVEL PIPING PLAN A	E502 PANEL SCHEDULES	
C625 SITE DETAILS	A104B AREA A & SKYWAY ROOF PLANS		M204X ROOF LEVEL PIPING PLAN B	E503 PANEL SCHEDULES	
C626 SITE DETAILS	A104C ROOF PLAN AREA B		M204Y ROOF LEVEL PIPING PLAN C	E504 MOTOR AND EQUIPMENT SCHEDULE	
C627 SITE DETAILS	A104D ROOF PLAN AREA C		M204Z ROOF LEVEL PIPING PLAN A	E505 MOTOR AND EQUIPMENT SCHEDULE	
C628 SITE DETAILS	A105A BASEMENT LEVEL FINISH PLAN AREA A		M204A ROOF LEVEL PIPING PLAN B	E600 ELECTRICAL RISER DIAGRAM	
C629 SITE DETAILS	A105B FIRST LEVEL FINISH PLAN AREA A		M204B ROOF LEVEL PIPING PLAN C		
C630 SITE DETAILS	A105C FIRST LEVEL FINISH PLAN AREA B		M204C ROOF LEVEL PIPING PLAN A		
C631 SITE DETAILS	A105D FIRST LEVEL FINISH PLAN AREA C		M204D ROOF LEVEL PIPING PLAN B		
C632 SITE DETAILS	A105E SECOND LEVEL FINISH PLAN AREA A		M204E ROOF LEVEL PIPING PLAN C		
C633 SITE DETAILS	A105F SECOND LEVEL FINISH PLAN AREA B		M204F ROOF LEVEL PIPING PLAN A		
C634 SITE DETAILS	A105G SECOND LEVEL FINISH PLAN AREA C		M204G ROOF LEVEL PIPING PLAN B		
C635 SITE DETAILS	A105H THIRD LEVEL FINISH PLAN AREA A		M204H ROOF LEVEL PIPING PLAN C		
C636 SITE DETAILS	A105I THIRD LEVEL FINISH PLAN AREA B		M204I ROOF LEVEL PIPING PLAN A		
C637 SITE DETAILS	A105J THIRD LEVEL FINISH PLAN AREA C		M204J ROOF LEVEL PIPING PLAN B		
C638 SITE DETAILS	A105K FOURTH LEVEL FINISH PLAN OVERALL		M204K ROOF LEVEL PIPING PLAN C		
C639 SITE DETAILS	A105L FIRST LEVEL REFLECTED CEILING PLAN OVERALL		M204L ROOF LEVEL PIPING PLAN A		
C640 SITE DETAILS	A105M SECOND LEVEL REFLECTED CEILING PLAN OVERALL		M204M ROOF LEVEL PIPING PLAN B		
C641 SITE DETAILS	A105N THIRD LEVEL REFLECTED CEILING PLAN OVERALL		M204N ROOF LEVEL PIPING PLAN C		
C642 SITE DETAILS	A105O FOURTH LEVEL REFLECTED CEILING PLAN OVERALL		M204O ROOF LEVEL PIPING PLAN A		
C643 SITE DETAILS	A105P ROOF FRAMING PLAN AREA A		M204P ROOF LEVEL PIPING PLAN B		
C644 SITE DETAILS	A105Q ROOF FRAMING PLAN AREA B		M204Q ROOF LEVEL PIPING PLAN C		
C645 SITE DETAILS	A105R ROOF FRAMING PLAN AREA C		M204R ROOF LEVEL PIPING PLAN A		
C646 SITE DETAILS	A105S FIRST LEVEL REFLECTED CEILING PLAN AREA B		M204S ROOF LEVEL PIPING PLAN B		
C647 SITE DETAILS	A105T SECOND LEVEL REFLECTED CEILING PLAN AREA B		M204T ROOF LEVEL PIPING PLAN C		
C648 SITE DETAILS	A105U SECOND LEVEL REFLECTED CEILING PLAN OVERALL		M204U ROOF LEVEL PIPING PLAN A		
C649 SITE DETAILS	A105V SECOND LEVEL REFLECTED CEILING PLAN OVERALL		M204V ROOF LEVEL PIPING PLAN B		
C650 SITE DETAILS	A105W SECOND LEVEL REFLECTED CEILING PLAN OVERALL		M204W ROOF LEVEL PIPING PLAN C		
C651 SITE DETAILS	A105X SECOND LEVEL REFLECTED CEILING PLAN AREA B		M204X ROOF LEVEL PIPING PLAN A		
C652 SITE DETAILS	A105Y SECOND LEVEL REFLECTED CEILING PLAN AREA C		M204Y ROOF LEVEL PIPING PLAN B		
C653 SITE DETAILS	A105Z THIRD LEVEL REFLECTED CEILING PLAN OVERALL		M204Z ROOF LEVEL PIPING PLAN C		
C654 SITE DETAILS	A105A SKYWAY FRAMING PLAN AREA A		M204A ROOF LEVEL PIPING PLAN A		
C655 SITE DETAILS	A105B SKYWAY FRAMING PLAN AREA B		M204B ROOF LEVEL PIPING PLAN B		
C656 SITE DETAILS	A105C SKYWAY FRAMING PLAN AREA C		M204C ROOF LEVEL PIPING PLAN C		
C657 SITE DETAILS	A105D SKYWAY FRAMING PLAN AREA A		M204D ROOF LEVEL PIPING PLAN A		
C658 SITE DETAILS	A105E SKYWAY FRAMING PLAN AREA B		M204E ROOF LEVEL PIPING PLAN B		
C659 SITE DETAILS	A105F SKYWAY FRAMING PLAN AREA C		M204F ROOF LEVEL PIPING PLAN C		
C660 SITE DETAILS	A105G SKYWAY FRAMING PLAN AREA A		M204G ROOF LEVEL PIPING PLAN A		
C661 SITE DETAILS	A105H SKYWAY FRAMING PLAN AREA B		M204H ROOF LEVEL PIPING PLAN B		
C662 SITE DETAILS	A105I SKYWAY FRAMING PLAN AREA C		M204I ROOF LEVEL PIPING PLAN C		
C663 SITE DETAILS	A105J SKYWAY FRAMING PLAN AREA A		M204J ROOF LEVEL PIPING PLAN A		
C664 SITE DETAILS	A105K SKYWAY FRAMING PLAN AREA B		M204K ROOF LEVEL PIPING PLAN B		
C665 SITE DETAILS	A105L SKYWAY FRAMING PLAN AREA C		M204L ROOF LEVEL PIPING PLAN C		
C666 SITE DETAILS	A105M SKYWAY FRAMING PLAN AREA A		M204M ROOF LEVEL PIPING PLAN A		
C667 SITE DETAILS	A105N SKYWAY FRAMING PLAN AREA B		M204N ROOF LEVEL PIPING PLAN B		
C668 SITE DETAILS	A105O SKYWAY FRAMING PLAN AREA C		M204O ROOF LEVEL PIPING PLAN C		
C669 SITE DETAILS	A105P SKYWAY FRAMING PLAN AREA A		M204P ROOF LEVEL PIPING PLAN A		
C670 SITE DETAILS	A105Q SKYWAY FRAMING PLAN AREA B		M204Q ROOF LEVEL PIPING PLAN B		
C671 SITE DETAILS	A105R SKYWAY FRAMING PLAN AREA C		M204R ROOF LEVEL PIPING PLAN C		
C672 SITE DETAILS	A105S SKYWAY FRAMING PLAN AREA A		M204S ROOF LEVEL PIPING PLAN A		
C673 SITE DETAILS	A105T SKYWAY FRAMING PLAN AREA B		M204T ROOF LEVEL PIPING PLAN B		
C674 SITE DETAILS	A105U SKYWAY FRAMING PLAN AREA C		M204U ROOF LEVEL PIPING PLAN C		
C675 SITE DETAILS	A105V SKYWAY FRAMING PLAN AREA A		M204V ROOF LEVEL PIPING PLAN A		
C676 SITE DETAILS	A105W SKYWAY FRAMING PLAN AREA B		M204W ROOF LEVEL PIPING PLAN B		
C677 SITE DETAILS	A105X SKYWAY FRAMING PLAN AREA C		M204X ROOF LEVEL PIPING PLAN C		
C678 SITE DETAILS	A105Y SKYWAY FRAMING PLAN AREA A		M204Y ROOF LEVEL PIPING PLAN A		
C679 SITE DETAILS	A105Z SKYWAY FRAMING PLAN AREA B		M204Z ROOF LEVEL PIPING PLAN B		
C680 SITE DETAILS	A105A SKYWAY FRAMING PLAN AREA C		M204A ROOF LEVEL PIPING PLAN C		
C681 SITE DETAILS	A105B SKYWAY FRAMING PLAN AREA A		M204B ROOF LEVEL PIPING PLAN A		
C682 SITE DETAILS	A105C SKYWAY FRAMING PLAN AREA B		M204C ROOF LEVEL PIPING PLAN B		
C683 SITE DETAILS	A105D SKYWAY FRAMING PLAN AREA C		M204D ROOF LEVEL PIPING PLAN C		
C684 SITE DETAILS	A105E SKYWAY FRAMING PLAN AREA A		M204E ROOF LEVEL PIPING PLAN A		
C685 SITE DETAILS	A105F SKYWAY FRAMING PLAN AREA B		M204F ROOF LEVEL PIPING PLAN B		
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C689 SITE DETAILS	A105J SKYWAY FRAMING PLAN AREA C		M204J ROOF LEVEL PIPING PLAN C		
C690 SITE DETAILS	A105K SKYWAY FRAMING PLAN AREA A		M204K ROOF LEVEL PIPING PLAN A		
C691 SITE DETAILS	A105L SKYWAY FRAMING PLAN AREA B		M204L ROOF LEVEL PIPING PLAN B		
C692 SITE DETAILS	A105M SKYWAY FRAMING PLAN AREA C		M204M ROOF LEVEL PIPING PLAN C		
C693 SITE DETAILS	A105N SKYWAY FRAMING PLAN AREA A		M204N ROOF LEVEL PIPING PLAN A		
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C695 SITE DETAILS	A105P SKYWAY FRAMING PLAN AREA C		M204P ROOF LEVEL PIPING PLAN C		
C696 SITE DETAILS	A105Q SKYWAY FRAMING PLAN AREA A		M204Q ROOF LEVEL PIPING PLAN A		
C697 SITE DETAILS	A105R SKYWAY FRAMING PLAN AREA B		M204R ROOF LEVEL PIPING PLAN B		
C698 SITE DETAILS	A105S SKYWAY FRAMING PLAN AREA C		M204S ROOF LEVEL PIPING PLAN C		
C699 SITE DETAILS	A105T SKYWAY FRAMING PLAN AREA A		M204T ROOF LEVEL PIPING PLAN A		
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C701 SITE DETAILS	A105V SKYWAY FRAMING PLAN AREA C		M204V ROOF LEVEL PIPING PLAN C		
C702 SITE DETAILS	A105W SKYWAY FRAMING PLAN AREA A		M204W ROOF LEVEL PIPING PLAN A		
C703 SITE DETAILS	A105X SKYWAY FRAMING PLAN AREA B		M204X ROOF LEVEL PIPING PLAN B		
C704 SITE DETAILS	A105Y SKYWAY FRAMING PLAN AREA C		M204Y ROOF LEVEL PIPING PLAN C		
C705 SITE DETAILS	A105Z SKYWAY FRAMING PLAN AREA A		M204Z ROOF LEVEL PIPING PLAN A		
C706 SITE DETAILS	A105A SKYWAY FRAMING PLAN AREA B		M204A ROOF LEVEL PIPING PLAN B		
C707 SITE DETAILS	A105B SKYWAY FRAMING PLAN AREA C		M204B ROOF LEVEL PIPING PLAN C		
C708 SITE DETAILS	A105C SKYWAY FRAMING PLAN AREA A		M204C ROOF LEVEL PIPING PLAN A		
C709 SITE DETAILS	A105D SKYWAY FRAMING PLAN AREA B		M204D ROOF LEVEL PIPING PLAN B		
C710 SITE DETAILS	A105E SKYWAY FRAMING PLAN AREA C		M204E ROOF LEVEL PIPING PLAN C		
C711 SITE DETAILS	A105F SKYWAY FRAMING PLAN AREA A		M204F ROOF LEVEL PIPING PLAN A		
C712 SITE DETAILS	A105G SKYWAY FRAMING PLAN AREA B		M204G ROOF LEVEL PIPING PLAN B		
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C714 SITE DETAILS	A105I SKYWAY FRAMING PLAN AREA A		M204I ROOF LEVEL PIPING PLAN A		
C715 SITE DETAILS	A105J SKYWAY FRAMING PLAN AREA B		M204J ROOF LEVEL PIPING PLAN B		
C716 SITE DETAILS	A105K SKYWAY FRAMING PLAN AREA C		M204K ROOF LEVEL PIPING PLAN C		
C717 SITE DETAILS	A105L SKYWAY FRAMING PLAN AREA A		M204L ROOF LEVEL PIPING PLAN A		
C718 SITE DETAILS	A105M SKYWAY FRAMING PLAN AREA B		M204M ROOF LEVEL PIPING PLAN B		
C719 SITE DETAILS	A105N SKYWAY FRAMING PLAN AREA C		M204N ROOF LEVEL PIPING PLAN C		
C720 SITE DETAILS	A105O SKYWAY FRAMING PLAN AREA A		M204O ROOF LEVEL PIPING PLAN A		
C721 SITE DETAILS	A105P SKYWAY FRAMING PLAN AREA B		M204P ROOF LEVEL PIPING PLAN B		
C722 SITE DETAILS	A105Q SKYWAY FRAMING PLAN AREA C		M204Q ROOF LEVEL PIPING PLAN C		

1

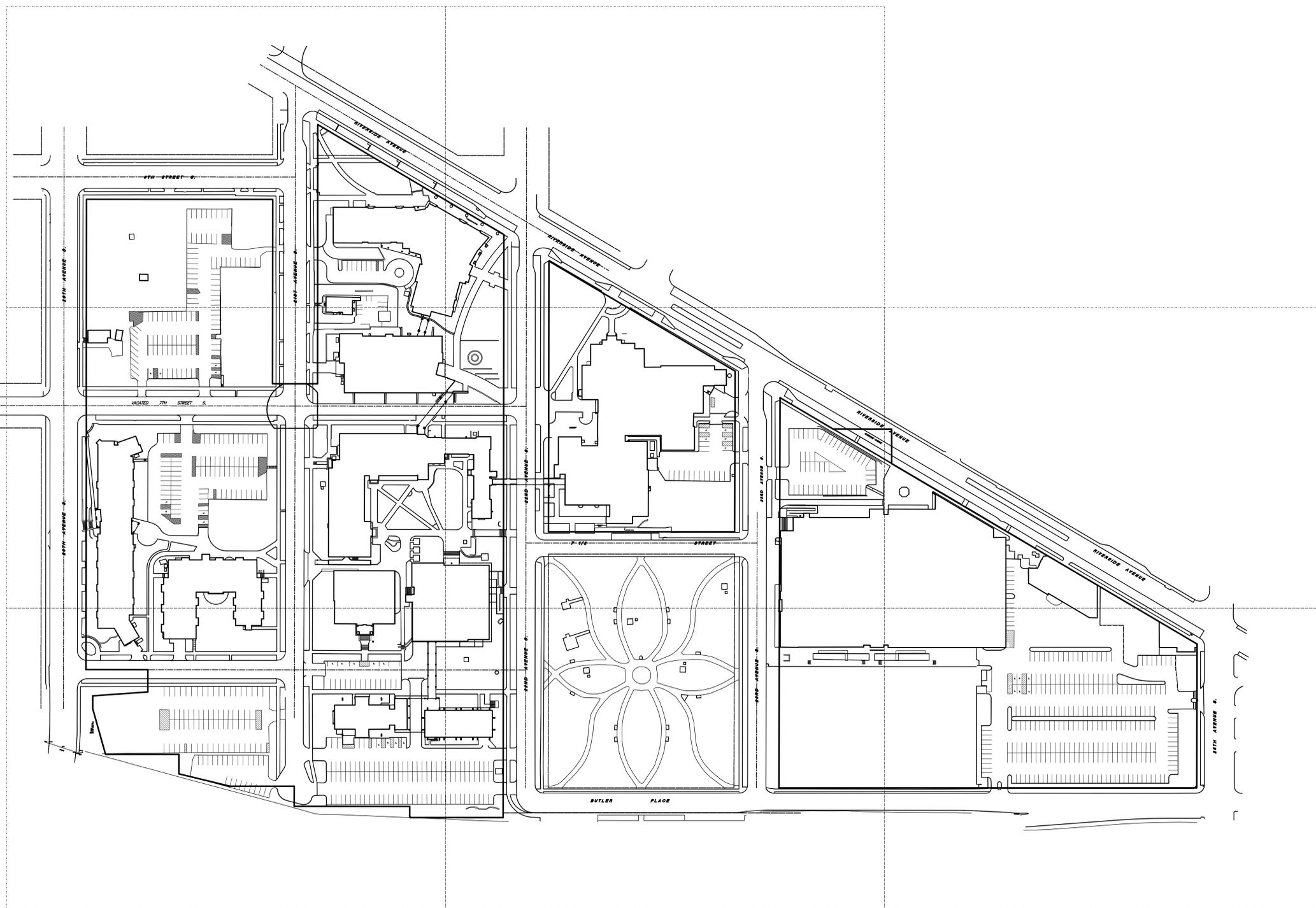
2

3

A

B

C



I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Dated this 4th day of January, 2016

SUNDE LAND SURVEYING, LLC.

By: *Mark S. Hanson*
 Mark S. Hanson, P.L.S. Minn. Lic. No. 15480

MASTER SHEET

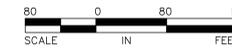
Overall campus	SMT	01/04/2016
Added Murphy Park	BMS	05/04/2010
Revision	By:	Date
Survey originally dated April 28, 2009	BMS	

Drawing Title:
**BOUNDARY, LOCATION, TOPOGRAPHIC
 and UTILITY SURVEY FOR:
 AUGSBURG COLLEGE**
 2211 Riverside Avenue, Minneapolis, MN

SUNDE LAND SURVEYING
 www.sunde.com

Main Office: 9001 East Bloomington Freeway (35W) • Suite 118
 Bloomington, Minnesota 55420-3435
 952-881-2455 (Fax: 952-888-9026)
 West Office: Mandan, North Dakota 58501-663-5562

Project: 2009-031-2015_Bk/Pg: 906/1	Date: 01/04/2016
Township: 29 Range: 24 Section: 25	Sheet: 1 of 10
File: Augsburg_All 2015.dwg	



A:\2009\2009-031-2015\Augsburg.dwg 1/7/2016 9:21:33 PM CST

GENERAL NOTES

- Survey coordinate and bearing basis: Hennepin County Coordinates
- Resolution 93R-509, Doc. Nos. 6318520 (A) and 2537167 (T), appears to vacate 21st Avenue South southerly of the north line of the plat of MURPHY'S ADDITION TO THE TOWN OF MINNEAPOLIS. It also appears that both the City of Minneapolis and Hennepin County believe that 21st Avenue South is vacated to the easterly extension of the north line of Block 199, TOWN OF MINNEAPOLIS. It is this surveyor's opinion that 21st Avenue South be vacated again in order to clear up this discrepancy.
- The City of Minneapolis reserved a public street easement within a circle in the intersection of vacated 21st Avenue South and vacated 7th Street South in Resolution 2009R-239, Doc. No. 9375782. The full circle does not appear to be covered by this reservation. It is this surveyor's opinion that a document creating an easement over the full circle be recorded.

UTILITY NOTES

- Utility information from plans and markings was combined with observed evidence of utilities to develop a view of the underground utilities shown hereon. However, lacking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. Where additional or more detailed information is required, excavation may be necessary.
- Other underground utilities of which we are unaware may exist. Verify all utilities critical to construction or design.
- Some underground utility locations are shown as marked onsite by those utility companies whose locators responded to our Gopher State One Call, ticket numbers 152950454, 152950448, 152950464, 152950475, 152950518, 152950532, 152950580, 153142174, 153142183, 153142184, 153142187, 153142188, 153142189 and 15142190.
- Contact GOPHER STATE ONE CALL at 651-454-0002 (800-252-1166) for precise onsite location of utilities prior to any excavation.
- Some private utilities are shown as marked by Hance Locating Services, Inc. and located by Sunde Land Surveying, LLC on November 30, 2015. Private utilities are those utilities installed for the use of their owner, typically by someone other than a Gopher State One Call registered utility operator.

AREAS

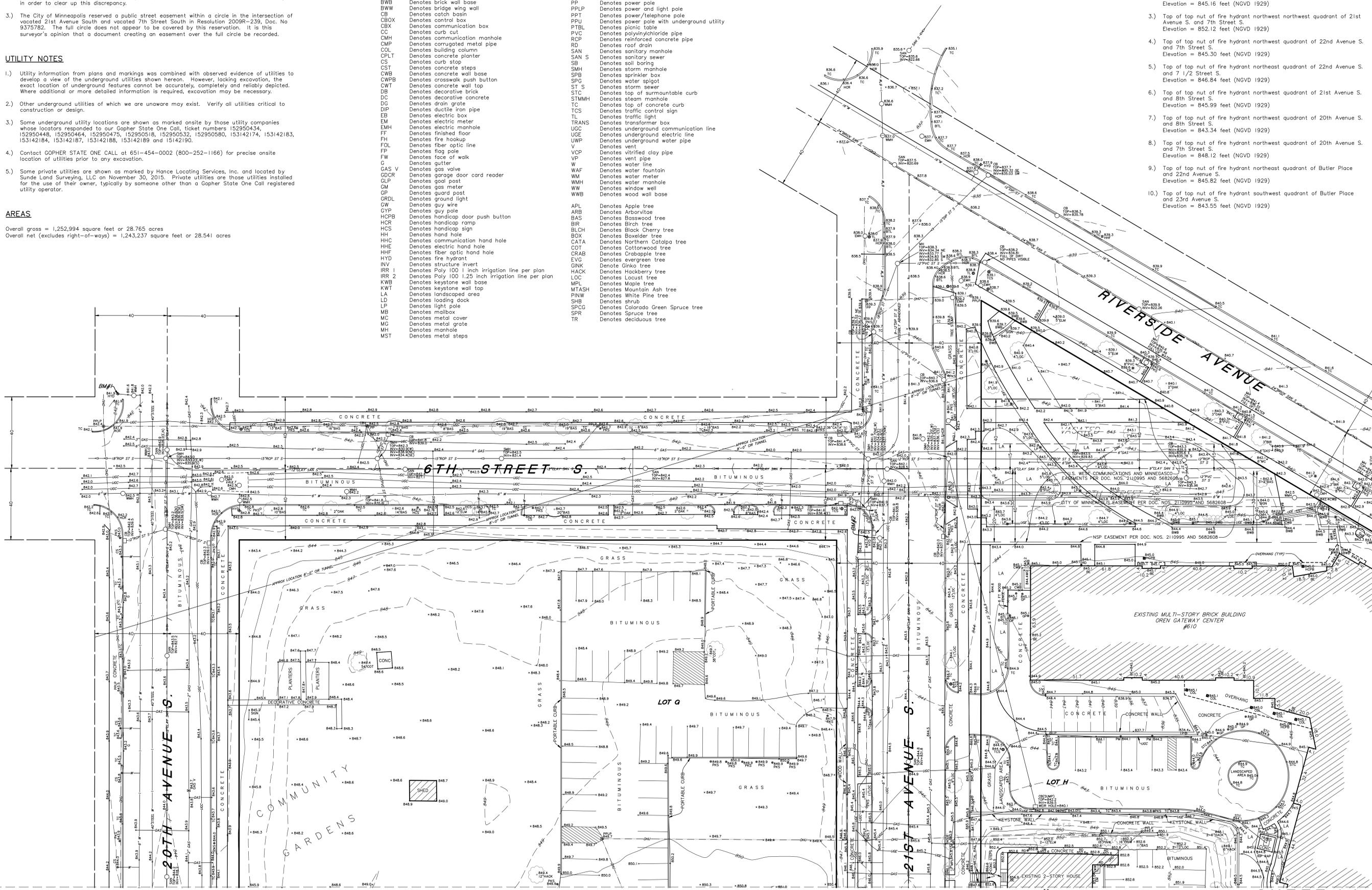
Overall gross = 1,252,994 square feet or 28.765 acres
 Overall net (excludes right-of-ways) = 1,243,237 square feet or 28.541 acres

LEGEND

AC	Denotes air conditioner	OD	Denotes overhead door
AGP	Denotes above ground pipe	OHC	Denotes overhead communication line
BH	Denotes basketball hoop	OHU	Denotes overhead utility line
BBO	Denotes barbecue	OPC	Denotes outdoor power center
BE	Denotes building entrance	PEP	Denotes drive up phone
BH	Denotes beehive catch basin	PKS	Denotes polyethylene pipe
BR	Denotes brick wall base	PM	Denotes parking meter and/or pay station
BTL	Denotes beaver tail curb	PP	Denotes power pole
BWB	Denotes brick wall base	PPLP	Denotes power and light pole
BWW	Denotes bridge wing wall	PPT	Denotes power/telephone pole
CB	Denotes catch basin	PPU	Denotes power pole with underground utility
CBX	Denotes control box	PTBL	Denotes picnic table
CBX	Denotes communication box	PVC	Denotes polyvinylchloride pipe
CC	Denotes curb cut	RCR	Denotes reinforced concrete pipe
CMH	Denotes communication manhole	RD	Denotes roof drain
CMP	Denotes corrugated metal pipe	SAN	Denotes sanitary manhole
COL	Denotes building column	SAN S	Denotes sanitary sewer
CLPT	Denotes concrete planter	SB	Denotes soil boring
CS	Denotes curb stop	SMH	Denotes storm manhole
CST	Denotes concrete steps	SPB	Denotes sprinkler box
CWB	Denotes concrete wall base	SPG	Denotes water spigot
CWPB	Denotes crosswalk push button	ST	Denotes storm sewer
CWT	Denotes concrete wall top	STC	Denotes top of surmountable curb
DB	Denotes decorative brick	STMS	Denotes steam manhole
DC	Denotes decorative concrete	TC	Denotes top of concrete curb
DC	Denotes drain grate	TCS	Denotes traffic control sign
DIP	Denotes ductile iron pipe	TL	Denotes traffic light
EB	Denotes electric box	TRANS	Denotes transformer box
EM	Denotes electric meter	UCC	Denotes underground communication line
EMH	Denotes electric manhole	UGE	Denotes underground electric line
FF	Denotes finished floor	UWP	Denotes underground water pipe
FH	Denotes fire hookup	V	Denotes vent
FOL	Denotes fiber optic line	VCP	Denotes vented clay pipe
FP	Denotes flag pole	VP	Denotes vent pipe
FW	Denotes face of walk	W	Denotes water line
G	Denotes gutter	WAF	Denotes water fountain
GAS V	Denotes gas valve	WM	Denotes water meter
GDCR	Denotes garage door card reader	WMH	Denotes water manhole
GLP	Denotes goal post	WW	Denotes window well
GM	Denotes gas meter	WWB	Denotes wood wall base
GP	Denotes guard post		
GRDL	Denotes ground light	APL	Denotes Apple tree
GW	Denotes guy wire	ARB	Denotes Arborvitae
GYP	Denotes guy pole	BAS	Denotes Basswood tree
HCPB	Denotes handicap door push button	BIR	Denotes Birch tree
HCR	Denotes handicap ramp	BLCH	Denotes Black Cherry tree
HCS	Denotes handicap sign	BOX	Denotes Boxelder tree
HH	Denotes hand hole	CATA	Denotes Northern Catalpa tree
HHC	Denotes communication hand hole	COT	Denotes Cottonwood tree
HHE	Denotes electric hand hole	CRAB	Denotes Crabapple tree
HHF	Denotes fiber optic hand hole	EVG	Denotes evergreen tree
HYD	Denotes fire hydrant	GINK	Denotes Ginkgo tree
INV	Denotes structure invert	HACK	Denotes Hackberry tree
IRR 1	Denotes Poly 100 1 inch irrigation line per plan	LOC	Denotes Locust tree
IRR 2	Denotes Poly 100 1.25 inch irrigation line per plan	MPL	Denotes Maple tree
KWB	Denotes keystone wall base	MTSH	Denotes Mountain Ash tree
KWT	Denotes keystone wall top	PINW	Denotes White Pine tree
LA	Denotes landscaped area	SHB	Denotes shrub
LD	Denotes loading dock	SPOC	Denotes Colorado Green Spruce tree
LP	Denotes light pole	SPR	Denotes Spruce tree
MB	Denotes mailbox	TR	Denotes deciduous tree
MC	Denotes metal cover		
MG	Denotes metal grate		
MH	Denotes manhole		
MST	Denotes metal steps		

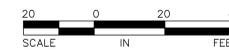
BENCH MARKS (BM)

- Top of top nut of fire hydrant northwest quadrant of 20th Avenue S. and 6th Street S. Elevation = 846.03 feet (NGVD 1929)
- Top of top nut of fire hydrant southwest quadrant of 21st Avenue S. and 6th Street S. Elevation = 845.16 feet (NGVD 1929)
- Top of top nut of fire hydrant northwest northwest quadrant of 21st Avenue S. and 7th Street S. Elevation = 852.12 feet (NGVD 1929)
- Top of top nut of fire hydrant northeast quadrant of 22nd Avenue S. and 7th Street S. Elevation = 845.30 feet (NGVD 1929)
- Top of top nut of fire hydrant northeast quadrant of 22nd Avenue S. and 7 1/2 Street S. Elevation = 846.84 feet (NGVD 1929)
- Top of top nut of fire hydrant northwest quadrant of 21st Avenue S. and 8th Street S. Elevation = 845.99 feet (NGVD 1929)
- Top of top nut of fire hydrant northwest quadrant of 20th Avenue S. and 8th Street S. Elevation = 843.34 feet (NGVD 1929)
- Top of top nut of fire hydrant northwest quadrant of 20th Avenue S. and 7th Street S. Elevation = 848.12 feet (NGVD 1929)
- Top of top nut of fire hydrant northeast quadrant of Butler Place and 22nd Avenue S. Elevation = 845.82 feet (NGVD 1929)
- Top of top nut of fire hydrant southwest quadrant of Butler Place and 23rd Avenue S. Elevation = 843.55 feet (NGVD 1929)



SEE SHEET 6

AUGSBURG COLLEGE



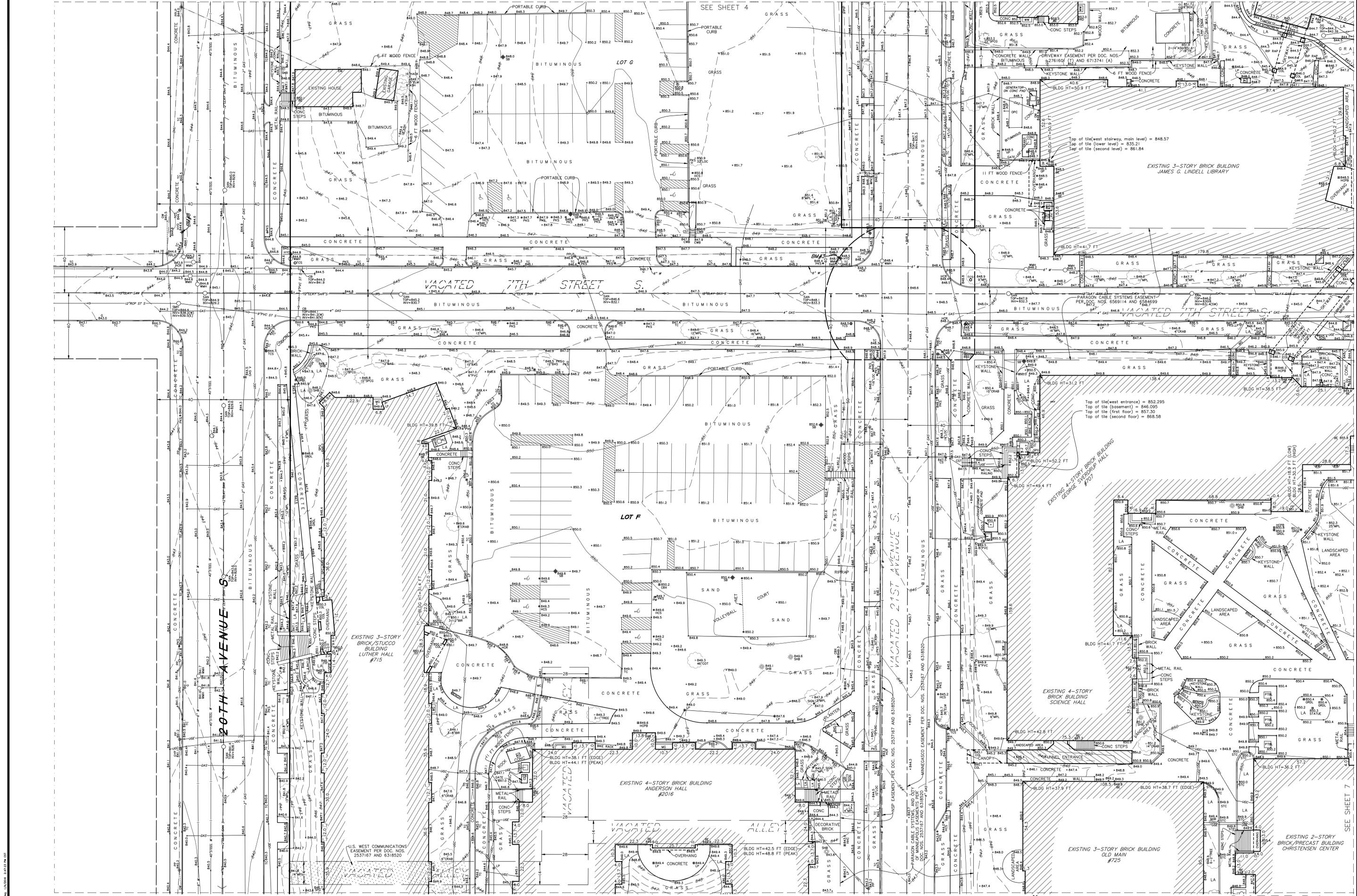
Dated this 4th day of January, 2016

Certified by: *Mark S. Hanson*
 Mark S. Hanson, P.L.S.
 Minn. Lic. No. 15480

SUNDE LAND SURVEYING
 9001 East Bloomington Freeway, (3M) Suite 118
 Bloomington, Minnesota 55420-3435
 952-881-2455 (Fax: 952-888-9526)
 North Office:
 Brooklyn Park, Minn. 763-784-9346

SHEET A-1

SEE SHEET 5

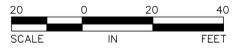


SEE SHEET 4

SEE SHEET 9

SEE SHEET 7

AUGSBURG COLLEGE



Dated this 4th day of January, 2016

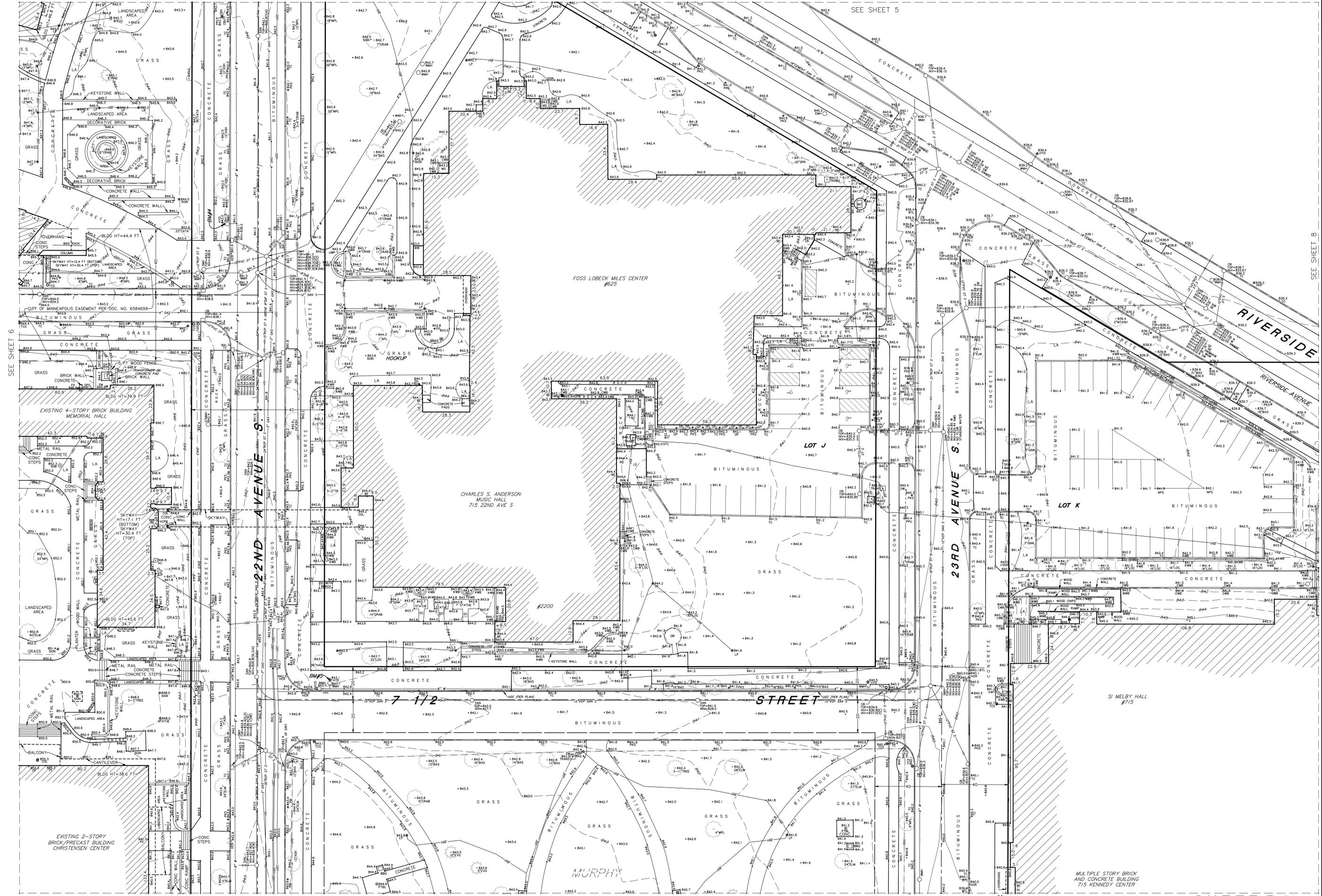
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 Minn. Lic. No. 15480

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 Brooklyn Park, Minn. 763-784-9346

SEE SHEET 5

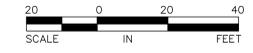
SEE SHEET 8



SEE SHEET 6

SEE SHEET 10

AUGSBURG COLLEGE



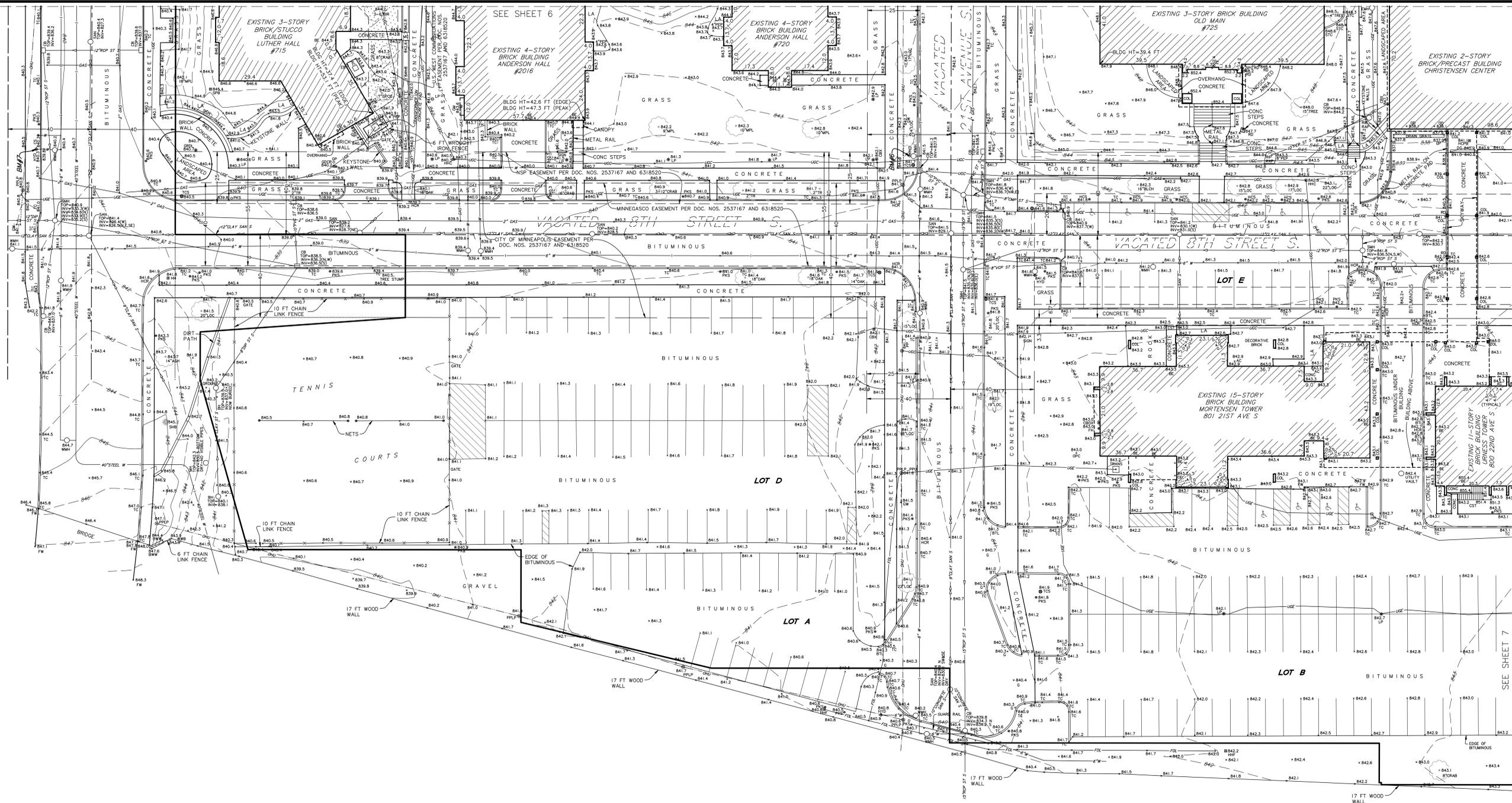
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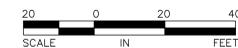
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AUGSBURG COLLEGE

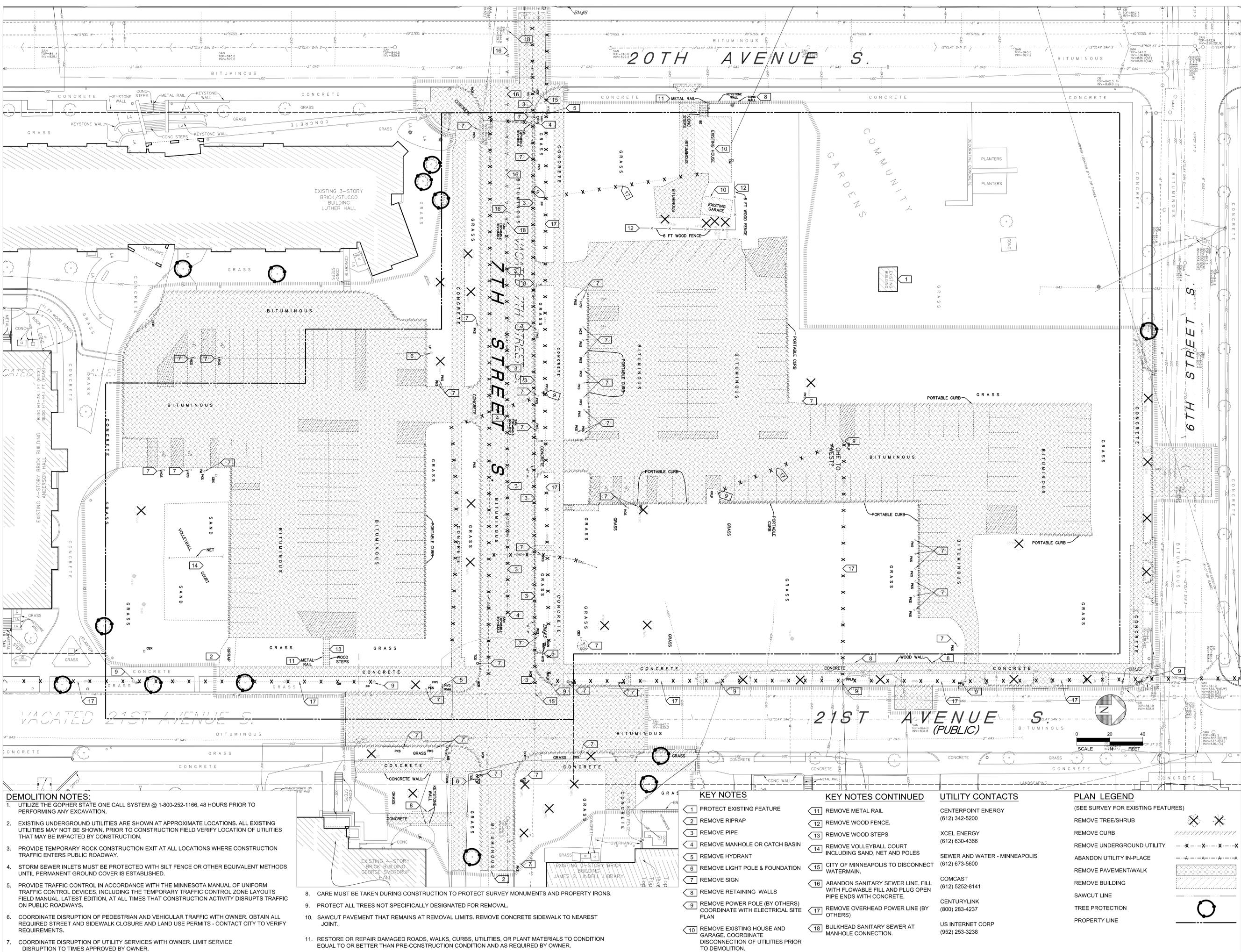


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SHEET C-1



- DEMOLITION NOTES:**
- UTILIZE THE GOPHER STATE ONE CALL SYSTEM @ 1-800-252-1166, 48 HOURS PRIOR TO PERFORMING ANY EXCAVATION.
 - EXISTING UNDERGROUND UTILITIES ARE SHOWN AT APPROXIMATE LOCATIONS. ALL EXISTING UTILITIES MAY NOT BE SHOWN. PRIOR TO CONSTRUCTION FIELD VERIFY LOCATION OF UTILITIES THAT MAY BE IMPACTED BY CONSTRUCTION.
 - PROVIDE TEMPORARY ROCK CONSTRUCTION EXIT AT ALL LOCATIONS WHERE CONSTRUCTION TRAFFIC ENTERS PUBLIC ROADWAY.
 - STORM SEWER INLETS MUST BE PROTECTED WITH SILT FENCE OR OTHER EQUIVALENT METHODS UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
 - PROVIDE TRAFFIC CONTROL IN ACCORDANCE WITH THE MINNESOTA MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, INCLUDING THE TEMPORARY TRAFFIC CONTROL ZONE LAYOUTS FIELD MANUAL, LATEST EDITION, AT ALL TIMES THAT CONSTRUCTION ACTIVITY DISRUPTS TRAFFIC ON PUBLIC ROADWAYS.
 - COORDINATE DISRUPTION OF PEDESTRIAN AND VEHICULAR TRAFFIC WITH OWNER. OBTAIN ALL REQUIRED STREET AND SIDEWALK CLOSURE AND LAND USE PERMITS - CONTACT CITY TO VERIFY REQUIREMENTS.
 - COORDINATE DISRUPTION OF UTILITY SERVICES WITH OWNER. LIMIT SERVICE DISRUPTION TO TIMES APPROVED BY OWNER.

- CARE MUST BE TAKEN DURING CONSTRUCTION TO PROTECT SURVEY MONUMENTS AND PROPERTY IRONS.
- PROTECT ALL TREES NOT SPECIFICALLY DESIGNATED FOR REMOVAL.
- SAWCUT PAVEMENT THAT REMAINS AT REMOVAL LIMITS. REMOVE CONCRETE SIDEWALK TO NEAREST JOINT.
- RESTORE OR REPAIR DAMAGED ROADS, WALKS, CURBS, UTILITIES, OR PLANT MATERIALS TO CONDITION EQUAL TO OR BETTER THAN PRE-CONSTRUCTION CONDITION AND AS REQUIRED BY OWNER.

- KEY NOTES**
- PROTECT EXISTING FEATURE
 - REMOVE RIPRAP
 - REMOVE PIPE
 - REMOVE MANHOLE OR CATCH BASIN
 - REMOVE HYDRANT
 - REMOVE LIGHT POLE & FOUNDATION
 - REMOVE SIGN
 - REMOVE RETAINING WALLS
 - REMOVE POWER POLE (BY OTHERS) COORDINATE WITH ELECTRICAL SITE PLAN
 - REMOVE EXISTING HOUSE AND GARAGE. COORDINATE DISCONNECTION OF UTILITIES PRIOR TO DEMOLITION.
- KEY NOTES CONTINUED**
- REMOVE METAL RAIL
 - REMOVE WOOD FENCE.
 - REMOVE WOOD STEPS
 - REMOVE VOLLEYBALL COURT INCLUDING SAND, NET AND POLES
 - CITY OF MINNEAPOLIS TO DISCONNECT WATERMAIN.
 - ABANDON SANITARY SEWER LINE. FILL WITH FLOWABLE FILL AND PLUG OPEN PIPE ENDS WITH CONCRETE.
 - REMOVE OVERHEAD POWER LINE (BY OTHERS)
 - BULKHEAD SANITARY SEWER AT MANHOLE CONNECTION.

- UTILITY CONTACTS**
- CENTERPOINT ENERGY (612) 342-5200
 - XCEL ENERGY (612) 630-4366
 - SEWER AND WATER - MINNEAPOLIS (612) 673-5600
 - COMCAST (612) 5252-8141
 - CENTURYLINK (800) 283-4237
 - US INTERNET CORP (952) 253-3238

- PLAN LEGEND**
(SEE SURVEY FOR EXISTING FEATURES)
- REMOVE TREE/SHRUB
 - REMOVE CURB
 - REMOVE UNDERGROUND UTILITY
 - ABANDON UTILITY IN-PLACE
 - REMOVE PAVEMENT/WALK
 - REMOVE BUILDING
 - SAWCUT LINE
 - TREE PROTECTION
 - PROPERTY LINE

SITE DEMOLITION PLAN

COMM. NO. 1826-029-00
SCALE AS SHOWN
DATE FEBRUARY 17, 2016

C200



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HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A QUALY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

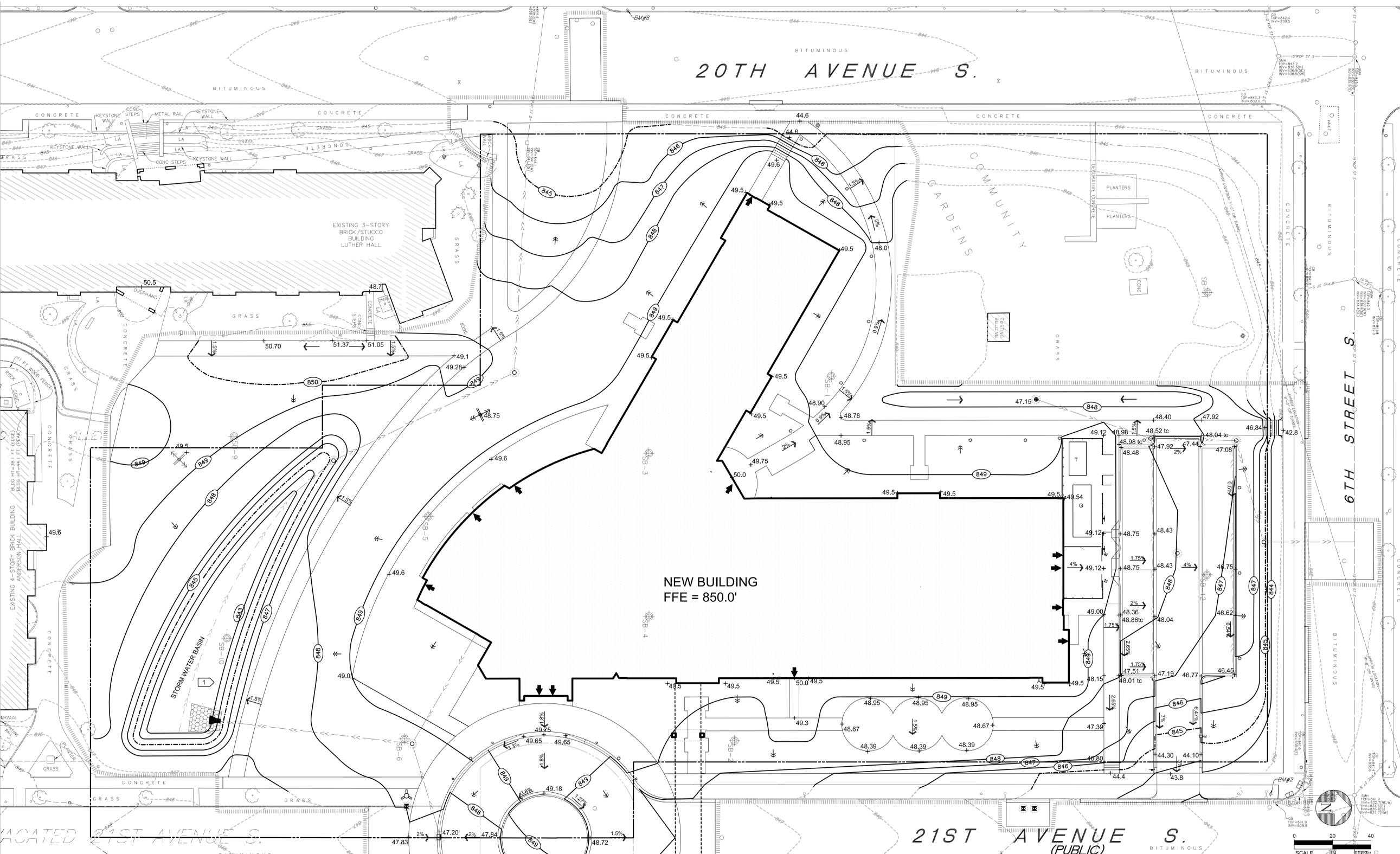
NOT FOR CONSTRUCTION

NO.	DESCRIPTION	DATE

FEBRUARY 17, 2016

LAND USE APPLICATION (LUA)

20TH AVENUE S.



- EARTHWORK NOTES:**
- SEE SPECIFICATION SECTION 310000 EARTHWORK.
 - UTILIZE THE GOPHER STATE ONE CALL SYSTEM AT 1-800-252-1166, 48 HOURS PRIOR TO PERFORMING ANY EXCAVATION.
 - FIELD VERIFY UTILITY LOCATIONS PRIOR TO CONSTRUCTION. UNDERGROUND UTILITIES ARE SHOWN AT APPROXIMATE LOCATIONS.
 - SEE SITE SURVEY FOR BENCHMARKS.
 - SPOT ELEVATIONS ARE TYPICALLY GIVEN AT FINISHED SURFACE. AT TOP OF CURB, ELEVATIONS ARE NOTED WITH A "TC".
 - THERE ARE NO NON STORMWATER DISCHARGES ON THIS SITE.

- KEY NOTES:**
- 1 INFILTRATION BASIN - SEE DETAIL 1/C502

PLAN LEGEND

DOOR / EXIT	➔
EXISTING INDEX CONTOUR	---
EXISTING CONTOUR	- - - -
EXISTING CONTOUR DISTURBED	- · - · -
PROPOSED CONTOUR	———
SPOT ELEVATION	1116
DRAINAGE ARROW	➔
DRAINAGE DIVIDE	↔
NEW MANHOLE	⊙
NEW DRAINAGE STRUCTURE	⊙
NEW HYDRANT	⊙
NEW GATE VALVE	⊙
SOIL BORING	SB-1
CONSTRUCTION LIMITS	▬▬▬▬▬

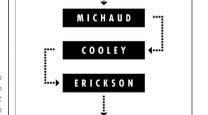
SITE GRADING AND DRAINAGE PLAN

COMM. NO. 1826-029-00
SCALE AS SHOWN
DATE FEBRUARY 17, 2016

C400



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FOR SCIENCE, BUSINESS,
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NOT FOR CONSTRUCTION

NO	DESCRIPTION	DATE

REVISION HISTORY - THIS SHEET

NO	DESCRIPTION	DATE

SCALE 1" = 20' FEET

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FEBRUARY 17, 2016

LAND USE APPLICATION (LUA)

NOT FOR CONSTRUCTION

NAME:
DATE:
REGISTRATION NUMBER:

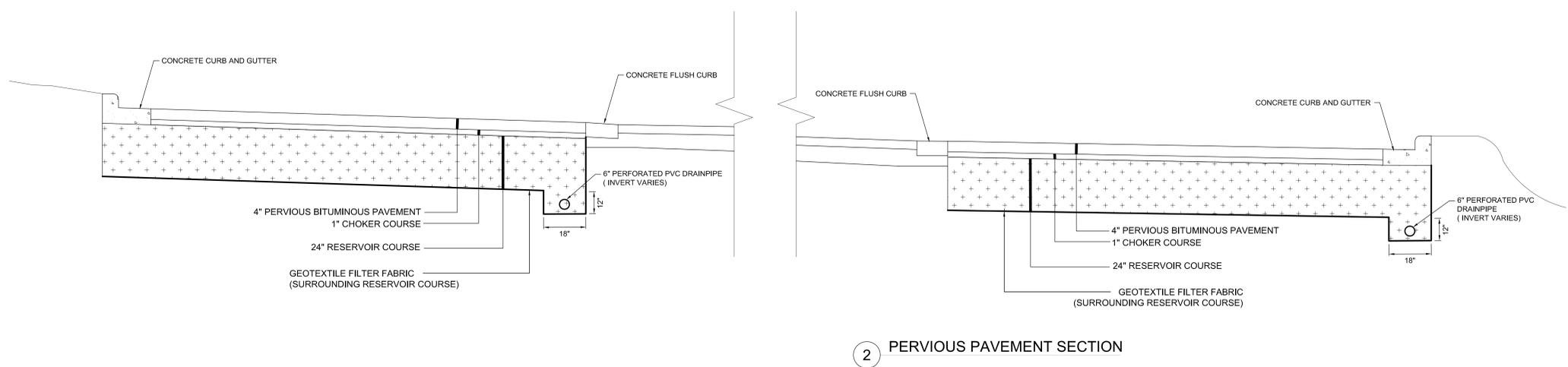
NO.	DESCRIPTION	DATE

REVISION HISTORY - THIS SHEET

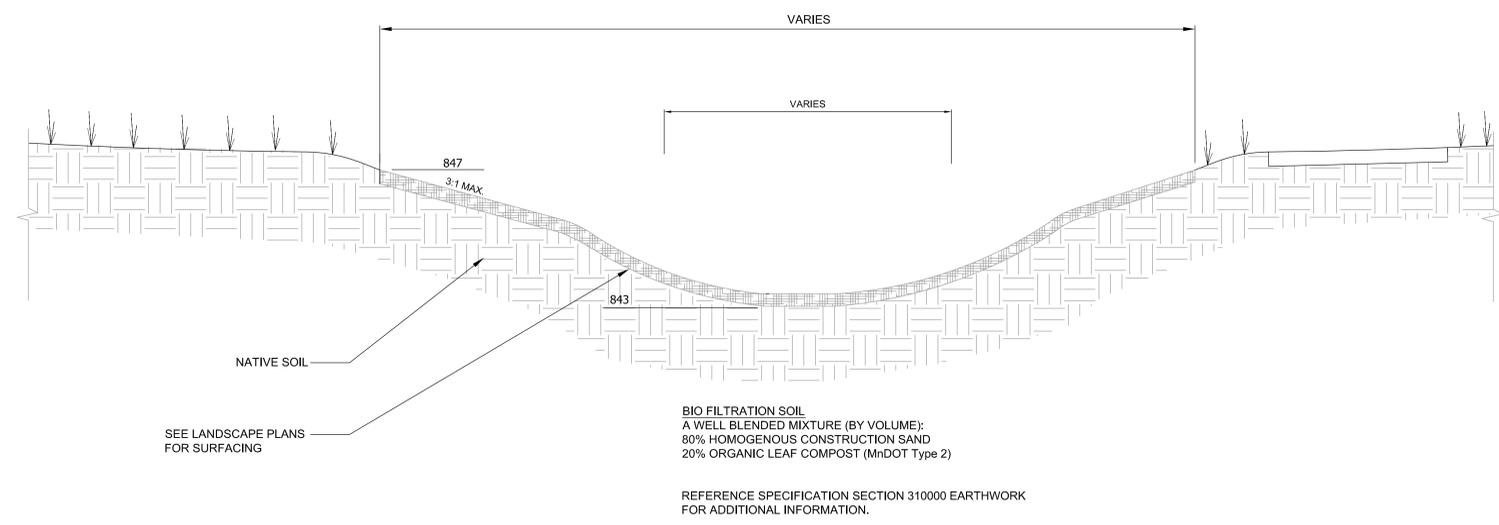
STORM WATER MANAGEMENT DETAILS

COMM. NO. 1826-029-00
SCALE AS SHOWN
DATE FEBRUARY 17, 2016

C502



2 PERVIOUS PAVEMENT SECTION



1 INFILTRATION BASIN

MEGALUGS OR APPROVED EQUAL
POLY AROUND THE PIPE IN CONCRETE
BEARING AREA
CONCRETE THRUST BLOCK
UNDISTURBED OR THOROUGHLY COMPACTED SOIL

THRUST AT FITTINGS AT 150 PSI WATER PRESSURE					
TOTAL POUNDS					
NOM. PIPE DIA. (IN.)	DEAD END OR TEE	90° BEND	45° BEND	22.5° BEND	11.5° BEND
6	5,609	7,932	4,293	2,189	1,100
8	9,650	13,646	7,385	3,785	1,892
12	20,528	29,030	15,711	8,010	4,025
16	35,699	50,442	27,299	13,917	6,992
24	78,419	110,901	60,020	30,597	15,374

MPLS. WATER DEPT. REFERENCE TABLE	
SOIL	BEARING LOAD (LBS. / SQ. FT.)
MUCK	0
SOFT CLAY	1,000
SILT	1,500
SANDY SILT	3,000
SAND	4,000
SANDY CLAY	6,000
HARD CLAY	9,000

NOTES:
1. UPWARD VERTICAL BENDS - WEIGHT OR EARTH ABOVE CONCRETE AREA HAS TO EQUAL THE THRUST ON THE BEND USING THE CHART PROVIDED.
2. DOWNWARD VERTICAL BENDS - SAME BEARING AS UPWARD VERTICAL BENDS.
3. HORIZONTAL BENDS, TEES, AND DEAD ENDS - THE CONCRETE BEARING AREAS OF THRUST BLOCKS SHALL BE CALCULATED USING THE CHARTS PROVIDED.
4. ON 12" and 16" WATER MAINS THE TIE RODS SHALL BE INSTALLED THROUGH THE BOLT HOLES IN FLANGES AND RETAINER RINGS.
5. EXACT THRUST BLOCK SIZE AND CONFIGURATION WILL BE DETERMINED BY FIELD CONDITIONS AND REQUIRE APPROVAL BY WATER WORKS ENGINEER.
6. USE M/M/DOT CONCRETE MIX 3A 42 3/4".
7. USE EBAA MEGALUGS OR APPROVED EQUAL.

MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS
DRAWN: TDS DATE: 1/1/12
APPROVED: RCE DATE: 1/1/12
THRUST BLOCK INSTALLATION
STANDARD PLATE NO. WATR-4000A-R1
NOT TO SCALE

7 THRUST BLOCK INSTALLATION

OPERATING NUT (SEE DETAIL)
2.4 1/2" PUMPER CONNECTIONS, 90°/120° APART (THREAD SIZE: 5 9/16" O.D., 4 T.P.I.) MPLS. PATTERN NUT TYPE CAP WIGALVANIZED CHAIN
1 1/2" OPERATING NUT
26" MIN.
18" MIN.
3" - 5"
48" P/C/MH - RING AND COVER TO BE LOCATED OUTSIDE CURB AND GUTTER.
GRADE
STEPS - 16" O.C.
8" MIN. BURY
HYDRANT
H.B. GATE
CONCRETE THRUST BLOCK

MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS
DRAWN: TDS DATE: 11/19/13
APPROVED: RCE DATE: 11/19/13
HYDRANT BRANCH INSTALLATION
STANDARD PLATE NO. WATR-1000A-R2
NOTES:
1. OPERATING NUT SHALL BE FURNISHED WITH L.H. (COUNTER CLOCKWISE) OPENING
2. HYDRANTS SHALL MEET THE REQUIREMENTS IN THE SPECIAL PROVISIONS.
3. USE EBAA MEGALUGS OR APPROVED EQUAL FOR THRUST RESTRAINT ON ALL JOINTS OF HYDRANT BRANCH.
NOT TO SCALE

6 HYDRANT INSTALLATION

CUTOUT (CLEARANCE MUST BE BETWEEN 3'-5")
BOARDS TREATED FOR CONTACT WITH WATER WRAPPED IN POLY SHEETING TO BLOCK SOIL FROM COMING INTO MANHOLE
TOP VIEW
GATE VALVE MUST BE CENTERED IN MANHOLE OPENING
CAST IN PLACE CONCRETE THRUST BLOCKING BEHIND TEE
SECTION A-A
ADJUSTING RINGS (AS REQUIRED TO MEET STREET GRADE)
6" CONC. SLAB OFFSET 24" HOLE
12" LENGTHS (AS NEEDED)
LENGTH CAN VARY
ALUMINUM OR PLASTIC ENCAPSULATED STEPS THAT MEET ASTM C-478, SET IN A VERTICAL LINE 18" ON CENTER AND INSTALLED IN LINE WITH THE OFFSET OPENING (PROVISION 2508)
CAST IN PLACE CONCRETE THRUST BLOCKING BEHIND TEE
6" X 10" 48" PRECAST CONCRETE BASE
GRADE
OPERATING STEM
GATE VALVE MUST BE CENTERED IN MANHOLE OPENING
CUTOUT CLEARANCE MUST BE BETWEEN 3'-5")
BOARDS TREATED FOR CONTACT WITH WATER WRAPPED IN POLY SHEETING TO BLOCK SOIL FROM COMING INTO MANHOLE
6" X 10" 48" PRECAST CONCRETE BASE
CONCRETE BLOCKING TO SUPPORT COMPONENTS (IF CAST IN PLACE, NO FOAM IS REQUIRED)
NOT TO SCALE

MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS
DRAWN: TDS DATE: 1/1/12
APPROVED: RCE DATE: 1/1/12
STANDARD MANHOLE
STANDARD PLATE NO. WATR-2006A-R1
NOT TO SCALE

5 WATER MANHOLE

EXTRUDED POLYSTYRENE CLOSED CELL FOAM PANEL INSULATION, 2" THICK.
COMPACTED BACKFILL
PIPE
COMPACTED BEDDING
UNDISTURBED EARTH
EXTRUDED POLYSTYRENE CLOSED CELL FOAM PANEL INSULATION, 2" THICK.

MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS
DRAWN: TDS DATE: 1/1/12
APPROVED: RCE DATE: 1/1/12
PIPE INSULATION
NOT TO SCALE

4 PIPE INSULATION

THICKNESS OF LIFTS, COMPACTION VALUES AND FREQUENCY OF TESTS ARE DESCRIBED IN SPECIFICATION SECTION 312333
IF TRENCHING GOES THROUGH EXISTING SURFACE NOT INDICATED AS NEW, TRENCHING CONTRACTOR SHALL RESTORE SURFACE IN ACCORDANCE WITH CITY REQUIREMENTS AND AT A MINIMUM TO MATCH THE EXISTING SURFACING SECTION(S)
AREAS INDICATED ON THE SURFACING DRAWING AS NEW, TO BE CONSTRUCTED PER SPEC SECTIONS INCLUDED IN DOCUMENTS (CONCRETE: 321313) (BITUMINOUS: 321216)
12" MAX LIFT PRIOR TO COMPACTION
INITIAL BACKFILL
SLOPES PER CURRENT OSHA STANDARDS
PIPE BEDDING
BEDDING METHOD
C901
PRIMARY SUPPORT MATERIAL BY 312333
SELECT TRENCH BACKFILL

MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS
DRAWN: TDS DATE: 1/1/12
APPROVED: RCE DATE: 1/1/12
TRENCH UNDER PAVEMENT OR FLOOR SLAB
STANDARD PLATE NO. WATR-2006A-R1
NOT TO SCALE

PLANTING AREAS
PLANTING SPEC 329000 PROVIDES FOR TOPSOIL IN PLANTING AREAS U.N.O. DEPTH 12" (MIN) 24" (MAX)
MINIMUM THICKNESS OF LIFTS, COMPACTION VALUES AND FREQUENCY OF TESTS ARE DESIGNATED IN SPEC SECTION 312333
TURF AREAS
SEED/SOD PER SPEC 329200
PLACE TOPSOIL MIN 4", MAX 12"
GENERAL TRENCH BACKFILL
SLOPE PER CURRENT OSHA STANDARDS
INITIAL BACKFILL
PIPE BEDDING
BEDDING METHOD
C901
18" MAX LIFT PRIOR TO COMPACTION.

MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS
DRAWN: TDS DATE: 1/1/12
APPROVED: RCE DATE: 1/1/12
GENERAL TRENCH BACKFILL
STANDARD PLATE NO. WATR-2006A-R1
NOT TO SCALE

LOAD FACTOR 1.5
LOAD FACTOR 1.9
7" MIN.
12"
0.5 Bc
0.5 Bc BUT NOT LESS THEN 6"
W
W
CLASS C-2
CLASS B
COMPACTED INITIAL BACKFILL
HAND SHAPED PIPE BEDDING MATERIAL (UNDISTURBED EARTH)

GENERAL NOTES:
1. SEE SPECIFICATION SECTION 312333
2. FOR PRESSURE PIPE INSTALLATIONS USE CLASS C-2 BEDDING
3. FOR GRAVITY PIPE INSTALLATIONS USE CLASS B BEDDING
4. W=Bc + 8"(MIN), Bc=24" (MAX) UNLESS NOTED OTHERWISE.
5. WHERE UNSTABLE SOFT OR LOOSE SOIL CONDITIONS OCCUR AT TRENCH BOTTOM, SUBCUT TRENCH BOTTOM 18" AND REPLACE WITH STABILIZATION AGGREGATE OVER TYPE 5 (STABILIZATION) GEOTEXTILE AS DIRECTED BY TESTING AGENCY OR ENGINEER.

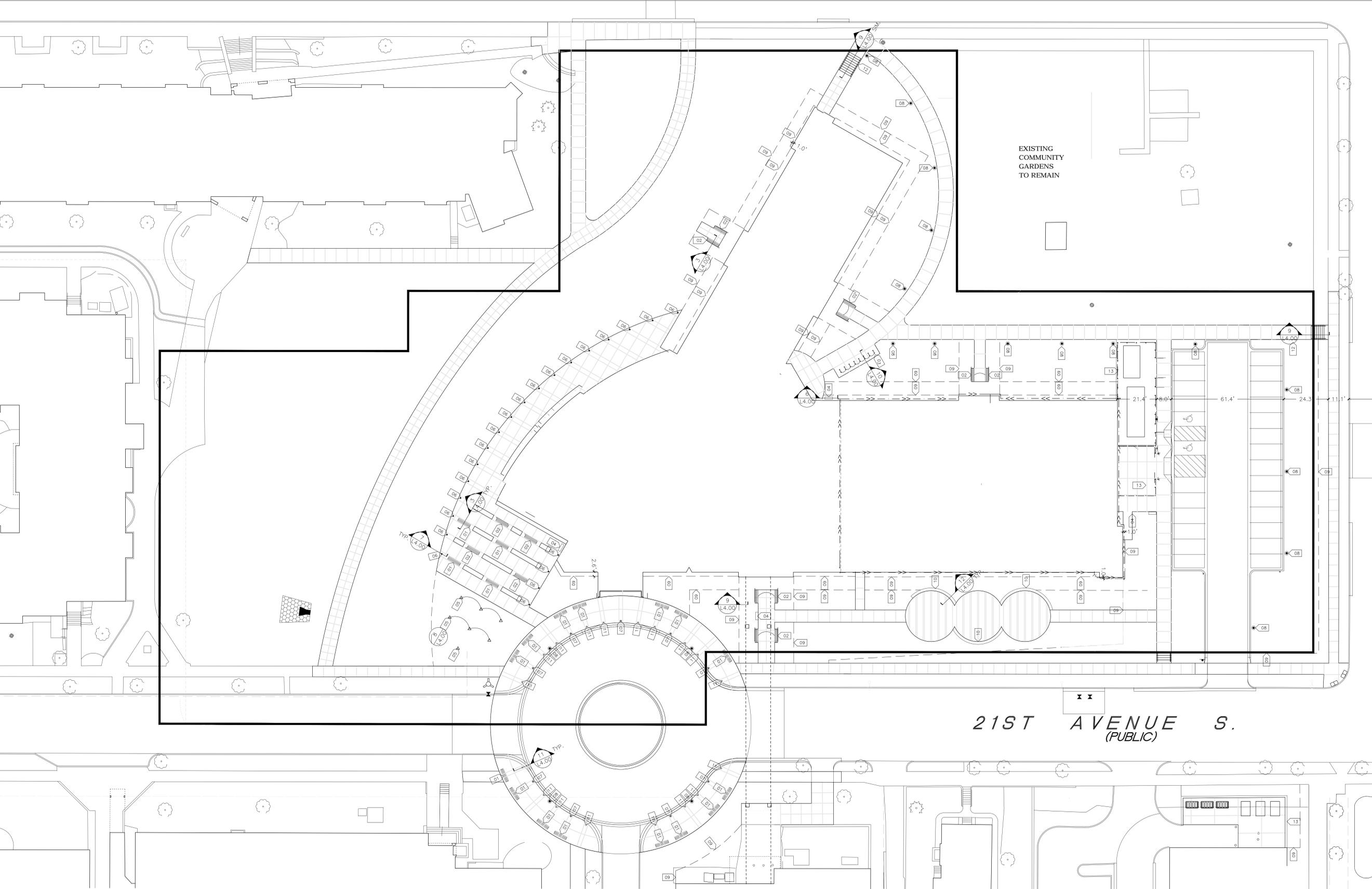
MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS
DRAWN: TDS DATE: 1/1/12
APPROVED: RCE DATE: 1/1/12
BEDDING METHODS
STANDARD PLATE NO. WATR-2006A-R1
NOT TO SCALE

1 BEDDING METHODS

Site Layout
Plan

COMM. NO. 1826-029-00
SCALE 1" = 20'-0"
DATE JANUARY 8, 2016

L100

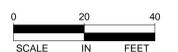


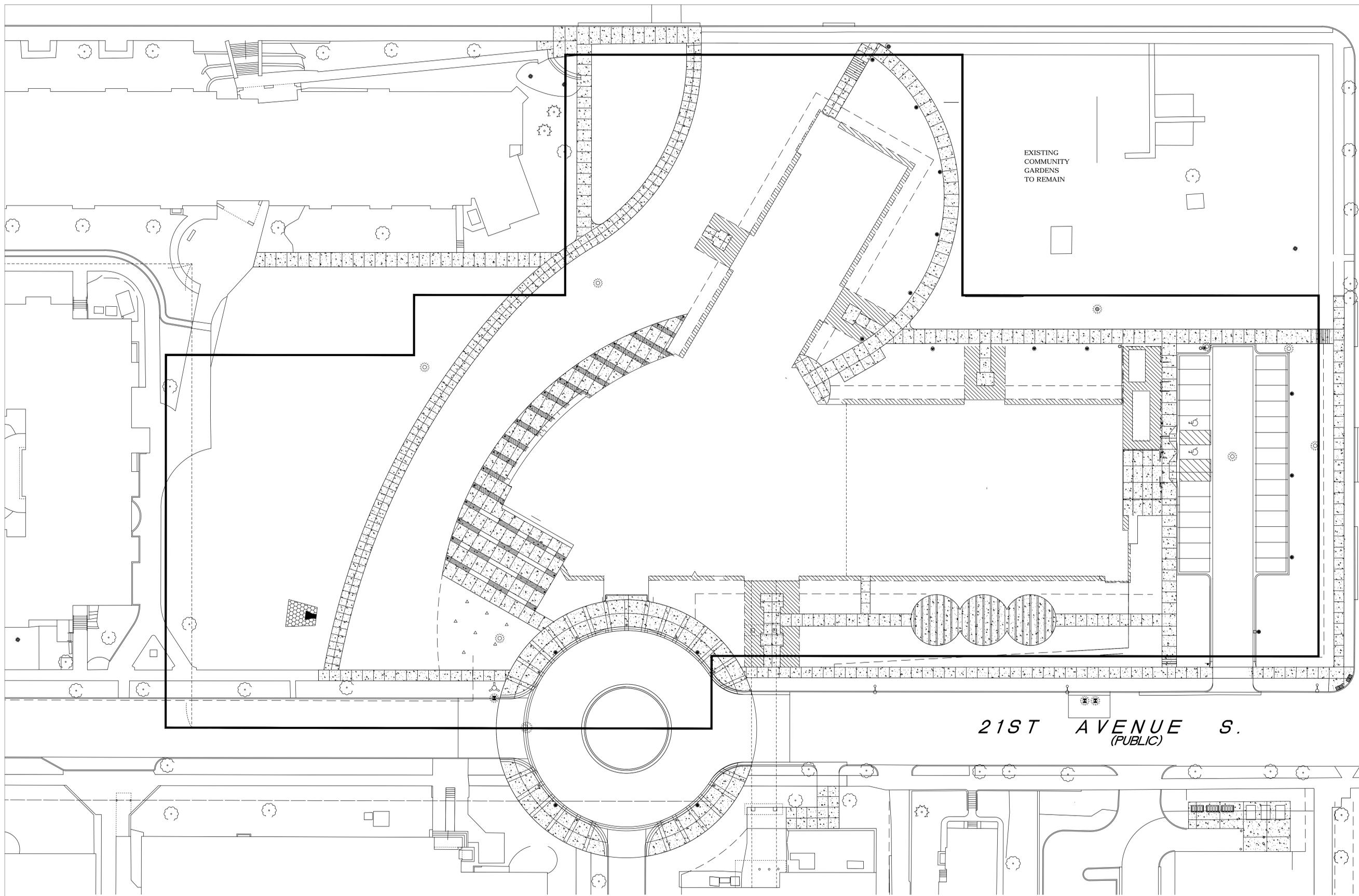
LEGEND

-  - DETAIL KEY
-  - PROJECT SITE
-  - UPLIGHT
-  - INGRADE
-  - LIGHT
-  - BOLLARD LIGHT
-  - LIGHT POLE
- - BENCH TYPE B1-BACKLESS
- - BENCH TYPE B2-WITH BACK

KEYNOTES

- | | | |
|--|--------------------------------|---|
| KEY | CONTENT | CONTENT |
|  01 | BENCH TYPE B1-BACKLESS |  11 BOLLARD |
|  02 | BENCH TYPE B2-WITH BACK |  12 STAIR |
|  03 | BIKE RACK |  13 UTILITY ENCLOSURE - SEE ARCH |
|  04 | TRASH RECEPTACLE |  14 SIGN - SEE ARCH |
|  05 | TREE UPLIGHT - SEE ELECTRICAL | |
|  06 | INGRADE LIGHT - SEE ELECTRICAL | |
|  07 | LIGHT BOLLARD - SEE ELECTRICAL | |
|  08 | POLE LIGHT - SEE ELECTRICAL | |
|  09 | LANDSCAPE EDGING | |
| 10 | CAST-IN-PLACE SEAT WALL | |





21ST AVENUE S.
(PUBLIC)



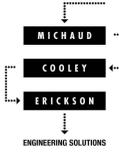
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Minneapolis, Minnesota 55401
Telephone 612.758.4000



McGough



HUNT
Electric Corporation

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NAME: Todd Knorr
DATE: _____
REGISTRATION NUMBER: _____

NO.	DESCRIPTION	DATE

Site Materials Plan

REVISION HISTORY - THIS SHEET

COMM. NO.	1826-029-00
SCALE	1" = 20'-0"
DATE	JANUARY 8, 2016

L200

LEGEND



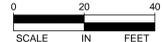
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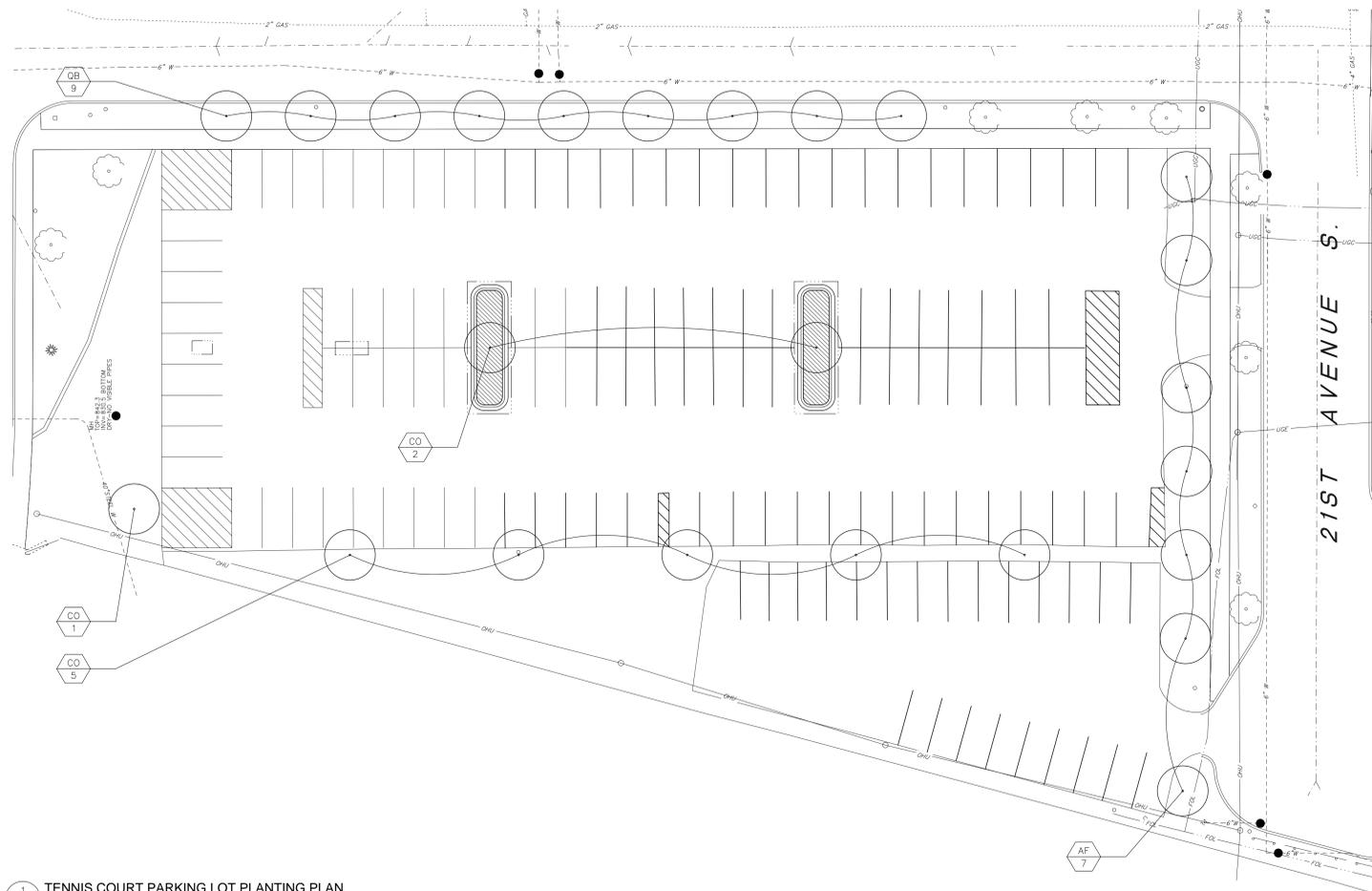
1. SEE L1.00 FOR LAYOUT INFORMATION.
2. SEE L3.00 FOR PLANTING AND SOIL INFORMATION.
3. ALL CONTROL JOINTS TO BE SAW CUT, TYP.
4. SEE CIVIL FOR TYPICAL PAVING SECTIONS

MATERIALS

KEY	CONTENT
[Pattern]	STANDARD CONCRETE
[Pattern]	INTEGRALLY COLORED CONCRETE
[Pattern]	STANDARD CONCRETE DRIVE
[Pattern]	INTEGRALLY COLORED CONCRETE VEHICULAR SECTION
[Pattern]	ROCK MULCH TYPE-1

KEYNOTES





1 TENNIS COURT PARKING LOT PLANTING PLAN
L301 SCALE: 1"=20'-0"

Tree Schedule

KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE
AF	Acer x freemanii 'Marmo'	MARMO MAPLE	7	3"
CO	Celtis occidentalis'	HACKBERRY	8	3"
QB	Quercus bicolor	SWAMP OAK	9	3"

LEGEND

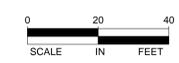
- DETAIL KEY
- EXISTING TREE TO REMAIN
- LANDSCAPE EDGING

NOTES

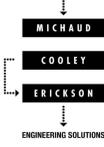
1. IF A DISCREPANCY EXISTS BETWEEN THE NUMBER OF PLANTS SHOWN IN THE PLANT MATERIALS SCHEDULE AND THE PLANS, THE PLANS SHALL GOVERN.
2. RESTORE ALL AREAS DISTURBED BY CONSTRUCTION UNLESS NOTED OTHERWISE.
3. CONTRACTOR SHALL STAKE OUT LOCATION OF ALL PROPOSED TREES AND SHRUBS FOR APPROVAL BY ARCHITECT PRIOR TO CONSTRUCTION.

PLANT MATERIAL AND SURFACING

- | KEY | CONTENT |
|--|-------------------|
| | PROPOSED TREE |
| | PROPOSED SHRUB |
| | SOD |
| | ROCK MULCH TYPE-1 |
| | LANDSCAPE EDGING |



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NAME: Todd Knop
DATE:
REGISTRATION NUMBER:

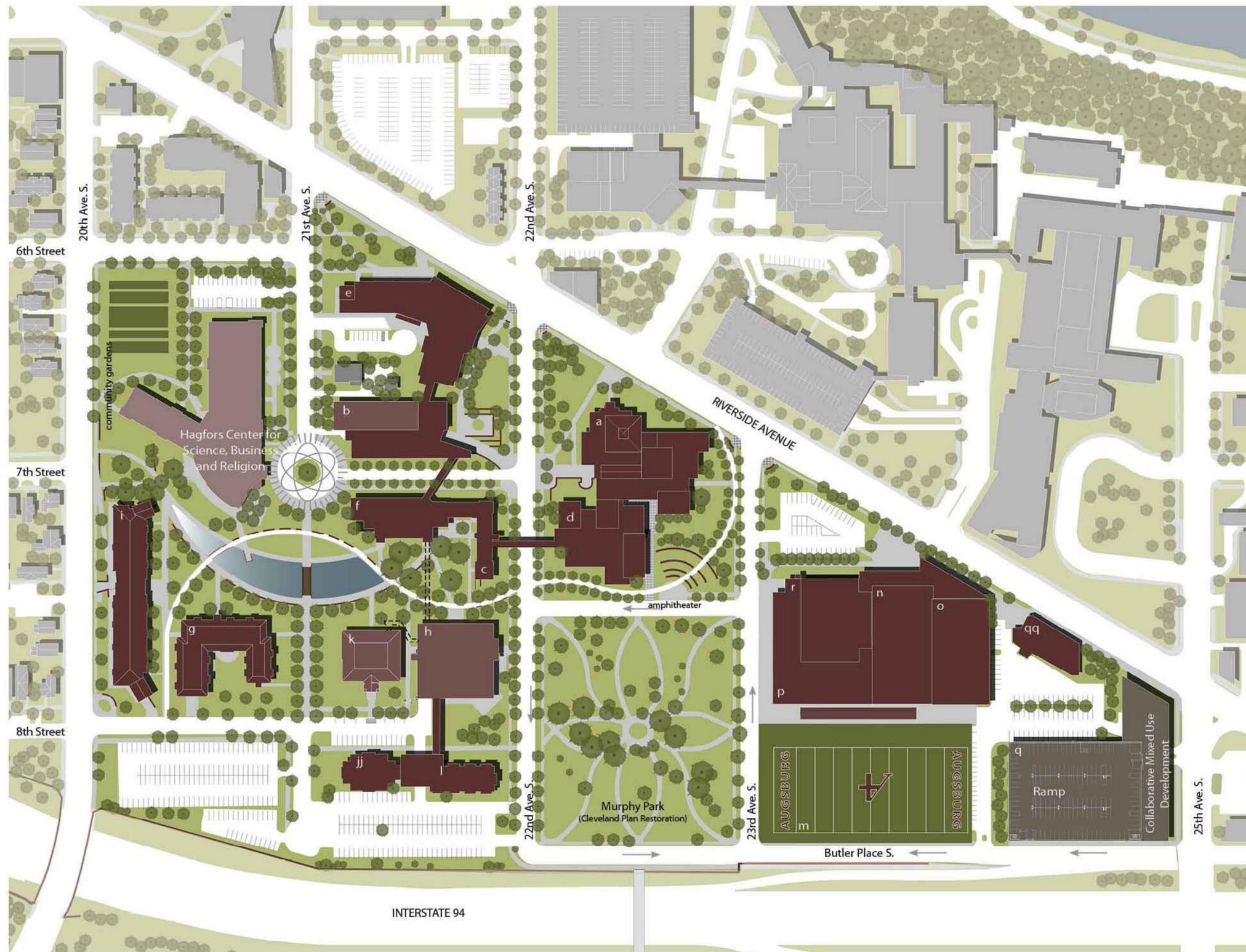
NO.	DESCRIPTION	DATE

REVISION HISTORY - THIS SHEET

**Parking Lot
Planting
Plans**

COMM. NO.	1826-029-00
SCALE	1" = 20'-0"
DATE	JANUARY 8, 2016

L301



AUGSBURG COLLEGE

campus space + master plan

1-5 YEARS

- KEY**
- existing buildings
 - renovation
 - new building
 - collaborative dev.
 - neighbors
 - subgr. ramp/tunnel
 - recreational surface
 - bioretention pond
 - pedestrian walk
 - limited vehicle access

FACILITIES KEY BY DISTRICT

- DISTRICT 1: ACADEMIC CORE**
- a Foss-Lobeck-Miles Center
 - b Lindell Library, Gage Center
 - c Memorial Hall
 - d Music Hall
 - e Oren Gateway Center
 - f Sverdup Hall
 - + Center for Science, Business, and Religion
- DISTRICT 2: CAMPUS + RES. LIFE**
- g Anderson Hall
 - h Christensen Center
 - i Luther Residence Hall
 - jj Mortensen Hall
 - k Old Main
 - l Urness Hall
- DISTRICT 3: ATHLETICS + REC.**
- m Edor-Nelson Athletic Field
 - n Ice Arena
 - o Recreational Athletics
 - p Kennedy Center
 - q Maintenance and Grounds
 - qq Maintenance and Grounds
 - r Si Melby Hall



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NAME: Todd Kovan
DATE:
REGISTRATION NUMBER:

NO.	DESCRIPTION	DATE

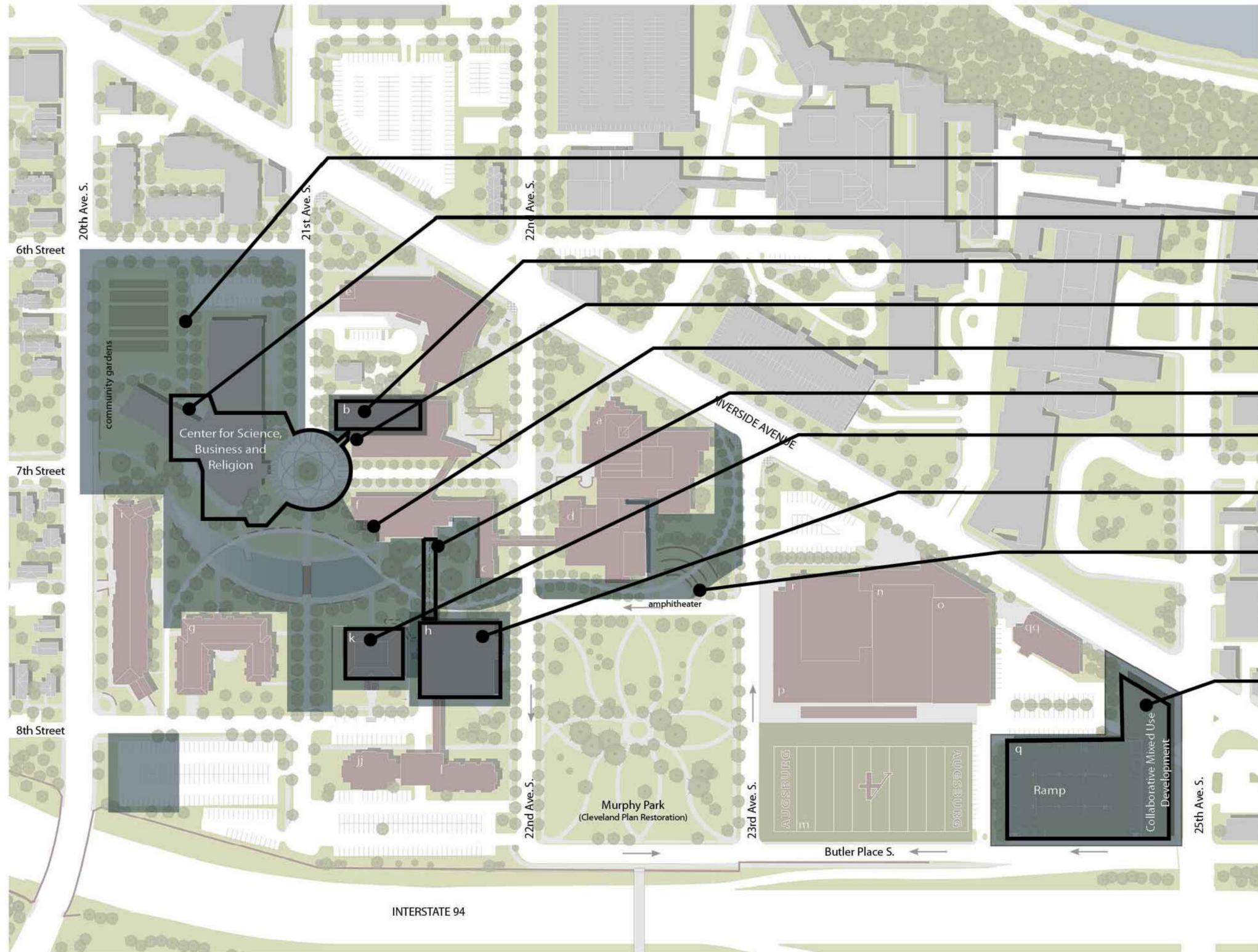
REVISION HISTORY - THIS SHEET

**CAMPUS
MASTER PLAN
IMAGES**

COMM. NO. 1826-029-00
SCALE
DATE JANUARY 8, 2016

L401

NO.	DESCRIPTION	DATE



AUGSBURG COLLEGE
campus space + master plan

1-5 YRS

- CSB&R Site**
N. Lot and W. Gateway South Quad.
- NEW CSB&R Building**
- Gage Center Renovation**
- Skyway to Lindell Library**
- Demo Science, Heal Sverdup**
- New Tunnel**
- Old Main Renovation**
- Christensen Center Renovation**
- Demolition of Murphy Place + Outdoor Amphitheater.**
- New Service access/dock
- Site grading and low concrete amphitheater seat walls.
- Typ. campus walks and landscape to heal site.
- Collaborative Development**
5 stories, 17000 sf/level = 85000sf
level 1: commercial (17,000 sf)
level 2: office (17,000 sf)
levels 3-5: residential (51,000 sf)
Ramp: 5 level, 3 bay, 700 spaces.

NO.	DESCRIPTION	DATE

AUGSBURG COLLEGE

campus space + master plan

6-10 YEARS

KEY

- existing buildings
- renovation
- new building
- collaborative dev.
- neighbors
- subgr. ramp/tunnel
- recreational surface
- bioretention pond
- pedestrian walk
- limited vehicle access

FACILITIES KEY BY DISTRICT

DISTRICT 1 : ACADEMIC CORE

- a Foss-Lobeck-Miles Center
- b Lindell Library, Gage Center
- c Memorial Hall
- d Music Hall
- e Oren Gateway Center
- f Sverdup Hall
- + Center for Science, Business, and Religion
- + Mixed Use Fine Arts

DISTRICT 2 : CAMPUS + RES. LIFE

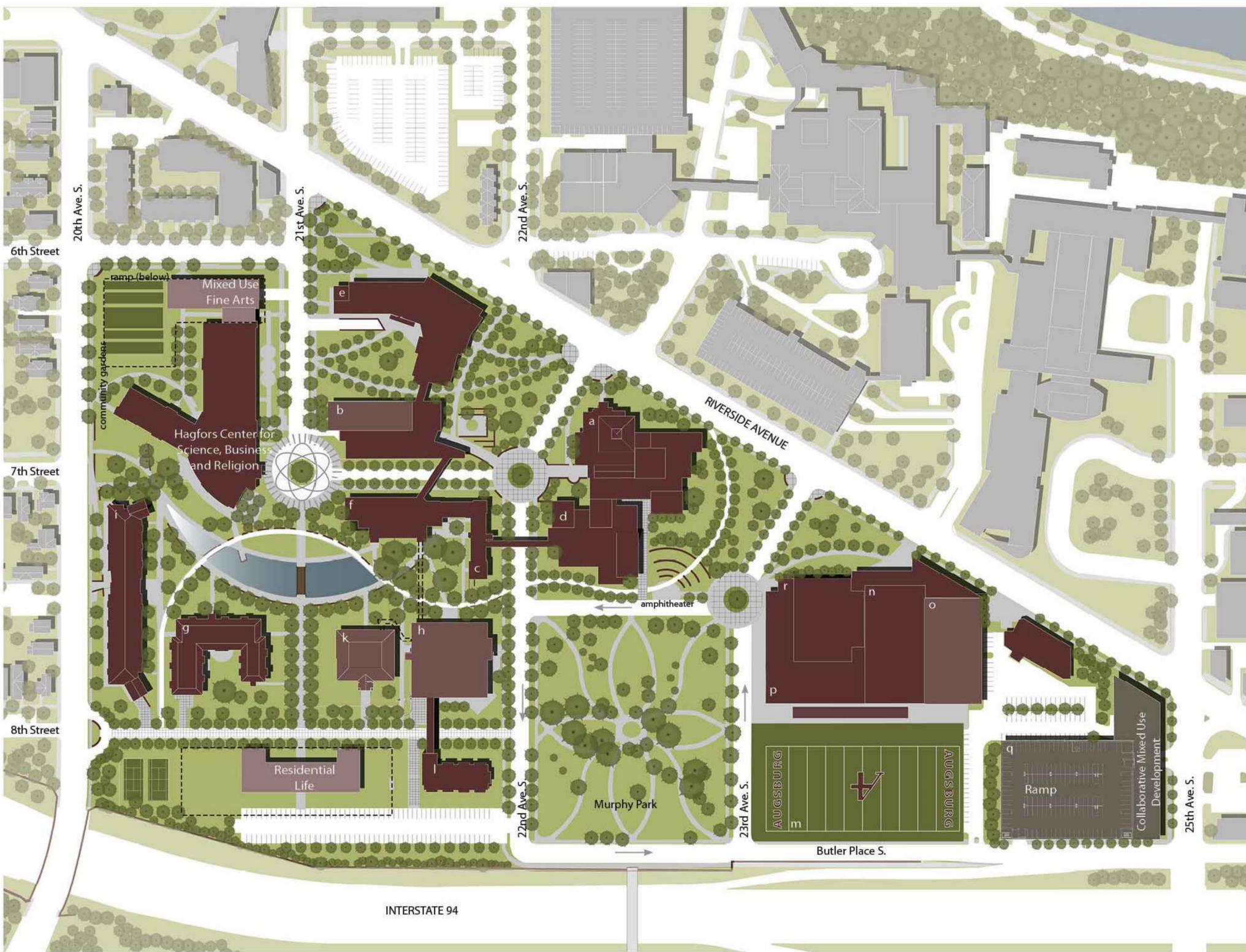
- g Anderson Hall
- h Christensen Center
- i Luther Residence Hall
- jj Mortensen Hall
- k Old Main
- l Urness Hall
- + Residential Life Addition I

DISTRICT 3 : ATHLETICS + REC.

- m Eder-Nelson Athletic Field
- n Ice Arena
- o Recreational Athletics
- p Kennedy Center
- q Maintenance and Grounds
- r Si Melby Hall



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NAME: Todd Kuhn
DATE:
REGISTRATION NUMBER:

NO DESCRIPTION DATE

NO	DESCRIPTION	DATE

REVISION HISTORY - THIS SHEET

CAMPUS MASTER PLAN IMAGES

COMM. NO. 1826-029-00
SCALE
DATE JANUARY 8, 2016

L404

AUGSBURG COLLEGE
campus space + master plan

6-10 YRS

NEW Mixed Use Fine Arts Bldg.

L1: Studio Arts, Dance 16,500 sf
L2: Offices 16,500 sf
L3-4: residences 33,000 sf
Garage Below = 1 level, 2 bays
130 spaces, 40,000 sf.

Entry Quad

Existing house/garage removal
and landscape improvements.

Realignment of 22nd

Relocate Utilities, site restoration,
monument signs.

New Residence Hall

4 story, 14,000sf/level = 56,000 sf
Garage Below = 1 level, 2 bays
130 spaces, 40,000 sf.

Realignment of 23rd

Relocate Utilities, remove lot, site
restoration, monument signs.

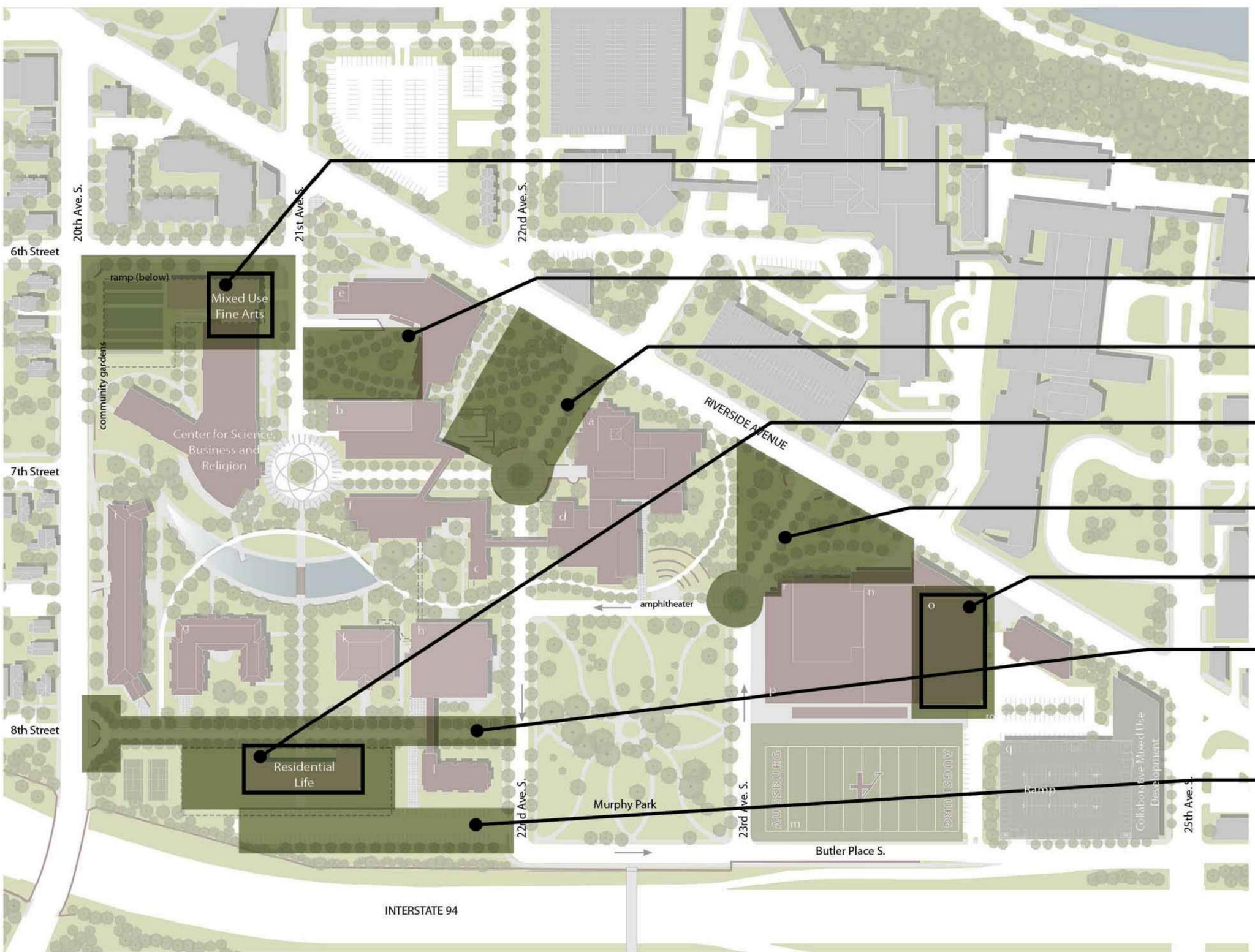
Rink B Renovation

Repurpose into a recreational
athletics facility.

Campus Walk: West

Pedestrian walk with emergency/
service vehicle axis. Includes:
- West Entry drop off loop,
- Monument signs,
- 16' wide concrete path
- Landscaping and lighting to 1 fc.

Visitor Parking lot





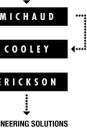
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 Minneapolis, Minnesota 55401
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NAME: Todd Koenig
 DATE: 1/8/16
 REGISTRATION NUMBER: 101837

NO	DESCRIPTION	DATE
----	-------------	------

NO	DESCRIPTION	DATE

REVISION HISTORY - THIS SHEET

CAMPUS
 MASTER PLAN
 IMAGES

COMM. NO. 1826-029-00
 SCALE
 DATE JANUARY 8, 2016

L405

AUGSBURG COLLEGE
 campus space + master plan

20 YEAR VISION

KEY

- existing buildings
- renovation
- new building
- collaborative dev.
- neighbors
- subgr. ramp/tunnel
- recreational surface
- bioretention pond
- pedestrian walk
- limited vehicle access

FACILITIES KEY BY DISTRICT

DISTRICT 1 : ACADEMIC CORE

- a Foss-Lobeck-Miles Center
- b Lindell Library, Gage Center
- c Memorial Hall
- d Music Hall
- e Oren Gateway Center
- f Sverdup Hall
- + Center for Science, Business, and Religion
- + Mixed Use Fine Arts
- + New Performance Space

DISTRICT 2 : CAMPUS + RES. LIFE

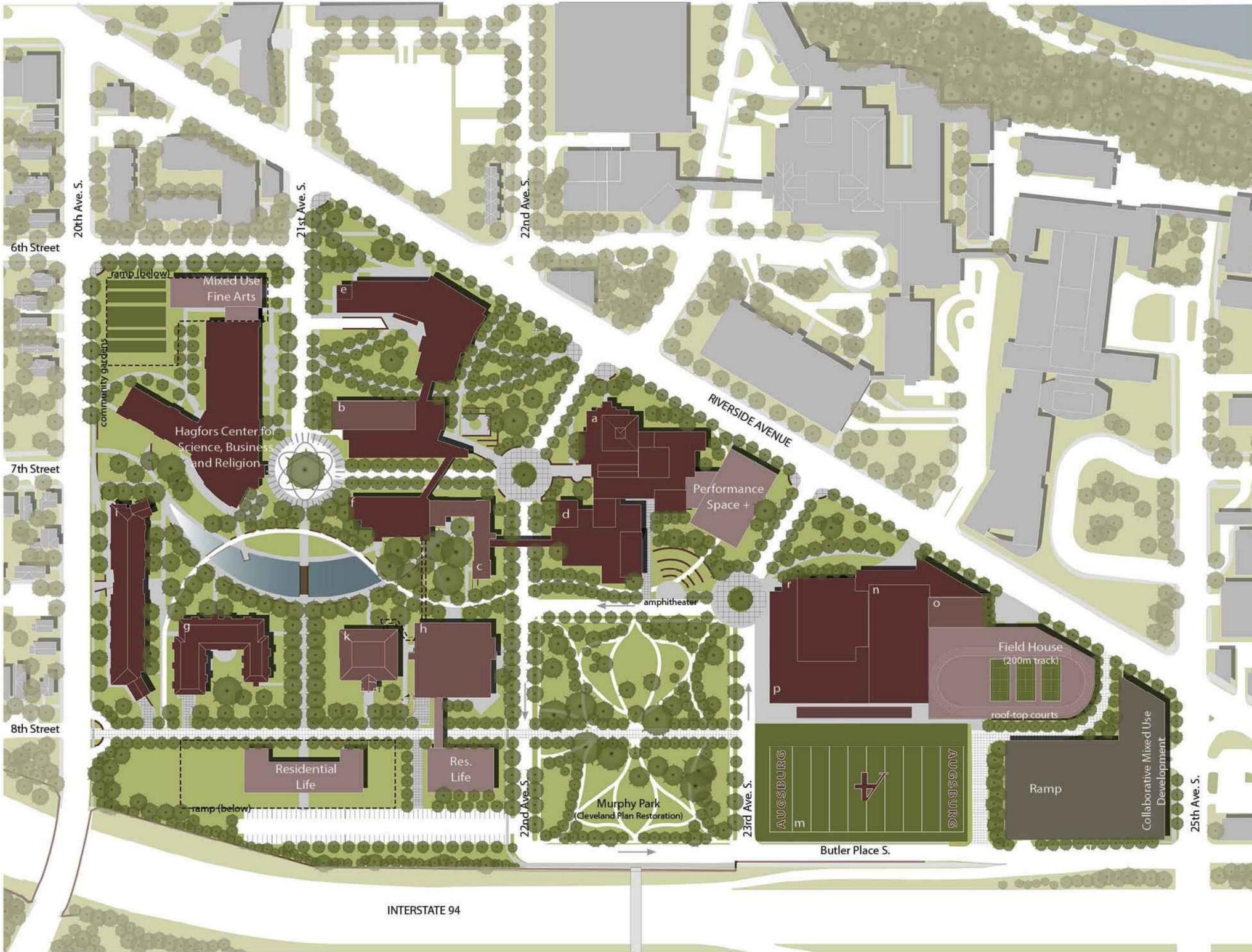
- g Anderson Hall
- h Christensen Center
- i Luther Residence Hall
- k Old Main
- + Residential Life Addition I
- + Residential Life Addition II

DISTRICT 3 : ATHLETICS + REC.

- m Eder-Nelson Athletic Field
- n Ice Arena
- o Recreational Athletics
- p Kennedy Center
- q Maintenance and Grounds
- r Si Melby Hall
- + Field House



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PROJECT SITE: LOOKING EAST



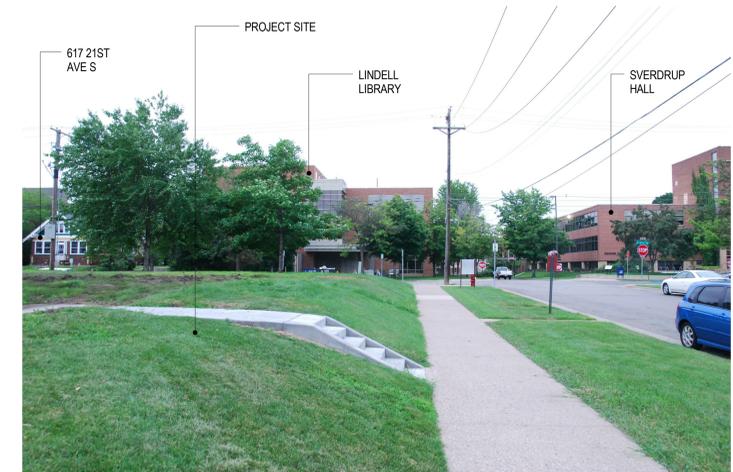
PROJECT SITE: LOOKING NORTH FROM SOUTH SIDE OF 7TH ST S



PROJECT SITE: LOOKING NORTH



LINDELL LIBRARY: WEST ELEVATION



7TH ST S: LOOKING EAST



PROJECT SITE: LOOKING NORTHWEST



COMMUNITY GARDENS: LOOKING NORTHWEST



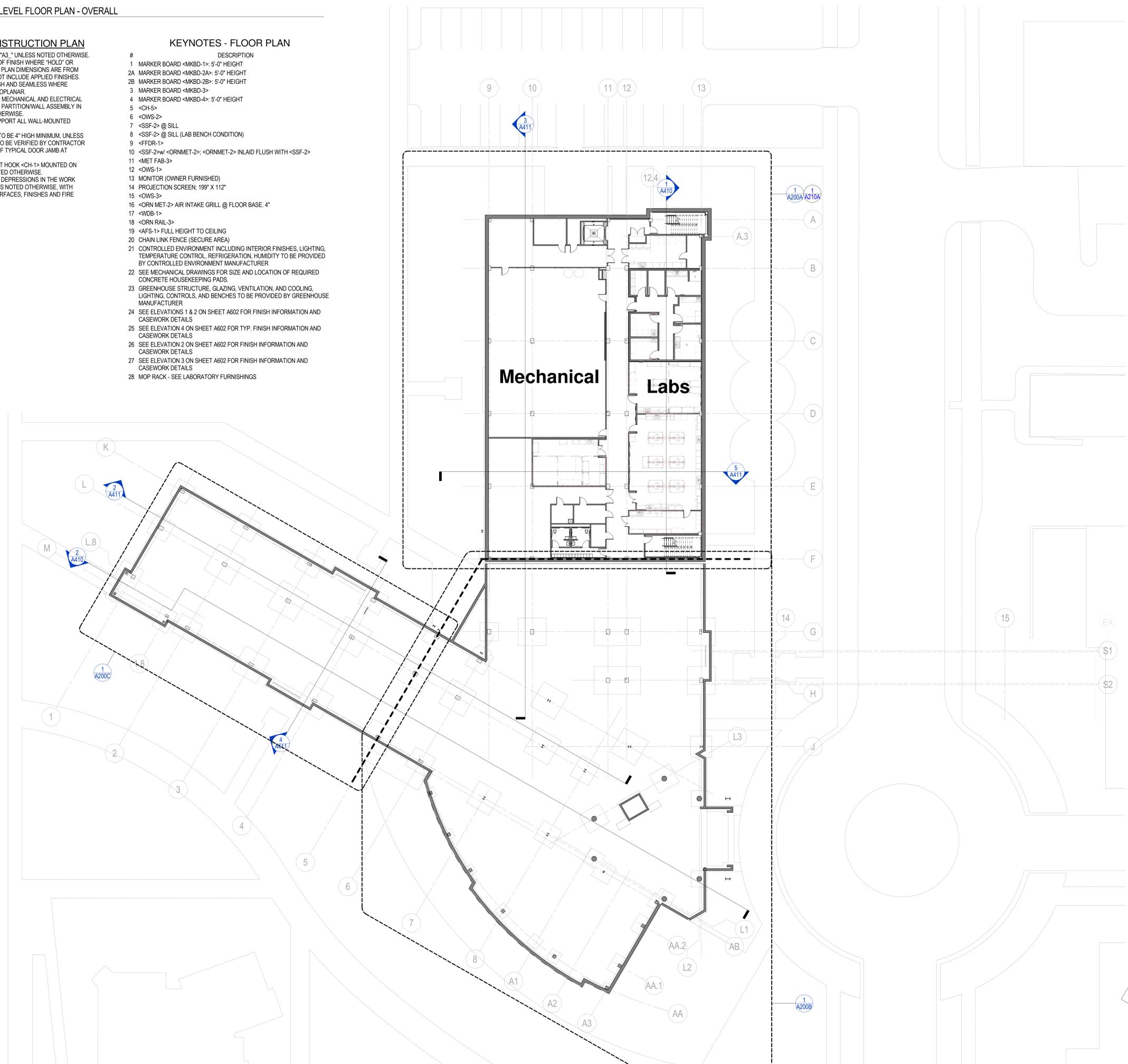
COMMUNITY GARDENS: LOOKING WEST

GENERAL NOTES - CONSTRUCTION PLAN

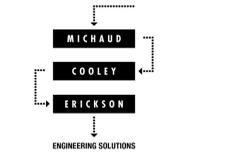
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- C. ENSURE FINISH SURFACES ARE FLUSH AND SEAMLESS WHERE PARTITIONS AND/OR FURRING ARE COPLANAR.
- D. ALL PIPING, CONDUITS AND RELATED MECHANICAL AND ELECTRICAL ITEMS SHALL BE CONCEALED WITHIN PARTITION/WALL ASSEMBLY IN FINISHED AREAS UNLESS NOTED OTHERWISE.
- E. PROVIDE BACKING/BLOCKING TO SUPPORT ALL WALL-MOUNTED ITEMS.
- F. ALL MECHANICAL EQUIPMENT PADS TO BE 4" HIGH MINIMUM, UNLESS NOTED OTHERWISE. SIZE OF PADS TO BE VERIFIED BY CONTRACTOR REFER TO SHEET A082 FOR DETAIL OF TYPICAL DOOR JAMB AT ABUTTING WALLS OR PARTITIONS.
- G. ALL OFFICES TO HAVE A SINGLE COAT HOOK <CH-1> MOUNTED ON THE DOOR (ROOM SIDE) UNLESS NOTED OTHERWISE.
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KEYNOTES - FLOOR PLAN

- | # | DESCRIPTION |
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| 1 | MARKER BOARD -MKBD-1> 5'-0" HEIGHT |
| 2A | MARKER BOARD -MKBD-2A> 5'-0" HEIGHT |
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| 4 | MARKER BOARD -MKBD-4> 5'-0" HEIGHT |
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| 14 | PROJECTION SCREEN, 199" X 112" |
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| 22 | SEE MECHANICAL DRAWINGS FOR SIZE AND LOCATION OF REQUIRED CONCRETE HOUSEKEEPING PADS |
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| 28 | MOP RACK - SEE LABORATORY FURNISHINGS |



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NOT FOR CONSTRUCTION

NAME: JAMES A. GOELSRICH
DATE: FEBRUARY 17, 2016
REGISTRATION NUMBER: 41464

NO.	DESCRIPTION	DATE

REVISION HISTORY - THIS SHEET

FOUNDATION & BASEMENT LEVEL FLOOR PLAN OVERALL

COMM. NO. 1826-029-00
SCALE As indicated
DATE FEBRUARY 17, 2016

A200

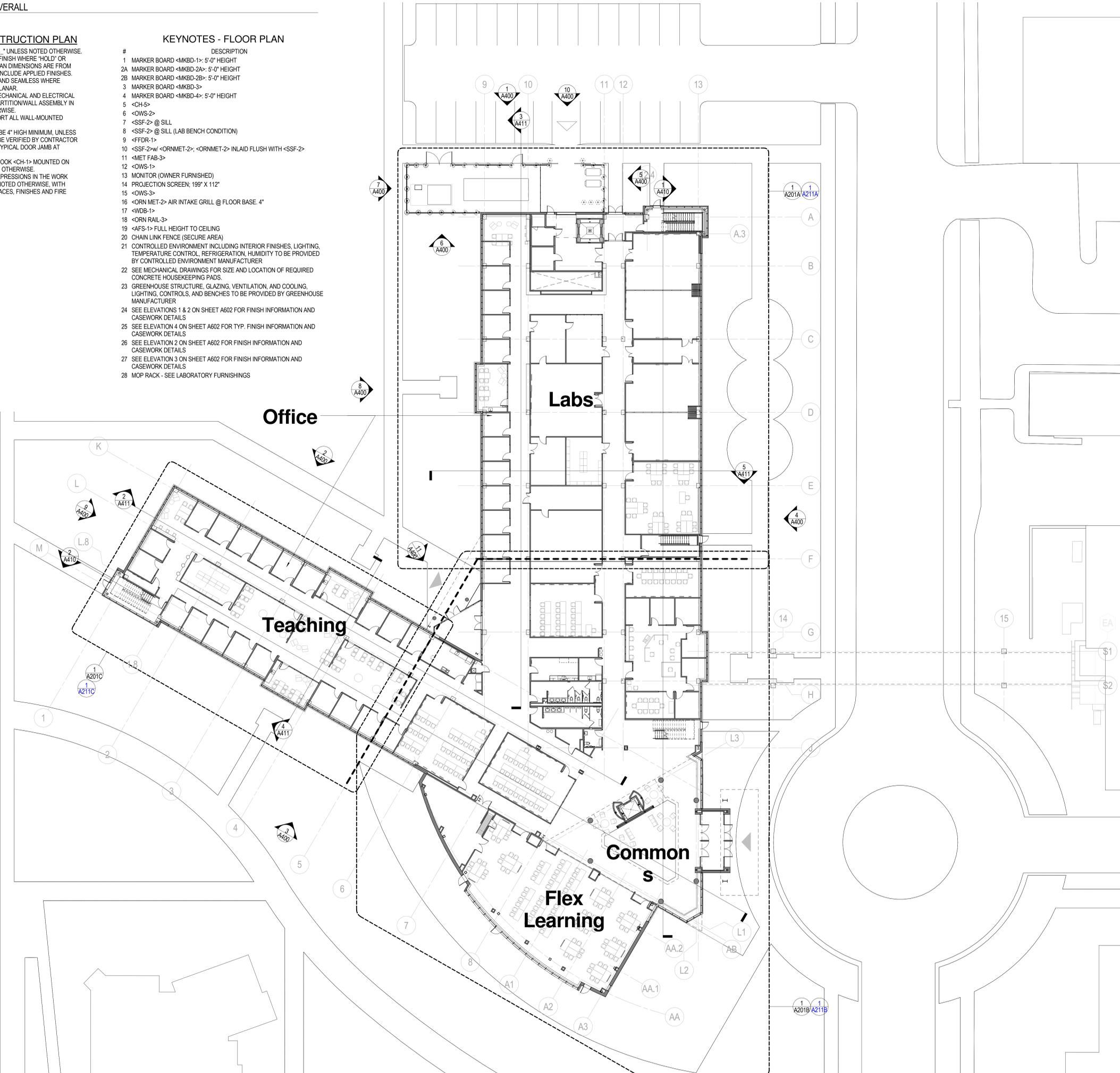
1 FIRST LEVEL FLOOR PLAN - OVERALL
1/16" = 1'-0"

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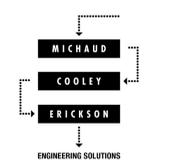


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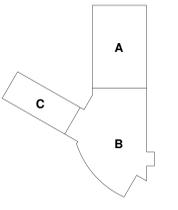
NAME:	JAMES A. GOEBRSCH
DATE:	FEBRUARY 17, 2016
REGISTRATION NUMBER:	41464

NO.	DESCRIPTION	DATE

FIRST LEVEL FLOOR PLAN OVERALL

COMMA NO.	1826-029-00
SCALE	N/A
DATE	FEBRUARY 17, 2016

A201



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LAND USE APPLICATION (LUA)

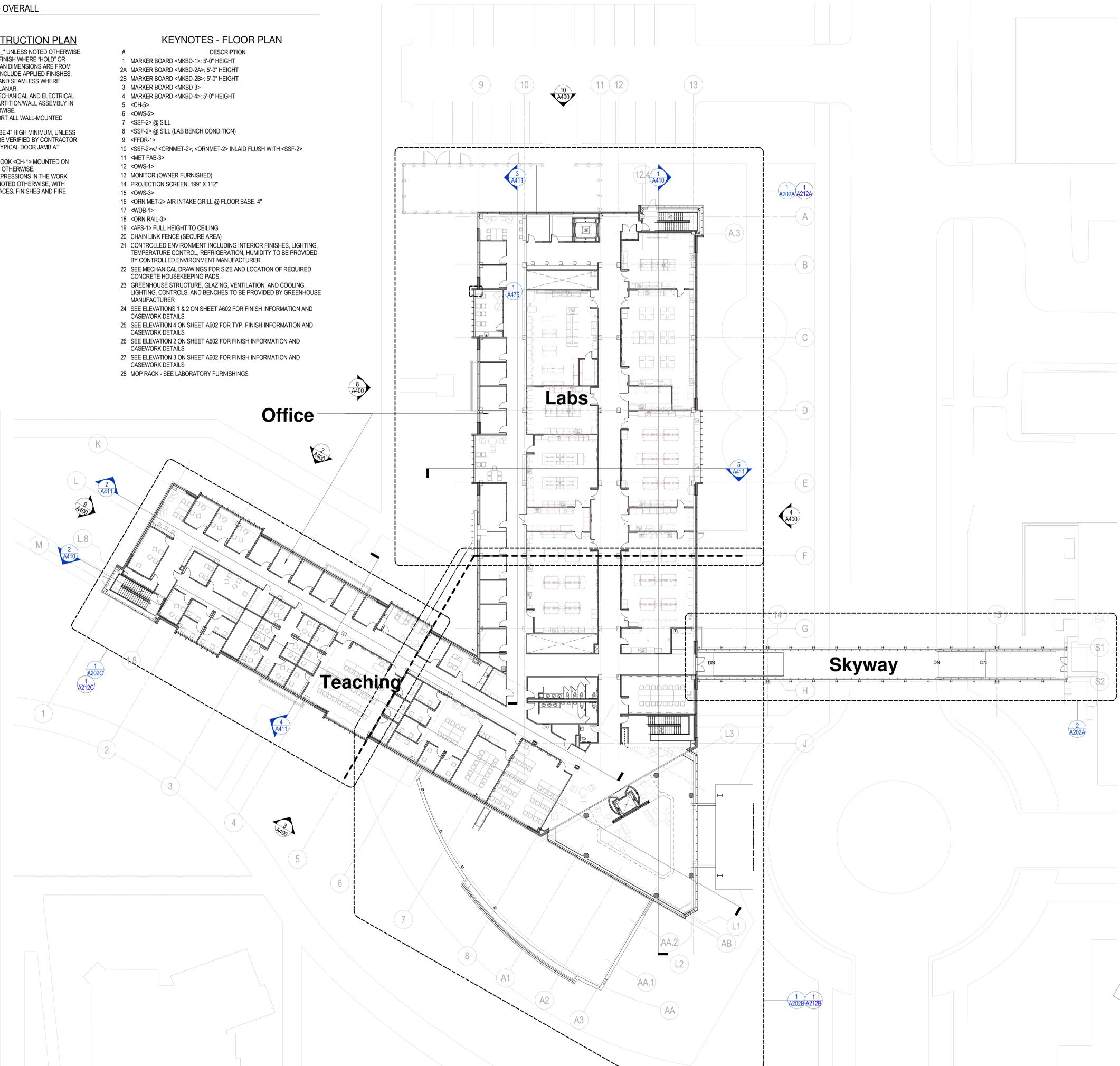
FEBRUARY 17, 2016

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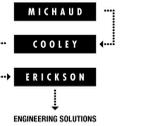
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NOT FOR CONSTRUCTION

NAME: JAMES A. GOELSRICH
 DATE: FEBRUARY 17, 2016
 REGISTRATION NUMBER: 41484

NO.	DESCRIPTION	DATE

SECOND LEVEL
 FLOOR PLAN
 OVERALL

COMM. NO. 1828-029-00
 SCALE N/A
 DATE FEBRUARY 17, 2016

A202

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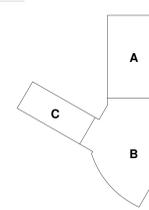
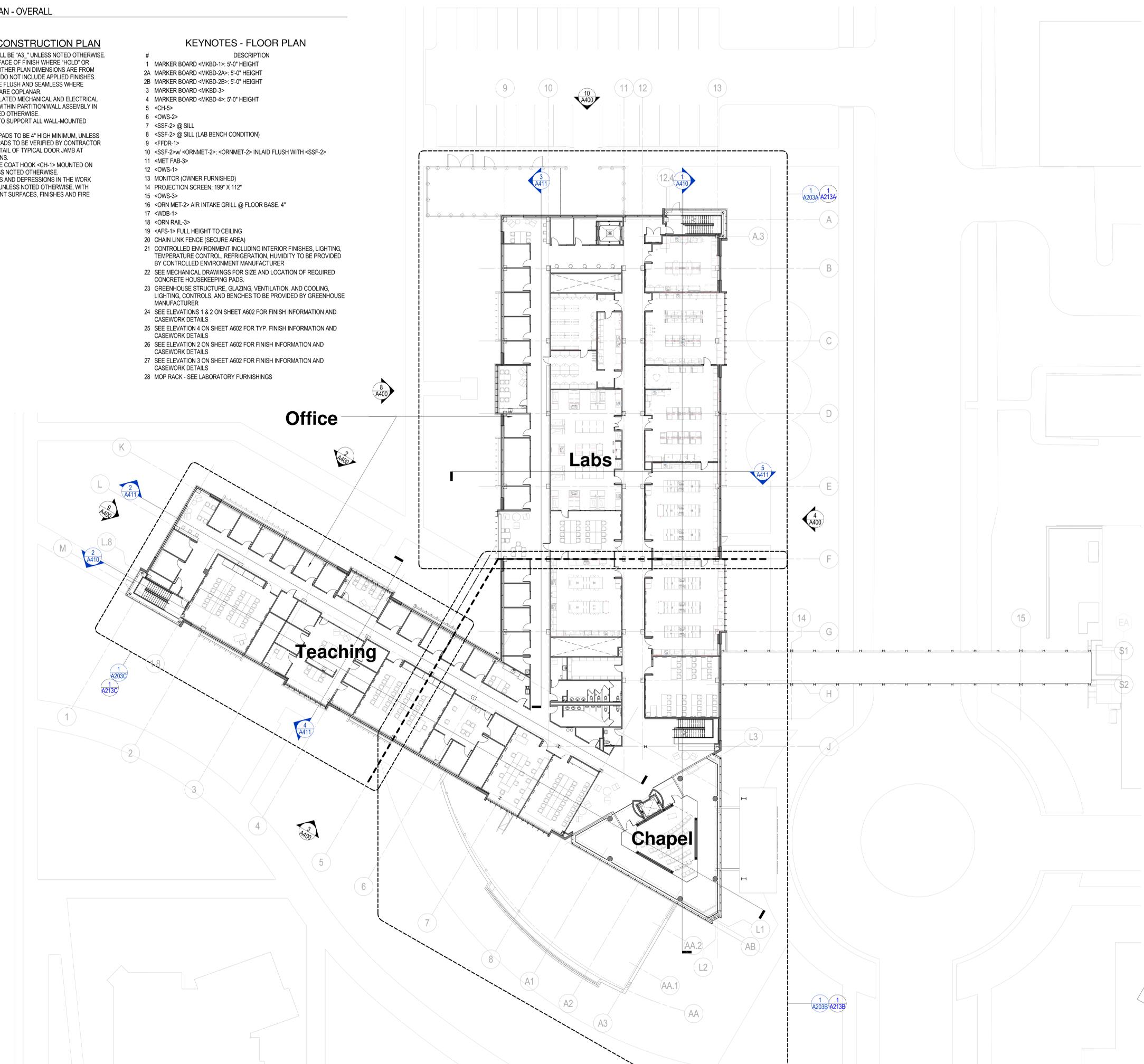
1 THIRD LEVEL FLOOR PLAN - OVERALL
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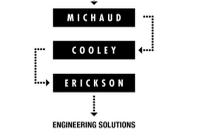


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NAME: JAMES A. GORBERSCH
DATE: FEBRUARY 17, 2016
REGISTRATION NUMBER: 41484

NO.	DESCRIPTION	DATE

THIRD LEVEL FLOOR PLAN OVERALL

COMM. NO. 1826-029-00
SCALE N/A
DATE FEBRUARY 17, 2016

A203

FEBRUARY 17, 2016

LAND USE APPLICATION (LUA)

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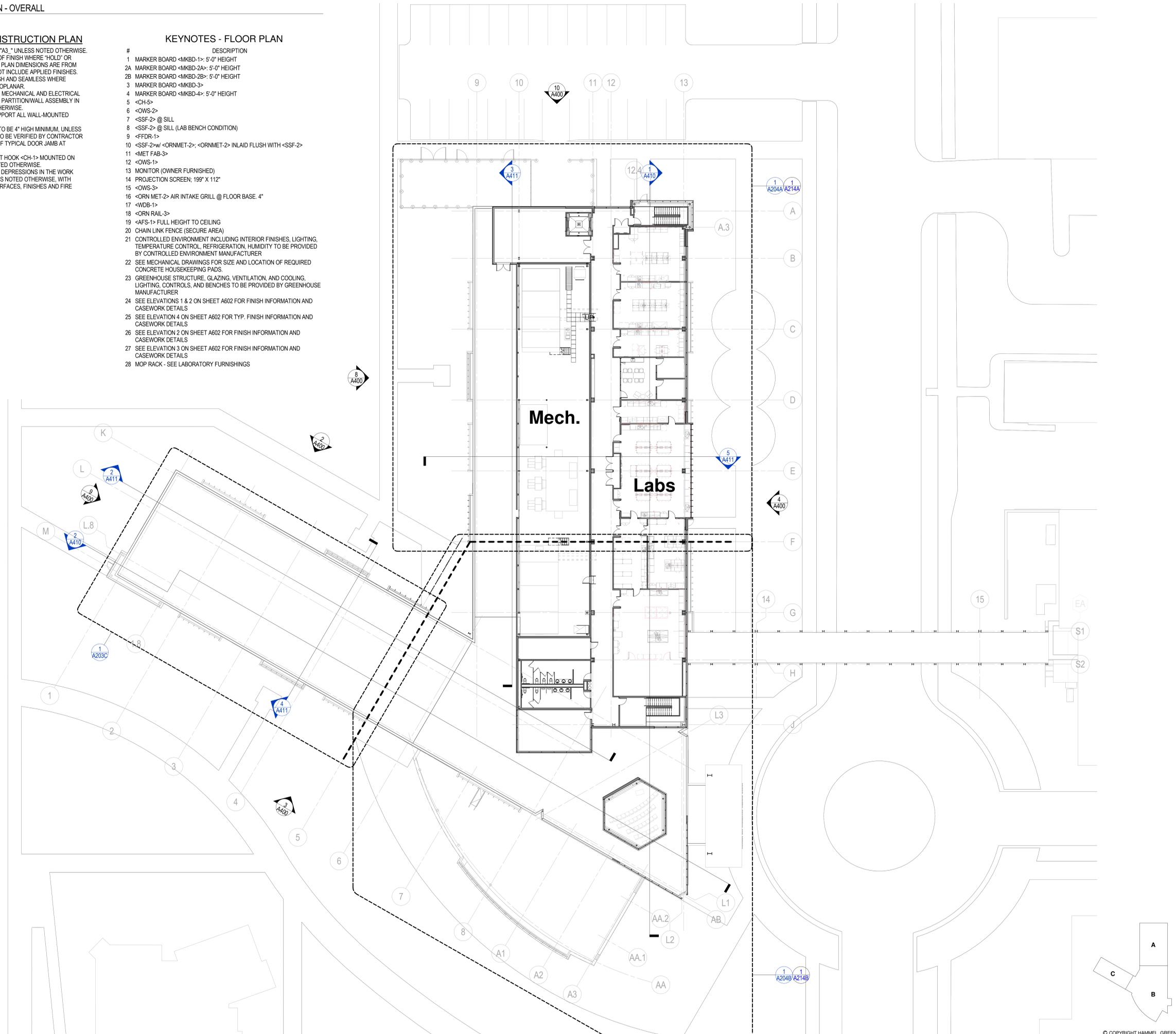
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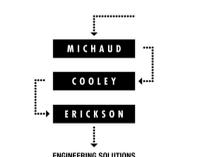


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NAME: JAMES A. GOELRSCH
DATE: FEBRUARY 17, 2016
REGISTRATION NUMBER: 41484

NO.	DESCRIPTION	DATE

REVISION HISTORY - THIS SHEET

FOURTH LEVEL
FLOOR PLAN
OVERALL

COMM. NO.	1826-029-00
SCALE	N/A
DATE	FEBRUARY 17, 2016

A204

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FEBRUARY 17, 2016

LAND USE APPLICATION (LUA)

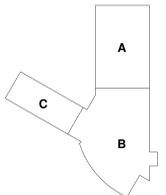
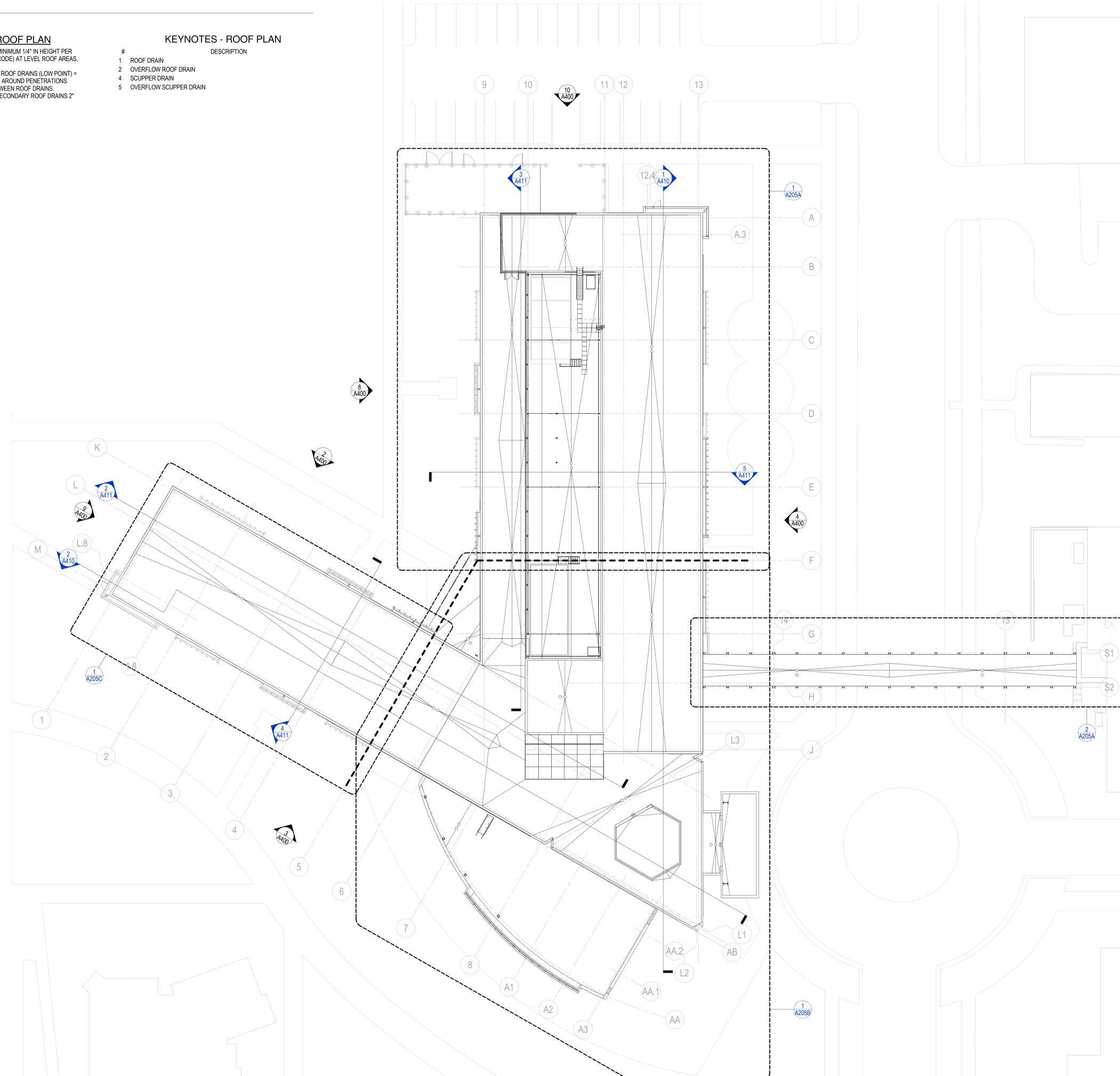
1 ROOF PLAN - OVERALL
1/16" = 1'-0"

GENERAL NOTES - ROOF PLAN

- A. UNIFORMLY SLOPE TAPERED INSULATION MINIMUM 1/4" IN HEIGHT PER 1'-0" HORIZONTALLY (OR AS REQUIRED BY CODE) AT LEVEL ROOF AREAS, UNLESS OTHERWISE NOTED.
- B. MINIMUM ROOF INSULATION THICKNESS AT ROOF DRAINS (LOW POINT) = _____" SLOPE CRICKET INSULATION TO DRAIN AROUND PENETRATIONS (VENTS, STACK, ETC) AND AT VALLEYS BETWEEN ROOF DRAINS.
- C. UNLESS THERE ARE SCUPPERS PROVIDE SECONDARY ROOF DRAINS 2' ABOVE PRIMARY ROOF DRAIN.

KEYNOTES - ROOF PLAN

- | # | DESCRIPTION |
|---|------------------------|
| 1 | ROOF DRAIN |
| 2 | OVERFLOW ROOF DRAIN |
| 4 | SCUPPER DRAIN |
| 5 | OVERFLOW SCUPPER DRAIN |



WE HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A FULLY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF

NOT FOR CONSTRUCTION

NAME: JAMES A. GOEUBSCH
DATE: FEBRUARY 17, 2016
REGISTRATION NUMBER: 41484

NO.	DESCRIPTION	DATE

ROOF PLAN OVERALL

COMM. NO.	1828-029-00
SCALE	N/A
DATE	FEBRUARY 17, 2016

A205

2/17/2016 3:14:48 PM C:\Users\scrdemr\Documents\Projects\Local Files\A16-Augsburg College CSRF-182802900_a0606r01.nt

GENERAL NOTES - CEILING PLAN

- A. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR DEVICE AND FIXTURE INFORMATION.
B. ACOUSTICAL CEILING GRID SHALL BE CENTERED IN ROOM(S) UNLESS NOTED OTHERWISE.
C. CEILING HEIGHTS ARE DIMENSIONED FROM FLOOR DATUM ELEVATION TO FINISHED CEILING WHICH SHALL BE 7'-0" UNLESS OTHERWISE NOTED.
D. CENTER RECESSED LIGHTS, ELECTRICAL, MECHANICAL DEVICES AND SPRINKLER HEADS WHEN SHOWN IN CEILING TILES. WHERE RECESSED LIGHTS ARE SHOWN OFF-CENTER IN 2X4 SCORED CEILING TILE, CENTER THE FIXTURE WITHIN THE 2X2 PORTION OF THE TILE.
E. PROVIDE ACCESS PANEL(S) AS REQUIRED. REVIEW LOCATION OF ACCESS PANEL(S) NOT SHOWN ON THE DRAWINGS WITH ARCHITECT PRIOR TO INSTALLATION.
F. CEILING FINISHES ADJACENT TO OR WITHIN THE LIMITS OF CONSTRUCTION DISTURBED OR DAMAGED BY CONSTRUCTION SHALL BE PATCHED TO MATCH EXISTING ADJACENT CEILING FINISH.

KEYNOTES - CEILING PLAN

- # DESCRIPTION
1 NO CEILING IN THIS ROOM OR AREA
2 <ORN MET-1> BULKHEAD
4 MECHANICAL OPENING - REFER TO MECHANICAL DRAWINGS FOR MORE INFORMATION
5 MECHOSHAD, MANUAL: <WT-1>
6 MECHOSHAD, MOTORIZED: <WT-2>
7 LAB SERVICE PANEL; SEE LAB DRAWINGS
8 <FFDR-1>
9 <OWS-2>
10 <OWS-1>
11 RECESSED PROJECTION SCREEN, OWNER FURNISHED CONTRACTOR INSTALLED
12 <OWS-3>
13 SPEAKER, OWNER FURNISHED CONTRACTOR INSTALLED
14 PROJECTOR, OWNER FURNISHED CONTRACTOR INSTALLED. SEE 20/A071 FOR MOUNTING DETAIL.
15 <FFDR-2> 2-HR RATED, DROP FROM CEILING TO FLOOR

GENERAL NOTES - ROOF PLAN

- A. UNIFORMLY SLOPE TAPERED INSULATION MINIMUM 1/4" IN HEIGHT PER 1'-0" HORIZONTALLY (OR AS REQUIRED BY CODE) AT LEVEL ROOF AREAS, UNLESS OTHERWISE NOTED.
B. MINIMUM ROOF INSULATION THICKNESS AT ROOF DRAINS (LOW POINT) = 2" SLOPE CRICKET INSULATION TO DRAIN AROUND PENETRATIONS (VENTS, STACK, ETC) AND AT VALLEYS BETWEEN ROOF DRAINS.
C. UNLESS THERE ARE SCUPPERS PROVIDE SECONDARY ROOF DRAINS 2' ABOVE PRIMARY ROOF DRAIN.

KEYNOTES - ROOF PLAN

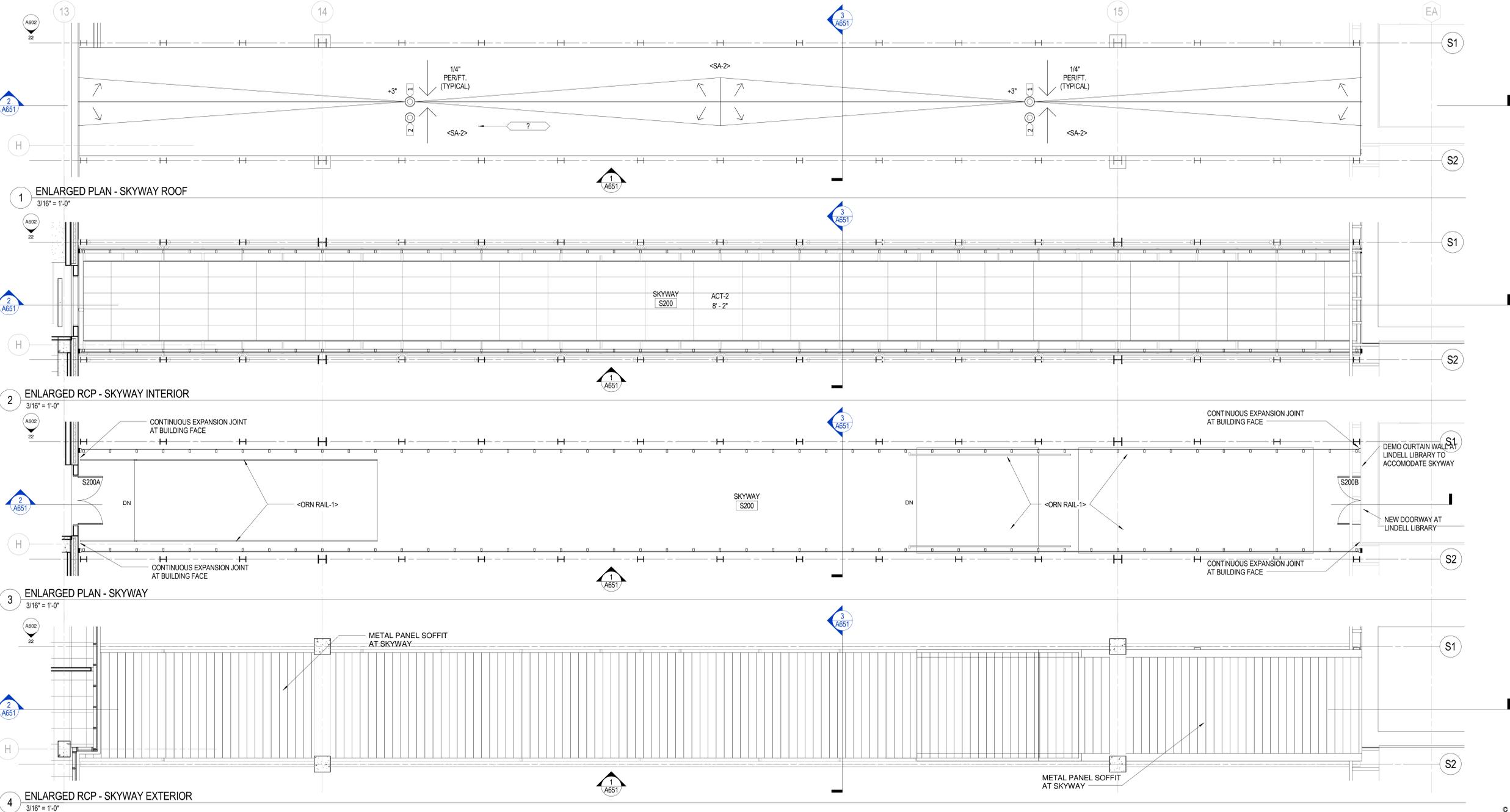
- # DESCRIPTION
1 ROOF DRAIN
2 OVERFLOW ROOF DRAIN
4 SCUPPER DRAIN
5 OVERFLOW SCUPPER DRAIN

GENERAL NOTES - CONSTRUCTION PLAN

- A. ALL INTERIOR PARTITIONS SHALL BE 'A3' UNLESS NOTED OTHERWISE. PLAN DIMENSIONS ARE FROM FACE OF FINISH WHERE 'HOLD' OR 'CLEAR' ARE INDICATED. ALL OTHER PLAN DIMENSIONS ARE FROM FACE OF PARTITION TYPE AND DO NOT INCLUDE APPLIED FINISHES. ENSURE FINISH SURFACES ARE FLUSH AND SEAMLESS WHERE PARTITIONS AND/OR FURRING ARE COPLANAR.
D. ALL PIPING, CONDUITS AND RELATED MECHANICAL AND ELECTRICAL ITEMS SHALL BE CONCEALED WITHIN PARTITION/WALL ASSEMBLY IN FINISHED AREAS UNLESS NOTED OTHERWISE.
E. PROVIDE BACKING/BLOCKING TO SUPPORT ALL WALL-MOUNTED ITEMS.
F. ALL MECHANICAL EQUIPMENT PADS TO BE 4" HIGH MINIMUM, UNLESS NOTED OTHERWISE. SIZE OF PADS TO BE VERIFIED BY CONTRACTOR REFER TO SHEET A082 FOR DETAIL OF TYPICAL DOOR JAMB AT ABUTTING WALLS OR PARTITIONS.
H. ALL OFFICES TO HAVE A SINGLE COAT HOOK <CH-1> MOUNTED ON THE DOOR (ROOM SIDE) UNLESS NOTED OTHERWISE.
I. ALL EXISTING FLOOR OPENINGS AND DEPRESSIONS IN THE WORK SHALL BE FILLED OR CLOSED, UNLESS NOTED OTHERWISE, WITH MATERIALS TO MATCH ADJACENT SURFACES, FINISHES AND FIRE RATINGS.

KEYNOTES - FLOOR PLAN

- # DESCRIPTION
1 MARKER BOARD <MKBD-1>: 5'-0" HEIGHT
2A MARKER BOARD <MKBD-2A>: 5'-0" HEIGHT
2B MARKER BOARD <MKBD-2B>: 5'-0" HEIGHT
3 MARKER BOARD <MKBD-3>
4 MARKER BOARD <MKBD-4>: 5'-0" HEIGHT
5 <CH-5>
6 <OWS-2>
7 <SSF-2> @ SILL
8 <SSF-2> @ SILL (LAB BENCH CONDITION)
9 <FFDR-1>
10 <SSF-2>w/ <ORNMET-2>; <ORNMET-2> INLAID FLUSH WITH <SSF-2>
11 <MET FAB-3>
12 <OWS-1>
13 MONITOR (OWNER FURNISHED)
14 PROJECTION SCREEN: 199" X 112"
15 <OWS-3>
16 <ORN MET-2> AIR INTAKE GRILL @ FLOOR BASE. 4"
17 <WDB-1>
18 <ORN RAIL-3>
19 <AFS-1> FULL HEIGHT TO CEILING
20 CHAIN LINK FENCE (SECURE AREA)
21 CONTROLLED ENVIRONMENT INCLUDING INTERIOR FINISHES, LIGHTING, TEMPERATURE CONTROL, REFRIGERATION, HUMIDITY TO BE PROVIDED BY CONTROLLED ENVIRONMENT MANUFACTURER
22 SEE MECHANICAL DRAWINGS FOR SIZE AND LOCATION OF REQUIRED CONCRETE HOUSEKEEPING PADS.
23 GREENHOUSE STRUCTURE, GLAZING, VENTILATION, AND COOLING, LIGHTING, CONTROLS, AND BENCHES TO BE PROVIDED BY GREENHOUSE MANUFACTURER
24 SEE ELEVATIONS 1 & 2 ON SHEET A602 FOR FINISH INFORMATION AND CASEWORK DETAILS
25 SEE ELEVATION 4 ON SHEET A602 FOR TYP. FINISH INFORMATION AND CASEWORK DETAILS
26 SEE ELEVATION 2 ON SHEET A602 FOR FINISH INFORMATION AND CASEWORK DETAILS
27 SEE ELEVATION 3 ON SHEET A602 FOR FINISH INFORMATION AND CASEWORK DETAILS
28 MOP RACK - SEE LABORATORY FURNISHINGS

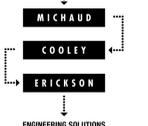


THE HAGFORS CENTER FOR SCIENCE, BUSINESS, AND RELIGION



McGough

HUNT Electric Corporation



oslund.and.assoc.

THEIR CERTIFICATION THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A FULLY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF

NOT FOR CONSTRUCTION

NAME: JAMES A. GOELSRICH DATE: FEBRUARY 17, 2016 REGISTRATION NUMBER: 41484

Table with columns: NO, DESCRIPTION, DATE

Revision history table with columns: NO, DESCRIPTION, DATE

SKYWAY - ENLARGED PLANS & RCP'S

COMM. NO. 1826-029-00 SCALE As indicated DATE FEBRUARY 17, 2016

A650

2/11/2016 3:24:53 PM C:\Users\scrdem\Documents\Revit Local Files\A16-Augsburg College CSBR-1826029000_a650.rvt

QUANTITIES AND TYPES OF DEVICES, FIXTURES, AND EQUIPMENT RATINGS OF EQUIPMENT SHOWN ARE OF PRELIMINARY DESIGN IN NATURE. QUANTITIES AND RATINGS SUBJECT TO CHANGE AS DESIGN DEVELOPS.

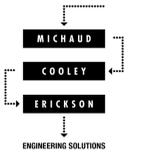


FEBRUARY 17, 2016

THE HAGFORS CENTER
FOR SCIENCE,
BUSINESS, AND
RELIGION



McGough



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NOT FOR
CONSTRUCTION

NO.	DESCRIPTION	DATE

REVISION HISTORY - THIS SHEET

LIGHT FIXTURE
SCHEDULE

COMM. NO. 59910KPP
SCALE
DATE FEBRUARY 17, 2016

E500

LAND USE APPLICATION (LUA)

LIGHT FIXTURE SCHEDULE									
FIXTURE TYPE	MANUFACTURER	CATALOG #	DESCRIPTION	MOUNTING	VOLTAGE	LAMP TYPE	LAMP QTY	LAMP WATT	
AA	CREE	ARE-EDG-5M-R3-08-E-UL-PB-525-P-40K; NAFCO RSS12-404C-TC-CREE PLATINUM BRONZE OR EQUAL	POST MOUNTED LUMINAIRE ON 12FT ROUND STRAIGHT STEEL POLE; 18"D, 9" ABOVE GRADE	GRADE	277V	LED 4000K	LED	90	
AL1	PORTFOLIO	LD8A602DE010-ER8A60827-LM0HWF OR EQUAL	8" LED 1500 LUMEN DOWNLIGHT HSG/MOD/3500K	RECESSED	UNV				
B2	AMETRIX	LC-2-35K-1-C-UNV-24"-ON OR EQUAL	COVE LED FIXTURE	CEILING	UNV	LED 3500K	LED	18	
BB	CREE	ARE-EDG-5M-R3-08-E-UL-PB-525MA-40K; NAFCO RSS12-404C-TC-CREE PLATINUM BRONZE OR EQUAL	POST MOUNTED PARKING LOT LUMINAIRE ON 12FT ROUND STRAIGHT STEEL POLE; 18"D, 9" ABOVE GRADE	GRADE	UNV	LED 4000K	LED	90	
CC	BEGA	BEGA 99570 OR EQUAL	ROUND LED BOLLARD 40"H	GRADE	277V	LED 4000K	LED	18.4	
D1A	PORTFOLIO	LD6A15D01010TE-ERW6A15835-6LW1L1W5 OR EQUAL	6" LED LENSED DOWNLIGHT	RECESSED	UNV	LED 3500K	LED	22.4	
D1B	PORTFOLIO	LD6A30D01010TE-ERW6A30835-6LW1L1WF OR EQUAL	6" LED DOWNLIGHT	RECESSED	UNV	LED 3500K	LED	43.6	
D1C	PORTFOLIO	LD6A15D01010TE-ERW6A15840-6LW1L1W5 OR EQUAL	6" LED LENSED DOWNLIGHT, PROVIDE RED LENS FOR FIXTURES NOTED ON PLANS	RECESSED	UNV	LED 4000K	LED	43.6	
D1D	PORTFOLIO	LD6A20D01010TE-ERW6A30835-6LW1L1WF OR EQUAL	6" LED DOWNLIGHT	RECESSED	UNV	LED 3500K	LED	31.5	
D1E	PORTFOLIO	LD6A10D01010TE-ERW6A10835-6LW1L1WF OR EQUAL	6" LED DOWNLIGHT	RECESSED	UNV	LED 3500K	LED	14	
D2	PORTFOLIO	LD8A602DE010-ER8A60827-LM0HWF OR EQUAL	8" LED 1500 LUMEN DOWNLIGHT HSG/MOD/3500K	RECESSED	UNV				
D3	PORTFOLIO	LD8A602DE010-ER8A60827-LM0HWF OR EQUAL	10" LED 1500 LUMEN DOWNLIGHT HSG/MOD/3500K	RECESSED	UNV				
D4	PORTFOLIO	LD6A15D01010TE-ERW6A15835-6LW1L1W5 OR EQUAL	6" LED LENSED DOWNLIGHT	RECESSED	UNV	LED 3500K	LED	22.4	
DL1	PATHWAY CONVENTRY	6SCALBV-70-27K-B39-LW6 OR EQUAL	HIGH LUMEN RECESSED 6" DOWNLIGHT	RECESSED	UNV	LED 2700K			
DL2	PATHWAY CONVENTRY	6SCALBV-50-27K-B64-LW6 OR EQUAL	HIGH LUMEN RECESSED 6" DOWNLIGHT	RECESSED	UNV	LED 2700K			
DL3	PATHWAY CONVENTRY	6SCALBV-40-27K-B39-LW6 OR EQUAL	HIGH LUMEN RECESSED 6" DOWNLIGHT	RECESSED	UNV	LED 2700K			
DL4	PATHWAY CONVENTRY	6SCALBV-40-27K-B39-LW6 OR EQUAL	HIGH LUMEN RECESSED 6" DOWNLIGHT	RECESSED	UNV	LED 2700K			
DL5	PATHWAY CONVENTRY	6SCALBV-40-27K-B51-6VLBVLW6-HAZPF OR EQUAL	HIGH LUMEN RECESSED 6" WALL WASH	RECESSED	UNV	LED 2700K			
DL6	PATHWAY CONVENTRY	6SCALBV-30-27K-B55-4VLBVLW6-HAZPF OR EQUAL	HIGH LUMEN RECESSED 4" WALL WASH	RECESSED	UNV	LED 2700K			
DL7	JUNO LINDY	L4-33-27-2-G3-L400HN	4" LED DOWNLIGHT NARROW	RECESSED	UNV	LED 2700K			
E1	DUAL LITE	LXURW	UNIVERSAL SINGLE FACED LED EXIT SIGN; THERMOPLASTIC FACE; PROVIDE CHEVRONS AS SHOWN ON PLAN	CEILING	UNV	LED	LED	2.7	
E2	DUAL LITE	LXURW	SIMILAR TO TYPE E1; PROVIDE DOUBLE FACE WITH CHEVRONS AS SHOWN ON PLAN	CEILING	UNV	LED	LED	2.7	
E3	TBD	TBD	EXIT SIGNAGE LOCATED IN LEARNING COMMONS	CEILING	UNV	LED	LED	2.7	
EE	BEGA	BEGA 8800 OR EQUAL	IN-GROUND LUMINAIRE	GRADE	277V	LED 4000K	LED	3	
EM	TBD	APEL	EMERGENCY FIXTURE		277V	LED	LED	1	
F2	METALUX	24AC-LD4-44-UNV-L835-CD1-U OR EQUAL	2x4" RECESSED LIGHT FIXTURE	RECESSED	UNV	LED 3500K		40.6	
F2A	METALUX	8TNSLEDLD4-60SL-LC-UNV-L835-CD1-U OR EQUAL	2x4" RECESSED LIGHT FIXTURE GYP CEILING	RECESSED	UNV	LED 3500K		40.6	
F10	METALUX	8TNSLEDLD4-60SL-LC-UNV-L835-CD1-U OR EQUAL	1x8" CHAIN HUNG LIGHT FIXTURE	SUSPENDED	UNV	LED 3500K		50	
F11	METALUX	4SNLEDLD4-52SL-LC-UNV-L835-CD1-U OR EQUAL	1x4" CHAIN HUNG LIGHT FIXTURE	SUSPENDED	UNV	LED 3500K		50	
F12	TBD	TBD	1x4" CHAIN HUNG LIGHT FIXTURE, VAPOR PROOF	SUSPENDED					
FF	BEGA	BEGA 7680 OR EQUAL	SMALL SCALE LED FLOODLIGHT WITH MOUNTING CANOPY	GRADE		LED 4000K	1	15	
PF1	DIVIDE	DSI-WS-2L35-1D-UNV-AC48-JB OR EQUAL	1x4" LED LINEAR PENDANT	SUSPENDED	UNV			45.4	
PF2A	NULITE	RP6-6D-06L35-UNV OR EQUAL	6x6" LED LINEAR PENDANT	SUSPENDED	UNV				
PF2B	NULITE	RP6-6D-05L35-UNV OR EQUAL	5x6" LED LINEAR PENDANT	SUSPENDED	UNV				
PF3	NULITE	RP6-6D-05L35-UNV OR EQUAL	6x6" LED LINEAR PENDANT	SUSPENDED	UNV				
PF4	PRUDENTIAL	P43LED35S0-R*-SAL-DISC-UNV-X1-DM10 OR EQUAL	RECESSED LED LINEAR	SUSPENDED	UNV		LED	10W/FT	
W1			EXTERIOR WALL SCONCE	WALL					

Rebecca Celis

From: Peacock, Steve <peacock@augsborg.edu>
Sent: Friday, February 12, 2016 12:54 PM
To: Cam A. Gordon
Cc: Robin D. Garwood; Rebecca Celis
Subject: Land Use Application for the Hagfors Center
Attachments: land use application letter - hagfors center 2-11-16.pdf

Hello Cam -

Attached is a letter regarding the Land Use Application that Augsburg College is filing with the City of Minneapolis in order to construct the Hagfors Center for Science, Business, and Religion. Please let me know if you have any questions or concerns.

Regards,

- Steve

--

Steve Peacock
Director of Community Relations
Augsburg College
2211 Riverside Avenue - CB 142
Minneapolis, MN 55454
612-330-1583
peacock@augsborg.edu

Rebecca Celis

From: Peacock, Steve <peacock@augsborg.edu>
Sent: Friday, February 12, 2016 12:51 PM
To: Warsame, Abdi
Cc: Sotela, Marcela; Rebecca Celis
Subject: Land Use Application for the Hagfors Center
Attachments: land use application letter - hagfors center 2-11-16.pdf

Hello Abdi -

Attached is a letter regarding the Land Use Application that Augsburg College is filing with the City of Minneapolis in order to construct the Hagfors Center for Science, Business, and Religion. Please let me know if you have any questions or concerns.

Regards,

Steve

--

Steve Peacock
Director of Community Relations
Augsburg College
2211 Riverside Avenue - CB 142
Minneapolis, MN 55454
612-330-1583
peacock@augsborg.edu

Rebecca Celis

From: Peacock, Steve <peacock@augsborg.edu>
Sent: Friday, February 12, 2016 12:43 PM
To: Mohamed Mohamed
Cc: Rebecca Celis
Subject: Land Use Application for the Hagfors Center
Attachments: land use application letter - hagfors center 2-11-16.pdf

Hi Mohamed -

Attached is a letter regarding the Land Use Application that Augsburg College is filing with the City of Minneapolis in order to construct the Hagfors Center for Science, Business, and Religion. Please let me know if you have any questions.

Regards,

Steve

--

Steve Peacock
Director of Community Relations
Augsburg College
2211 Riverside Avenue - CB 142
Minneapolis, MN 55454
612-330-1583
peacock@augsborg.edu



February 17, 2016

WRITER'S DIRECT DIAL 612-758-4598

Hilary Dvorak
Principal City Planner
City of Minneapolis
CPED - Land Use, Design and Preservation
250 South 4th Street, Room 300
Minneapolis, Minnesota 55415

Re: Augsburg College Hagfors Center for Science, Business and Religion
Land Use Application Resubmittal
HGA Commission Number 1826-029-00

Dear Hilary:

Please see the below responses to the items raised in your January 26, 2016 letter regarding incomplete materials for the Land Use Application for the Hagfors Center at Augsburg College.

1. **Comment:** *Please provide parking details in the application worksheet instead of saying "See TDMP".*
Response: See attached updated worksheet.
2. **Comment:** *A letter from Augsburg College needs to be submitted that authorizes HGA Architects to represent them through the land use application process.*
Response: The letter was included in the digital materials submitted on January 8, 2016. A hard copy is also now included.
3. **Comment:** *Letters and/or emails need to be sent to the Council Member (2nd Ward and 6th Ward) and the neighborhood organization (Cedar Riverside) introducing the project, informing them of what applications are required, etc. (see the General Land Use Application checklist for all of the details).*
Response: See attached confirmation of letters sent to council members and neighborhood organizations.
4. **Comment:** *Please submit a master development plan that describes proposed physical development for a period of five (5) years and a period from five (5) to ten (10) years and shall include a description of proposed development phases and plans, including development priorities, the probable sequence for proposed development, estimated dates of construction, and anticipated interim use of property awaiting to be developed.*
Response:
 - a. Augsburg College's Master Plan and phasing diagrams are included in Sheets L400 through L405 of this re-submittal. They have been updated to illustrate the proposed building footprint and site design for the Hagfors Center for Science, Business, and Religion. L400 illustrates the existing plan of the campus. L401 illustrates years 1-5 of the Master Plan, which was ratified by the board of directors in 2011... Existing buildings, planned building renovations and new buildings are shown in dark maroon, light maroon, and pink tones, respectively (see key at right). New buildings include the Hagfors Center for Science,

Business, and Religion (which currently includes campus parking area and three small campus buildings) at 6th Street and 21st Avenue.

- b. For the period from five to ten years, Please refer to L403 of the application, which illustrates the vision for the campus in 10 years. Existing buildings, planned building renovations and new buildings are shown in dark maroon, light maroon, and pink tones, respectively (see key at right). Planned additions include a Mixed Use Fine Arts Building (which currently includes a campus parking lot) at 6th Street and 21st Avenue, and Campus residence hall (which would occupy the site of the existing Mortensen and Urness Residence Halls and parking area) at the South end of 21st Avenue.
 - c. For the proposed description of development phases and plans, Please refer to L402 and L404, which highlight the campus projects included in the 1-5 year and 6-10 year phases of the plan, respectively. The Hagfors Center for Science, Business, and Religion is the priority project in the 2011 Master Plan. Additional projects to follow were prioritized by phase as shown on L402 and L404, and L405 (The full 20-year+ vision for the campus). Construction dates beyond the Hagfors Center project have not been confirmed or established, and are subject to change with future campus planning activities.
 - d. For the interim use of the property waiting to be developed, please refer to L400, The Existing Campus Plan, which illustrates the campus land use prior to development of the Hagfors Center, and all other projects outlined in the 2011 Master Plan.
5. **Comment:** *Written responses to the findings for a conditional use permit and the plat need to be submitted. Please explain your responses.*
Response: A written statement in regards to the conditional use permit has been added to the accompanying Land Use Application cover letter.
 6. **Comment:** *Please provide details of the screening material around the mechanical equipment and the trash and recycling area.*
Response: Architectural elevations and a detailed plan are now indicated in our submittal materials.
 7. **Comment:** *Please put the floors plans for each level on one page instead of separating them into three pages.*
Response: The floor plans are now shown on one sheet.
 8. **Comment:** *Please indicate on the site, civil and landscaping plans where the loading space is located. Please dimension the loading space.*
Response: Dimensions of the loading area have been added.
 9. **Comment:** *Please provide elevations of the north elevation with and without the screen wall around the mechanical equipment and the trash and recycling area.*
Response: Architectural elevations now show these elements.
 10. **Comment:** *Is it possible to move the parking lot to the west so it does not extend closer to the street than the front wall of the building?*
Response: The parking lot has been shifted west to align with the building edge.

11. **Comment:** *The fees for the project are as follows:*

Conditional use permit for a college \$1,035.00

Site plan review \$1,660.00

TDMP \$570.00

Publication in Finance & Commerce \$25.00

Postage 102 labels at .49 cents each \$49.98

The total fee for the land use applications is \$3,339.98. You submitted a check for \$4,170.00. I have voided out this check and am returning it to you. Please submit a new check in the amount of \$3,339.98 payable to the Minneapolis Finance Department.

Response: With the addition of two variances at \$880 each, the new total is now \$5,099.98. A new check has been included with the application.

Sincerely,



Rebecca E. Celis, AIA
Associate Vice President

cc: Bake Baker, McGough Construction
Dennis Stuckey, Augsburg College
Sandra Rolph, Oslund and Associates