

LAND USE APPLICATION SUMMARY

Property Location: 101 1st Avenue N
Project Name: 101 1st Avenue N Townhomes
Prepared By: Kimberly Holien, Senior Planner, (612) 673-2402
Applicant: Shorenstein Realty Services
Project Contact: Carl Runck, Ryan Companies
Request: To construct a residential structure with 13 attached townhome units.
Required Applications:

Variance	To the minimum Floor Area Ratio requirement in the B4N, Downtown Neighborhood District.
Site Plan Review	For the construction of a new residential structure with 13 attached townhome units.

SITE DATA

Existing Zoning	B4N, Downtown Neighborhood District DP, Downtown Parking Overlay District MS, Mississippi River Critical Area Overlay District
Lot Area	17,499 square feet / 0.4 acres
Ward(s)	3
Neighborhood(s)	North Loop
Designated Future Land Use	Mixed Use
Land Use Features	Growth Center (Downtown)
Small Area Plan(s)	North Loop Small Area Plan (2010)

Date Application Deemed Complete	September 8, 2015	Date Extension Letter Sent	N/A
End of 60-Day Decision Period	November 7, 2015	End of 120-Day Decision Period	N/A

BACKGROUND

SITE DESCRIPTION AND PRESENT USE. The subject site is located on the block bordered by Hennepin Avenue, 1st Street N, 1st Avenue N and 2nd Street N. The property comprises a narrow strip of land on the west side of the block. It is currently a surface parking lot. Historically, the site contained a series of buildings that were demolished between 1930 and 1965. The site has since been used as a surface parking lot.

SURROUNDING PROPERTIES AND NEIGHBORHOOD. The subject site is one of three properties under common ownership on the same block. The applicant is also proposing a project for an 8-story mixed use building on the east side of the block that is covered under a separate application. The subject block also contains a 6-story parking ramp in the center of the block that is under common ownership with the subject site. A three story brick building that contains an office use is located at the corner of 1st Avenue N and 2nd Street N. The property on the block south of the site contains a mixed use building known as 222 Hennepin. The block north of the site contains the Federal Reserve campus. To the west, across 1st Avenue N is a series of commercial buildings with various uses. A 16-story residential building is located to the east, across Hennepin Avenue.

PROJECT DESCRIPTION. The applicant is proposing to construct a new residential building with 13 attached townhome units. The units will have individual entrances at grade fronting along 1st Avenue N. Each unit will have an attached garage at the rear accessed from a driveway on the back side of the building. The general layout of each unit includes an entryway and garage on the partially subterranean first level, living space, kitchen and bath on the 2nd floor and two bedrooms on the third floor. Each unit has a partial fourth floor that steps back to allow for roof decks facing west. The front of each unit will have a small landscaped area that is fenced to delineate between public and private space. The property extends behind the neighboring three-story brick building at 133 1st Avenue N, south of the site. This portion of the site will remain a driveway and surface parking stalls for the property at 133 1st Avenue N will remain.

The site is within the Saint Anthony Falls Historic District and received approvals for a Certificate of Appropriateness from the Heritage Preservation Commission on August 11, 2015. The current application has incorporated all conditions of approval from the Heritage Preservation Commission and is otherwise identical to what was approved by that body. Conditions of approval from that meeting primarily related to the materials on the back side of the building.

The subject site is also part of a plat application that is being processed with the mixed-use project that the applicant is proposed at 100 Hennepin Avenue, on the east side of the block. The existing lot lines for the subject site are not being modified as part of that application (PL-299). The findings for the plat are evaluated under the staff report for 100 Hennepin Avenue.

The minimum floor area ratio requirement in the B4N, Downtown Neighborhood District is 2.0. The proposed project includes 28,311 square feet of gross floor area on a site that is 17,499 square feet in area, equivalent to a floor area ratio (FAR) of 1.61. A variance has been requested to reduce the minimum floor area ratio requirement from 2.0 to 1.61 accordingly.

PUBLIC COMMENTS. No correspondence had been received as of the writing of this report. Any correspondence received prior to the public meeting will be forwarded on to the Planning Commission for consideration.

RELATED APPROVALS.

Planning Case #	Application	Description	Action
PL-299	Preliminary and Final Plat	Preliminary and Final Plat affecting three properties on the subject block	The plat is being processed concurrently with BZZ-7404 and will be evaluated at the meeting of October 19, 2015
BZH-28750	Certificate of Appropriateness	Certificate of Appropriateness for new construction in the Saint Anthony Falls Historic District	Approved by the Heritage Preservation Commission on August 11, 2015

ANALYSIS

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance of the minimum floor area ratio requirement in the B4N district based on the following findings:

- 1. Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

The minimum floor area ratio requirement in the B4N district is 2.0. The proposed project includes 28,311 square feet of gross floor area on a site that is 17,499 square feet in area for a floor area ratio of 1.61. Practical difficulties exist in compliance with the ordinance because of circumstances unique to the property. The subject property is a long narrow site that is only 26 feet deep and approximately 283 feet wide at its narrowest point. The narrow depth of the site and need to provide parking limits the footprint of the building. The footprint of the building is 28.9' in depth and the remainder of the site depth is needed to provide access to the garages and to the parking behind the building at the corner of 2nd Street N and 1st Avenue N. These circumstances are unique to the property and have not been created by the applicant.

- 2. The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The applicant is proposing to use the property in a reasonable manner. This site has been vacant for decades and is difficult to develop due to the long, narrow configuration. The applicant is proposing a four-story townhome development with access from the rear. The proposed development provides a housing product that is rare in this portion of downtown, contributing to the diversity of housing types as called for in the Comprehensive Plan. The minimum FAR requirements are established to achieve dense development and prevent the underutilization of sites. A four-story building in this location fills in a gap in the urban fabric in a manner that is in keeping with the spirit and intent of the ordinance.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

The proposed variance will not alter the essential character of the locality nor will it be injurious to the use and enjoyment of other property in the vicinity. The proposed project includes a four-story townhome development with 13 residential units on a property that is currently vacant. The height and density of the building is in keeping with the character of the surrounding area.

SITE PLAN REVIEW

The Department of Community Planning and Economic Development has analyzed the application based on the required findings and applicable standards in the site plan review chapter:

I. Conformance to all applicable standards of Chapter 530, Site Plan Review.

Building Placement and Design – Requires alternative compliance

- The building is proposed to fill in a gap in the urban fabric along 1st Avenue N and 1st Street N. The placement of the building reinforces the streetwall.
- The proposed building is located within eight feet of the front and corner side property lines. The building is setback five feet from the front property line along 1st Avenue N and 2.8 feet from the north property line along 1st Street N.
- The five-foot space between the building and the public sidewalk along 1st Avenue N contains ground level patios, decorative fencing and landscaping. The area between the building wall and the public sidewalk along 1st Street N contains landscaping.
- Each unit has an individual entrance facing 1st Avenue N.
- All parking will be enclosed within the building. Each unit has an attached garage on the first floor, accessed from the rear.
- The upper floors of the building facing 1st Avenue N have a significant amount of clear glazing facing streets to create visual interest and provide opportunities to observe adjacent spaces. However, the amount of glazing on the first floor of this elevation and the north elevation is lacking. The north elevation, facing 1st Street N, has no windows on the first or fourth floors. This is a missed opportunity to provide visual interest and create opportunities for natural surveillance and visibility of adjacent spaces. Alternative compliance is requested.
- There two instances of blank wall in excess of 25 feet. On the north elevation, facing 1st Street N, the first floor is approximately 29 feet in length and entirely blank. On the south elevation, the third floor is approximately 29 feet in length and also entirely blank. Alternative compliance is requested.
- All proposed exterior materials are durable. On the front and side elevations, the proposed primary materials include brick on the ground floor with metal panel and stucco on the upper floors. On the rear elevation, the base of the building is burnished block in the same color as the brick on the other elevation and stucco and metal panel on the upper floors. The applicant is proposing three primary exterior materials; brick, metal panel and stucco.
- All four sides of the building are compatible with one another in terms of materials and appearance.
- Plain face concrete block is not proposed.
- The minimum window requirement for residential uses is 20 percent on the ground floor where facing a street or on-site parking lot and 10 percent on the upper floors. In this case, the minimum window requirements apply to the north and west elevations. Per Table 2 below, the building is deficient in windows on the ground floor of both the north and west elevations. No glazing is proposed on the ground floor of the north elevation and the amount of glazing provided on the ground floor of the west elevation is less than half of the minimum requirement. The west

elevation contains 148 square feet of glazing on the ground floor that is not reflected in the table below because the bottoms of these windows are more than four feet above grade. Alternative compliance is requested for the window requirement on the ground floor. On the upper floors, alternative compliance is requested for the fourth floor of the north elevation where no windows are proposed. All windows are vertical in proportion. On the west elevation, the windows are more or less evenly distributed. On the north elevation, the distribution is not even. Required ground floor windows shall maintain a visible light transmittance ratio of 0.6 or higher.

- Parking, loading, storage and mechanical rooms cannot exceed 30% of linear frontage where facing a public street. The north elevation, facing 1st Street N, contains a garage for 68.9 percent of the ground floor. Alternative compliance is requested. Active functions are provided for 100 percent of the ground floor facing 1st Street N.
- The roofline is flat, similar to other buildings in the area.
- All parking will be enclosed in the ground floor of the building with active functions lining the front elevation.

Table 1. Percentage of Windows Required for Elevations Facing a Public Street, Sidewalk, Pathway, or On-Site Parking

	Code Requirement		Proposed	
Nonresidential Uses				
Ist Floor (west)	20% minimum	431.7 sq. ft.	6%	130 sq. ft.
Upper Floors (west)	10% minimum	216 sq. ft.	43.9%	949 sq. ft.
Ist Floor (north)	20% minimum	148.8 sq. ft.	0%	0 sq. ft.
Upper Floors (north)				
Second Floor	10% minimum	25.2 sq. ft.	30.5%	77 sq. ft.
Third Floor	10% minimum	25.2 sq. ft.	22%	56 sq. ft.
Fourth Floor	10% minimum	25.2 sq. ft.	0%	0 sq. ft.

Access and Circulation – Meets requirements

- Each townhome unit has its own entrance facing 1st Avenue N. Each entrance is connected to the public sidewalk with walkways that are four feet in width. All parking is enclosed within the building.
- There are no transit shelters adjacent to the site currently and none are proposed as part of the project. Metro Transit busses do queue in front of the site along 1st Avenue N and 1st Street N prior to starting their routes. The applicant is working with Metro Transit on this issue.
- Vehicle access into the site is proposed via an existing curb cut from 1st Street N. The driveway on the back side of the building is proposed as a one-way, exiting onto 2nd Street N via a second existing curb cut. This driveway also provides access to parking located behind the adjacent office building at the corner of 1st Avenue N and 2nd Street N.
- Vehicular access and circulation will be designed to minimize conflicts with pedestrians and adjacent residential uses. All parking is proposed within the building and vehicles will be able to maneuver out of the garages on-site without interfering with the public sidewalk or other pedestrian walkways.
- The site does not include alley access and there are no adjacent residential uses at this time. As noted above, there is a concept plan for a mixed-use building on the east side of the block.
- The site plan is generally designed to minimize the use of impervious surfaces. While the site plan requires alternative compliance for the amount of required landscaping, this is largely due to the need for a driveway on the back side of the building to provide access.

Landscaping and Screening – Requires alternative compliance

- The proposed amount of landscaping on site is below the minimum requirement, per Table 3 below. Landscaping is primarily proposed between the building and the public sidewalk. Not counting the landscaping proposed in the right-of-way, the amount provided is equivalent to 6 percent of the net site area. Alternative compliance is requested.
- The site requires four canopy trees and 20 shrubs. Per Table 3 below, a total of 161 shrubs would be provided on site. While no trees are proposed on the property, the applicant is proposed seven canopy trees and six ornamental trees in the right-of-way along 1st Avenue N. The trees are proposed in open beds that also include shrubs and perennials. Alternative compliance is requested for the minimum tree planting requirement.
- All parking is enclosed and no other landscaping requirements apply.
- The installation and maintenance of all landscape materials shall comply with Section 530.210 of the zoning code.

Table 2. Landscaping and Screening Requirements

	Code Requirement	Proposed
Lot Area	--	17,499 sq. ft.
Building footprint	--	7,513 sq. ft.
Remaining Lot Area	--	9,986 sq. ft.
Landscaping Required	1,997 sq. ft.	554 sq. ft.
Canopy Trees (1: 500 sq. ft.)	4 trees	0 trees
Shrubs (1: 100 sq. ft.)	20 shrubs	161 shrubs

Additional Standards – Meets requirements

- All parking is proposed within the building and requirements for on-site stormwater retention in parking lots are not applicable.
- The proposed four-story building will not impact any important views.
- The proposed four-story building will not generate significant shadows that would impact any public spaces or adjacent properties.
- The construction of this four-story building with a recessed fourth floor is not expected to generate wind currents at ground level.
- The site plan and building design generally include crime prevention through environmental design (CPTED). Sidewalks clearly direct pedestrian movements through and around the site and the patios proposed in front of each unit are bordered with ornamental fencing to distinguish between public and private spaces. Staff is recommending that additional windows be added facing the public streets to further implement basic CPTED principals.
- The site is located in the Saint Anthony Falls Historic district and received approvals for a Certificate of Appropriateness for new construction on August 11, 2015. The site is currently a surface parking lot and no structures are being demolished as part of the project.

2. Conformance with all applicable regulations of the zoning ordinance.

The proposed use is a *permitted use* in the B4N District.

Off-street Parking and Loading – Meets requirements

- Residential projects in the Downtown Districts are not subject to minimum parking requirements.

- The maximum parking requirement for residential units in the B4N district is 1.6 spaces per unit. While the attached garages may be able to fit two cars in some circumstances, the minimum width of the garages is 16 feet, which is only adequate for one standard size parking stall. As such, the project does not exceed the maximum parking requirement in the B4N district.
- The bicycle parking requirement is one space for every two units. The applicant is proposing 13 units, requiring 6 bicycle parking spaces. Each unit has an attached garage with adequate room for a minimum of one bicycle parking space.

Table 3. Bicycle Parking and Loading Requirements (Chapter 541)

	Minimum Bicycle Parking	Minimum Short-Term	Minimum Long-Term	Proposed	Loading Requirement	Proposed
Residential	6	Not less than 90%	--	13	--	--
Total	6	--	5	13	--	--

Building Bulk and Height – Requires variance(s)

- The applicant has requested a variance to reduce the minimum floor area ratio requirement from 2.0 to 1.61. Staff is recommending approval of said variance, as evaluated above.
- The applicant is proposing 13 units on a lot that is 0.4 acres in size, for a density of 32.5 dwelling units per acre.

Table 5. Building Bulk and Height Requirements

	Code Requirement	Proposed
Lot Area	--	17,499 sq. ft.
Gross Floor Area (GFA)	--	28,311 sq. ft.
Minimum Floor Area Ratio (GFA/Lot Area)	2.0	1.61
Maximum Floor Area Ratio (GFA/Lot Area)	--	1.61
Maximum Building Height	10 stories or 140 feet, whichever is less	4 stories, 46 ft.

Lot Requirements – Not applicable

Yard Requirements – Meets requirements with Conditions of Approval

- Development in the downtown districts is not subject to minimum yard requirements except where residential windows face a rear or interior side yard. In this case, the project is subject to a setback along the south interior side yard and east rear yard only. The required setback is 5+2(x) where x is equal to the number of stories above the first floor. For this four-story building, the required setback is 11 feet. The building was originally proposed at 10.5 feet from the south property line. The applicant updated the site plan after the initial submittal to show an 11-foot setback from the south property line. Because this update occurred after the initial submittal, some plan sheets still show a 10.5 foot setback. To clarify this issue, a condition of approval will be added to the site plan review application requiring the 11-foot setback.

Table 4. Minimum Yard Requirements

	Zoning District	Overriding Regulations	Total Requirement	Proposed
Interior Side (south)	11 ft.	--	11 ft.	11 ft.
Rear (east)	11 ft.	--	11 ft.	22.1 ft.

Signs – Meets requirements

- Signs are subject to Chapter 543 of the Zoning Code. All new signs are required to meet the requirements in Chapter 543. No signage has been proposed for this residential building at this time. Any future signage requests will require separate sign permits.

Screening of Mechanical Equipment – Meets requirements

- All mechanical equipment is subject to the screening requirements of Chapter 535 and district requirements:

535.70. Screening of mechanical equipment.

(a) In general. All mechanical equipment installed on or adjacent to structures shall be arranged so as to minimize visual impact using one (1) of the following methods. All screening shall be kept in good repair and in a proper state of maintenance.

- (1) Screened by another structure. Mechanical equipment installed on or adjacent to a structure may be screened by a fence, wall or similar structure. Such screening structure shall comply with the following standards:
 - a. The required screening shall be permanently attached to the structure or the ground and shall conform to all applicable building code requirements.
 - b. The required screening shall be constructed with materials that are architecturally compatible with the structure.
 - c. Off-premise advertising signs and billboards shall not be considered required screening.
- (2) Screened by vegetation. Mechanical equipment installed adjacent to the structure served may be screened by hedges, bushes or similar vegetation.
- (3) Screened by the structure it serves. Mechanical equipment on or adjacent to a structure may be screened by a parapet or wall of sufficient height, built as an integral part of the structure.
- (4) Designed as an integral part of the structure. If screening is impractical, mechanical equipment may be designed so that it is balanced and integrated with respect to the design of the building.

- All rooftop mechanical equipment shall be screened in accordance with the regulations above.

Refuse Screening – Meets requirements

- All refuse and recycling storage containers are subject to the screening requirements in Chapter 535:

535.80. Screening of refuse and recycling storage containers.

Refuse, recycling storage, and compost containers shall be enclosed on all four (4) sides by screening compatible with the principal structure not less than two (2) feet higher than the refuse container or shall be otherwise effectively screened from the street, adjacent residential uses

located in a residence or office residence district and adjacent permitted or conditional residential uses.

- Trash receptacles for each townhome will be stored within the unit and wheeled out to the rear driveway for pickup.

Lighting – Meets requirements

- Existing and proposed lighting must comply with Chapter 535 and Chapter 541 of the zoning code, including the following:

535.590. Lighting.

(a) In general. No use or structure shall be operated or occupied as to create light or glare in such an amount or to such a degree or intensity as to constitute a hazardous condition, or as to unreasonably interfere with the use and enjoyment of property by any person of normal sensitivities, or otherwise as to create a public nuisance.

(b) Specific standards. All uses shall comply with the following standards except as otherwise provided in this section:

- (1) Lighting fixtures shall be effectively arranged so as not to directly or indirectly cause illumination or glare in excess of one-half (1/2) footcandle measured at the closest property line of any permitted or conditional residential use, and five (5) footcandles measured at the street curb line or nonresidential property line nearest the light source.
 - (2) Lighting fixtures shall not exceed two thousand (2,000) lumens (equivalent to a one hundred fifty (150) watt incandescent bulb) unless of a cutoff type that shields the light source from an observer at the closest property line of any permitted or conditional residential use.
 - (3) Lighting shall not create a sensation of brightness that is substantially greater than ambient lighting conditions as to cause annoyance, discomfort or decreased visual performance or visibility to a person of normal sensitivities when viewed from any permitted or conditional residential use.
 - (4) Lighting shall not create a hazard for vehicular or pedestrian traffic.
 - (5) Lighting of building facades or roofs shall be located, aimed and shielded so that light is directed only onto the facade or roof.
- No photometric plan has been submitted at this time.

Fences – Meets requirements

- Fences must comply with the requirements in Chapter 535. The applicant is proposing 3-foot ornamental fencing in front of each unit, between the front entrance and the public sidewalk.

Specific Development Standards – Not applicable

3. Conformance with the applicable policies of *The Minneapolis Plan for Sustainable Growth*.

The Minneapolis Plan for Sustainable Growth identifies the site as mixed use on the future land use map. The property is in Downtown Minneapolis, which is identified as a Growth Center on the future land use. The proposed development is consistent with the following principles and policies outlined in the comprehensive plan:

Land Use Policy 1.8: Preserve the stability and diversity of the city's neighborhoods while allowing for increased density in order to attract and retain long-term residents and businesses.

- 1.8.1 Promote a range of housing types and residential densities, with highest density development concentrated in and along appropriate land use features.

Land Use Policy 1.15: Support development of Growth Centers as locations for concentration of jobs and housing, and supporting services.

- 1.15.3 Encourage the development of high- to very high-density housing within Growth Centers.

Urban Design Policy 10.2: Integrate pedestrian scale design features into Downtown site and building designs and infrastructure improvements.

- 10.2.1 The ground floor of buildings should be occupied by active uses with direct connections to the sidewalk.
- 10.2.2 The street level of buildings should have windows to allow for clear views into and out of the building.
- 10.2.3 Ensure that buildings incorporate design elements that eliminate long stretches of blank, inactive building walls such as windows, green walls, architectural details, and murals.

Urban Design Policy 10.4: Support the development of residential dwellings that are of high quality design and compatible with surrounding development.

- 10.4.2 Promote the development of new housing that is compatible with existing development in the area and the best of the city’s existing housing stock.

Urban Design Policy 10.6: New multi-family development or renovation should be designed in terms of traditional urban building form with pedestrian scale design features at the street level.

- 10.6.1 Design buildings to fulfill light, privacy, and view requirements for the subject building as well as for adjacent properties by building within required setbacks.
- 10.6.2 Promote the preservation and enhancement of view corridors that focus attention on natural or built features, such as the Downtown skyline, landmark buildings, significant open spaces or bodies of water.
- 10.6.3 Provide appropriate physical transition and separation using green space, setbacks or orientation, stepped down height, or ornamental fencing to improve the compatibility between higher density and lower density residential uses.
- 10.6.4 Orient buildings and building entrances to the street with pedestrian amenities like wider sidewalks and green spaces.
- 10.6.5 Street-level building walls should include an adequate distribution of windows and architectural features in order to create visual interest at the pedestrian level.
- 10.6.6 Integrate transit facilities and bicycle parking amenities into the site design.

The proposed project is consistent with the above policies of the Comprehensive Plan. The applicant is proposing 13 attached townhomes on a site that is currently a surface parking lot. This type of housing product is not very common in this part of downtown and will contribute to the diversity of housing types in the area. The applicant is incorporating traditional urban design principals into the project by placing the building relatively close to the street with individual entrances connecting to the public sidewalk. Staff will be recommending additional ground floor windows in order to maintain consistency with the urban design policies above and the requirements of Chapter 530, Site Plan Review.

4. Conformance with applicable development plans or objectives adopted by the City Council.

The site is within the study area of the *North Loop Small Area Plan*. Per the plan, the subject site is in the “Old Warehouse” land use district. The recommendations specific to this district primarily relates to properties fronting on Hennepin Avenue. The following plan policies are relevant to the subject proposal:

Land Use:

- Promote an overall increase in neighborhood housing density that includes a continuum of housing choices.
- Actively work toward supplying additional ownership and rental housing options to meet the needs of low and moderate incomes. North Loop Small Area Plan
- New development should be geared toward the removal of surface parking lots and other under-developed sites.

Development Guidelines:

- Build parking for new development underground or behind the building.
- Improve greening and landscaping along public sidewalks.
- Include prominent front entrances and abundant window glass on building facades.
- Face principal entrances of buildings – commercial, industrial, residential – to the street and public sidewalk.
- Increase development intensity consistent with the character of a Downtown neighborhood.
- Evaluate new construction for its sensitivity to preserving significant views of existing landmarks and/or enhancing view corridors from public spaces that need further definition.

The applicant is proposing an infill project on an existing surface parking lot to establish an attached townhome development with 13 residential units. The overall project is generally consistent with the plan policies outlined above. The site is in Development Intensity District A. Appropriate building types in this district include residential, commercial, or industrial buildings of two to six stories. The proposed 4-story building is in keeping with the recommended development intensity.

5. Alternative compliance.

The Planning Commission or zoning administrator may approve alternatives to any site plan review requirement upon finding that the project meets one of three criteria required for alternative compliance. Alternative compliance is requested for the following requirements:

- **Windows.** Alternative compliance is requested for the window requirement on the west elevation, facing 1st Avenue N, and on the north elevation, facing 1st Street N. On the west elevation, windows are provided for approximately 6 percent of the ground floor and the minimum requirement is 20 percent. In terms of square footage, this elevation is deficient by 301.7 square feet. There is approximately 148 square feet of additional glazing on this elevation that starts above four feet from grade, therefore this glazing is not counted toward the minimum requirement. On the north elevation, the minimum requirement is also 20 percent and no glass is proposed on the first floor. The minimum requirement on the upper floors is 10 percent and the fourth floor contains no glazing. Staff does not recommending granting alternative compliance for the minimum window requirement. The glazing requirement is a standard urban design principle and adds visual interest to the building and provides opportunities for crime prevention through design by allowing residents to observe adjacent spaces and putting eyes on the street. This requirement is

reinforced by policies in the comprehensive plan and the *North Loop Small Area Plan*. A condition of approval requiring additional glazing has been recommended accordingly.

- **Blank Walls.** There two instances of blank wall in excess of 25 feet. On the north elevation, facing 1st Street N, the first floor is approximately 29 feet in length and entirely blank. On the south elevation, the third floor is approximately 29 feet in length and also entirely blank. As noted above, staff is recommending that the first floor of the north elevation be revised to meet the minimum window requirement. This would eliminate the blank wall. Therefore, staff does not recommend granting alternative compliance. Nor does staff recommend granting alternative compliance for the south elevation. The south elevation is highly visible given the 10.5 foot setback provided between the proposed building and the building to the south. As a condition of approval, a window, material change or other architectural element will be required on the third floor of the south elevation.
- **Active Functions.** Parking, loading, storage and mechanical rooms cannot exceed 30% of linear frontage where facing a public street. The north elevation, facing 1st Street N, contains a garage for 68.9 percent of the ground floor. Staff recommends granting alternative compliance for this provision, given the unique housing product being proposed by the applicant and the site constraints related to access and width. However, as noted above, additional glazing will be required on this elevation to make it appear more active at street level.
- **Landscaping.** The proposed amount of landscaping on site requires alternative compliance. The minimum requirement is 20 percent of the net site area. Not counting the landscaping proposed in the right-of-way, the amount provided is equivalent to 6 percent of the net site area. Alternative compliance is also requested for the minimum tree planting requirement. The site requires four on-site canopy trees and none are provided on site. However, seven canopy trees and six ornamental trees are proposed within landscaped beds in the right-of-way along 1st Avenue N. These landscaped beds in the right-of-way equate to a total of approximately 936 square feet of landscaping. The only other area on-site with room for landscaping is between the building and the parking ramp to the east. This is a narrow space that will get very little sunlight, making it difficult for any landscaping to thrive in this location. Staff recommends granting alternative compliance for the landscaping requirements due to the amount of landscaping proposed in the right-of-way directly in front of the site and the site constraints that limit potential locations for landscaping.

RECOMMENDATIONS

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt staff findings for the applications by Ryan Companies for the properties located at 101 1st Avenue N:

A. Variance of the minimum floor area ratio requirement in the B4N district.

Recommended motion: **Approve** the application for the variance to reduce the minimum floor area ratio from 2.0 to 1.61.

B. Site Plan Review for a new residential building with 13 attached townhomes.

Recommended motion: **Approve** the application for site plan review, subject to the following conditions:

- I. CPED Staff review and approval of the final site plan, lighting plan, landscaping plan, and elevations before permits may be issued.

2. All site improvements shall be completed by October 19, 2017, unless extended by the Zoning Administrator, or permits may be revoked for noncompliance.
3. The south building wall shall maintain a minimum interior side yard setback of 11 feet.
4. Glazing equivalent to 20 percent of the first floor elevations on the north and west sides of the building and 10 percent of the fourth floor of the north shall be provided, in compliance with Section 530.120 of the zoning code.
5. The third floor of the south elevation shall be revised to include a window, material change or other architectural element to reduce the width of the blank well below 25 feet, in compliance with Section 530.120 of the zoning code.

ATTACHMENTS

1. Written description and findings submitted by applicant
2. PDR report
3. Zoning map
4. Plans
5. Floor Plans
6. Building elevations
7. Shadow Study
8. Photos
9. Correspondence

Project Description:

The proposed project includes parcels on the east and west sides of an existing six-story parking ramp that are being submitted as separate applications. The parcel at 100 Hennepin Avenue comprises the entire block face along Hennepin Avenue between 1st Street N and 2nd Street N. The parcel at 101 1st Avenue N is a narrow strip of land on the west side of the ramp. Both parcels are currently used as surface parking. Both project sites are located in the St. Anthony Falls Historic District. The historic designation of the St. Anthony Falls Historic District focuses on the urbanization of the Falls with a period of significance between 1858 and 1941.

The mixed-use project includes an eight-story building fronting along Hennepin Avenue with two ground floor commercial tenants and 161 dwelling units. The building actually functions as six stories plus a mezzanine but is considered eight stories per the zoning code definition of height. There are 49 enclosed parking stalls proposed at grade and the rest of the residential parking will be accommodated in the adjacent parking ramp. The first floor of the building has walk-up loft-style townhome units along Hennepin Avenue and 2nd Street N and a commercial tenant at each corner. The loft townhome units have awnings above the entrances which open to patio areas. Narrow landscaped areas are provided between the building and the public sidewalk. The residential lobby is located near the center of the Hennepin Avenue façade with the entrance facing Hennepin Ave. The retail tenant at this corner is also oriented toward Hennepin Ave. Above the first floor the building is divided into three sections or modules that read as separate buildings. Two rooftop amenity courtyards are proposed between these sections. The ground floor of the building will be primarily brick and glass. Above the first floor each of the modules has 3 stories of brick with the top two stories having vertically oriented metal panel and a cornice element. The northernmost and southernmost sections contain penthouse units with mezzanines and higher roofs. The northernmost section will include a 'tower' element clad in a decorative metal panel accent color. The recessed elevations facing Hennepin Avenue will be dark ribbed metal panel.

The project also includes 13 walk-up townhome units on a narrow parcel that fronts on 1st Avenue N. These townhome units will be oriented to 1st Avenue N and have tuck-under garages accessed from the rear. The townhomes are four stories in height with the fourth floor recessed to allow for rooftop terraces. In terms of materials, the townhomes will have brick on the first floor, stucco with metal panel accents on the second and third floors and painted fiber cement on the fourth floor.

Access into the ground floor parking of the mixed-use building occurs at two locations. Residents will enter the parking area via a curb cut from 2nd Street N. Traffic in from this street is one-way. Cars will exit out onto 1st Street N. This curb cut allows for two-way traffic as there is a public parking area accessible from 1st Street N but closed off from the residential parking. The existing parking ramp in the center of the block has curb cuts from 1st Street N and 2nd Street N and the 1st Avenue N townhomes are accessed via separate curb cuts that lead to an existing drive lane.

The property at 100 Hennepin Avenue, site of the mixed-use building, is zoned B4S-1, Downtown Service district and is located in the DP, Downtown Parking Overlay district. The property at 101 1st Avenue N, the site of the townhomes, is zoned B4N, Downtown Neighborhood district and also contains the DP Overlay. *The Minneapolis Plan for Sustainable Growth* identifies both sites as mixed use on the future land use map. Hennepin Avenue is a commercial corridor and downtown is a designated Growth Center and Major Retail Center.

HPC CERTIFICATE OF APPROPRIATENESS

1st Avenue Townhomes

June 23, 2015 (Rev. July, 23, 2015), (Rev. August 10, 2015)

Project Description:

The proposed project includes parcels on the east and west sides of an existing six-story parking ramp that are being submitted as separate applications. The parcel at 100 Hennepin Avenue comprises the entire block face along Hennepin Avenue between 1st Street N and 2nd Street N. The parcel at 101 1st Avenue N is a narrow strip of land on the west side of the ramp. Both parcels are currently used as surface parking. Both project sites are located in the St. Anthony Falls Historic District. The historic designation of the St. Anthony Falls Historic District focuses on the urbanization of the Falls with a period of significance between 1858 and 1941.

The mixed-use project includes an eight-story building fronting along Hennepin Avenue with two ground floor commercial tenants and 161 dwelling units. The building actually functions as six stories plus a mezzanine but is considered eight stories per the zoning code definition of height. There are 49 enclosed parking stalls proposed at grade and the rest of the residential parking will be accommodated in the adjacent parking ramp. The first floor of the building has walk-up loft-style townhome units along Hennepin Avenue and 2nd Street N and a commercial tenant at each corner. The loft townhome units have awnings above the entrances which open to patio areas. Narrow landscaped areas are provided between the building and the public sidewalk. The residential lobby is located near the center of the Hennepin Avenue façade with the entrance facing Hennepin Ave. The retail tenant at this corner is also oriented toward Hennepin Ave. Above the first floor the building is divided into three sections or modules that read as separate buildings. Two rooftop amenity courtyards are proposed between these sections. The ground floor of the building will be primarily brick and glass. Above the first floor each of the modules has 3 stories of brick with the top two stories having vertically oriented metal panel and a cornice element. The northernmost and southernmost sections contain penthouse units with mezzanines and higher roofs. The northernmost section will include a 'tower' element clad in a decorative metal panel accent color. The recessed elevations facing Hennepin Avenue will be dark ribbed metal panel.

The project also includes 13 walk-up townhome units on a narrow parcel that fronts on 1st Avenue N. These townhome units will be oriented to 1st Avenue N and have tuck-under garages accessed from the rear. The townhomes are four stories in height with the fourth floor recessed to allow for rooftop terraces. In terms of materials, the townhomes will have brick on the first floor, stucco with metal panel accents on the second and third floors and painted fiber cement on the fourth floor.

Access into the ground floor parking of the mixed-use building occurs at two locations. Residents will enter the parking area via a curb cut from 2nd Street N. Traffic in from this street is one-way. Cars will exit out onto 1st Street N. This curb cut allows for two-way traffic as there is a public parking area accessible from 1st Street N but closed off from the residential parking. The existing parking ramp in the center of the block has curb cuts from 1st Street N and 2nd Street N and the 1st Avenue N townhomes are accessed via separate curb cuts that lead to an existing drive lane.

The property at 100 Hennepin Avenue, site of the mixed-use building, is zoned B4S-I, Downtown Service district and is located in the DP, Downtown Parking Overlay district. The property at 101 1st Avenue N, the site of the townhomes, is zoned B4N, Downtown Neighborhood district and also contains the DP Overlay. *The Minneapolis Plan for Sustainable Growth* identifies both sites as mixed use on the future land use map. Hennepin Avenue is a commercial corridor and downtown is a designated Growth Center and Major Retail Center.

Certificate of Appropriateness Findings:

Applicant Response:

1. The alteration is compatible with and continues to support the criteria of significance and period of significance for which the landmark or historic district was designated.

Applicant Response: The St. Anthony Falls Historic District is the site of the original founding of the city, and still retains many of the pivotal industrial/milling buildings from the 19th Century that centered on St. Anthony Falls. The site of the proposed project is currently a surface parking lot which does not contribute to the historic district. The proposed project will alter the historic neighborhood by filling in an existing gap in the urban fabric with a building of similar height, window size & rhythm, and material that is compatible with the St Anthony Falls Historic District Guidelines.

2. The alteration is compatible with and supports the interior and/or exterior designation in which the property was designated.

Applicant Response: The proposed project is compatible with and supports the exterior designation of the district by maintaining the street frontage at the same height as the adjacent historic property, using brick as a base building material, and fronting entries onto 1st Avenue North.

3. The alteration is compatible with and will ensure continued integrity of the landmark or historic district for which the district was designated.

Applicant Response: There are seven aspects of integrity that have been identified by the City of Minneapolis' Heritage Preservation Regulations and the National Register of Historic Places: location, design, setting, materials, workmanship, feeling and association. The proposed project will not impair the integrity of the district for the reasons described below:

Location: The applicant is not proposing to change the location of any contributing resources, hence the project will not impair the integrity of the location.

Design: The proposed project will authentically represent its own time while using traditional materials such as brick and stucco. The simple geometric design of the proposed project expresses its function clearly. The project will also have a connection to the street and local transportation, with bus stops and bike paths nearby.

Setting: Replacing a surface parking lot with new construction that will maintain the street wall will have a positive impact on the setting. The proposed project will be built out to very near the property lines along 1st St North and 1st Ave North.

Materials: The primary cladding materials of the proposed project will be brick and stucco. There will be painted metal railings and complimentary

composite window frames. Brick is a compatible material for the district as are metal railings. Stucco may not have been used in this way historically, but it is appropriate for this scale of residential development and is authentic to our current time.

Workmanship: The propose project will not alter any historic buildings in the district, hence it will not impair the integrity of workmanship.

Feeling: As new construction on a surface parking lot, the proposed project will inevitably impact the feeling of the district, and stand out as modern. There is a 19th century building immediately adjacent to this site. The proposed project will match it in height and continue the ‘feel’ of brick along the base. The proposed project would hide a parking ramp and replace surface parking with a vibrant, active street scape for existing and new residents in the neighborhood.

Association: The proposed development will hopefully improve the association of the district by filling in a missing link.

4. The alteration will not materially impair the significance and integrity of the landmark, historic district or nominated property under interim protection as evidenced by the consistency of alterations with the applicable design guidelines adopted by the commission.

Applicant Response: The project does not alter any buildings and as such will not materially impair the significance or integrity of any landmark. Please see design responses to the Historic District Guidelines attached at the end of these findings that describe the proposed project.

5. The alteration will not materially impair the significance and integrity of the landmark, historic district or nominated property under interim protection as evidenced by the consistency of alterations with the recommendations contained in The Secretary of the Interior's Standards for the Treatment of Historic Properties.

Applicant Response: The proposed project will be consistent with the following Secretary of the Interior’s Standards for the Treatment of Historic Properties:

9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The proposed project would eliminate a surface parking lot which does not characterize the St. Anthony Falls Historic District, nor is it historic. The proposed project would be clearly differentiated from historic buildings, but will be compatible with them by using similar massing, materials, size and scale. One of the

great features of this site is its proximity to the Mississippi River and St. Anthony Falls. If the project was removed, the integrity of that connection would remain.

6. The certificate of appropriateness conforms to all applicable regulations of this preservation ordinance and is consistent with the applicable policies of the comprehensive plan and applicable preservation policies in small area plans adopted by the city council.

Applicant Response: The proposed development will conform to all applicable regulations of this preservation ordinance and will be consistent with the following policies of the comprehensive plan:

Policy 1.2.1. Promote quality design in new development, as well as building orientation, scale, massing, buffering, and setbacks that are appropriate with the context of the surrounding area.

Policy 3.1.1. Support the development of new medium and high-density housing in appropriate locations throughout the city.

Heritage Preservation Policy 8.1: Preserve, maintain, and designate districts, landmarks, and historic resources which serve as reminders of the city's architecture, history, and culture.

8.1.2. Require new construction in historic districts to be compatible with the historic fabric.

The following findings must be addressed if approving a certificate of appropriateness that involves the destruction, in whole or in part, of any landmark, property in an historic district or nominated property under interim protection:

7. The destruction is necessary to correct an unsafe or dangerous condition on the property, or that there are no reasonable alternatives to the destruction. In determining whether reasonable alternatives exist, the commission shall consider, but not be limited to, the significance of the property, the integrity of the property and the economic value or usefulness of the existing structure, including its current use, costs of renovation and feasible alternative uses. The commission may delay a final decision for a reasonable period of time to allow parties interested in preserving the property a reasonable opportunity to act to protect it.

Applicant Response: The proposed project does not require the destruction of an historic property, it only removes a surface parking lot. Not applicable.

A written statement by the applicant making the findings that alterations are proposed in a manner that demonstrates that the applicant has made adequate consideration of the following documents and regulations:

8. The description and statement of significance in the original nomination upon which designation of the landmark or historic district was based.

Applicant Response: The St. Anthony Falls Historic District is the heart of the city of Minneapolis, the center of its founding. It contributes a "sense of place" that is distinct to the city's identity and well-being. This project is located on a current surface parking lot that does not contribute to the historic value of the district. The proposed project will help fill in gaps in the district with a building that responds to the Historic District guidelines.

9. Where applicable, Title 20 of the Minneapolis Code of Ordinances, Zoning Code, Chapter 530, Site Plan Review.

Applicant Response: The proposed project has addressed public health, safety, aesthetics and economic viability. It is an appropriate use of land that will provide adequate light, air, privacy, convenience and security. The project will conserve the value of land, provide safe and efficient circulation of all modes of transportation, as well as increase the amenities of the city. In addition to the Certificate of Appropriateness, the proposed project will require new land use approvals. The Applicant with working with staff on the application process for necessary City Planning Commission and Public Works (PDR) reviews.

10. The typology of treatments delineated in the Secretary of the Interior's Standards for the Treatment of Historic Properties and the associated guidelines for preserving, rehabilitating, reconstructing, and restoring historic buildings.

Applicant Response: Because the site is currently surface parking, the Secretary of the Interior's Standards for the Treatment of Historic Properties is not directly applicable, but the proposed project will help restore, revitalize and compliment the St. Anthony Falls Historic District.

In addition, the following findings must be addressed if approving a certificate of appropriateness that involves alterations to a property within an historic district:

11. The alteration is compatible with and will ensure continued significance and integrity of all contributing properties in the historic district based on the period of significance for which the district was designated.

Applicant Response: The proposed project will replace a surface parking lot with new construction of compatible scale, materials, window to wall ratio, rhythm, and proportion to the historic buildings in the district. As such, it will ensure the continued significance and integrity of all contributing properties.

12. Granting the certificate of appropriateness will be in keeping with the spirit and intent of the ordinance and will not negatively alter the essential character of the historic district.

Applicant Response: The spirit and intent of the City of Minneapolis' Heritage Preservation Regulations is to preserve historically significant buildings, structures, sites, objects, districts, and cultural landscapes of the community while permitting appropriate changes to be made to these properties. The applicant is proposing to construct a new residential building on the site is an appropriate change and in keeping with the spirit and intent of the ordinance.

13. The certificate of appropriateness will not be injurious to the significance and integrity of other resources in the historic district and will not impede the normal and orderly preservation of surrounding resources as allowed by regulations in the preservation ordinance.

Applicant Response: The proposed project will not be injurious to the significance or integrity of other resources in the historic district as it has been designed

following the Historic District Guidelines and is respectful of the adjacent 19th century building.

DEMOLITION OF AN HISTORIC RESOURCE

14. That the demolition is necessary to correct an unsafe or dangerous condition on the property, or that there are no reasonable alternatives to the demolition. In determining whether reasonable alternatives exist, the commission shall consider, but not be limited to, the significance of the property, the integrity of the property and the economic value or usefulness of the existing structure, including its current use, costs of renovation and feasible alternative uses.

Applicant Response: Not applicable. The project does not include demolition of existing structures.

HISTORIC VARIANCE

15. That the variance is compatible with the preservation of the property and with other properties in the area, and that the variance is necessary to alleviate practical difficulties due to special conditions or circumstances unique to the property and not created by the applicant.

Applicant Response: No Historic Variance is being sought. Not applicable.

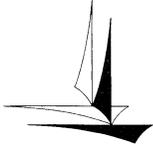
NAME OF APPLICANT

WARD



PROPERTY ADDRESS
101 1st Avenue N

FILE NUMBER
BZZ-7406



Minneapolis Development Review
250 South 4th Street
Room 300
Minneapolis, MN 55415

Preliminary Development Review Report

Development Coordinator Assigned: MATTHEW JAMES
(612) 673-2547
matthew.james@minneapolismn.gov

Status *	Tracking Number: PDR 1001332
	Applicant: SHORESTEIN REALTY SERVICES 235 MONTGOMERY ST. 16TH FLOOR SAN FRANCISCO, CA 94104
	Site Address: 100 HENNEPIN AVE 101 1ST AVE N
	Date Submitted: 09-JUL-2015
	Date Reviewed: 15-JUL-2015

Purpose

The purpose of the Preliminary Development Review (PDR) is to provide Customers with comments about their proposed development. City personnel, who specialize in various disciplines, review site plans to identify issues and provide feedback to the Customers to assist them in developing their final site plans.

The City of Minneapolis encourages the use of green building techniques. For additional information please check out our green building web page at: http://www.ci.minneapolis.mn.us/mdr/GreenBuildingOptions_home.asp.

DISCLAIMER: *The information in this review is based solely on the preliminary site plan submitted. The comments contained in this report are preliminary ONLY and are subject to modification.*

Project Scope

Mixed-use housing (169 units) and retail on two lots in historic mill district.

Review Findings (by Discipline)

Business Licensing

- Continue to work with Matthew D. James at (612) 673-2547 concerning a Food Plan Review, SAC determination and any Business License application submittal that may be required for this proposed project. The applicant should contact Business Licensing at least 90 prior to opening to apply for applicable licenses.

*Approved: You may continue to the next phase of developing your project.

*Resubmission Required: You cannot move forward or obtain permits until your plans have been resubmitted and approved.

□ Historical Preservation Committee

- There is an HPC flag on this property and a review will be required.

□ Addressing

- Per City of Minneapolis Street Naming and Address Standard V1.22, the City of Minneapolis holds authority for assignment of all addresses, verification, change, and/or additions. Each assigned address number uses the street that provides the best/direct access for life safety equipment and best/direct access to the occupants.
- The address for the proposed mixed-use development will be 100 Hennepin Ave. S. This address meets the City of Minneapolis Street Naming and Address Standard requirements. On the Hennepin Ave side of the project the 100 Hennepin address begins with the retail space at the corner of 1st St. N. and Hennepin Ave. The address numbers increase by 4 as you move toward 2nd St. N (100, 104, 108. . . 154). On the 1st Ave N. side of the project the numbering of townhomes will begin at 101 1st Ave. nearest the corner of 1st St. N. and 1st Ave N. and increase by two as you move toward 2nd St. N. (101, 103, 105. . . 125)
- When assigning suite sequences the following guidelines are as follows:
 - The first one to two digits of the suite sequence number will designate the floor number of the site.
 - The last two digits of the suite sequence number will designate the unique ID for the unit (condo, suite, unit, or apartment).
 - Suite sequence digit numbers will be assigned to dwelling, commercial and retail units, not common areas. For example, laundry rooms, saunas, workout rooms, etc., would not be assigned numbers.
 - Please provide each condo, suite, unit or apartment number.

□ Parks - Forestry

- Contact Craig Pinkalla (612-499-9233 cpinkalla@minneapolisparcs.org) regarding any questions related to planting, removal or the process for protection of trees during construction in the city right of way.
- Effective January 1, 2014, the City of Minneapolis and the Minneapolis Park and Recreation Board adopted an update to the existing Parkland Dedication Ordinance. The adopted City of Minneapolis Parkland Dedication ordinance is located in Section 598.340 of the City's Land Subdivision ordinance:
 - <http://library.municode.com/index.aspx?clientId=11490>
- As adopted, the fee in lieu of dedication for new residential units is \$1,521 per unit (affordable units excluded per ordinance) and for commercial and industrial development it is \$202.80 per development employee (as defined in ordinance). Any dedication fee (if required) must be paid at the time of building permit issuance.
- There is also an administration fee that is 5% of the calculated park dedication fee.
- As proposed, for your PROJECT, the calculated dedication fee is as follows:
 - Park Dedication Fee Calculation =
 - Residential (169 units x \$1,521 per unit) = \$257,049.00
 - ~~Non Residential Commercial Space = \$XX~~
 - 5% of \$XX (Administration Fee) = \$ 1,000.00
 - Total Park Dedication Administrative Fee: = \$258,049.00
- This is a preliminary calculation based on your current proposal; a final calculation will be made at the time of building permit submittal.
- For further information, please contact Matthew D. James at (612) 673-2547.

□ Zoning - Planning

- The project requires a Certificate of Appropriateness for new construction in the Saint Anthony Falls Historic District. Upon HPC approval, applications for site plan review and a minor subdivision will require a public hearing before the City Planning Commission.

□ Right of Way

- An encroachment permit shall be required for all streetscape elements in the Public right-of-way such as: plants & shrubs, planters, tree grates and other landscaping elements, sidewalk furniture (including bike racks and bollards), and sidewalk elements other than standard concrete walkways such as pavers, stairs, raised landings, retaining walls, access ramps, and railings (NOTE: railings may not extend into the sidewalk pedestrian area). Please contact Bob Boblett at (612) 673-2428 for further information.
- Note to the Applicant: Any elements of an earth retention system and related operations (such as construction crane boom swings) that fall within the Public right-of-way will require an encroachment permit application. If there are to be any earth retention systems which will extend outside the property line of the development then a plan must be submitted showing details of the system. All such elements shall be removed from the Public right-of-way following construction with the exception of tie-backs which may remain but must be uncoupled and de-tensioned. Please contact Bob Boblett at (612) 673-2428 for further information.
- In addition, any elements of an earth retention system and related excavations that fall within the Public right-of-way will require a "Right-of-Way Excavation Permit". This permit is typically issued to the General Contractor just prior to the start of construction. However, it is the Applicant's responsibility to insure that all required permits have been acquired by its consultants, contractors, sub-contractor's prior to the start of work.
- Contact Paul Cao at (612) 673-2943 for position and alignment of bike racks proposed in the Public right-of-way. If the racks are privately owned, they will require an encroachment permit.
- The Project limits fall within the boundaries of the Downtown Improvement District (DID). Any improvements, modifications, and alterations to the streetscape are subject to the review and approval of the DID. Please contact Ben Shardlow at (612) 656-3830 for further information.
- Artistic Streetscape elements exist on the corner of Hennepin and 1st St. N. within the Public right-of-way including decorative sidewalk pavements, benches and a Gateway Park Tower. The Applicant shall take special precautions to protect and preserve these features or they must be replaced "in-kind" as necessary to complete the Project; please contact Paul Miller at (612) 673-3603 for further information.
- The City of Minneapolis and Hennepin County both hold easements along Hennepin Ave.; encroachments into the easement areas will be scrutinized for impacts to the pedestrian zone (see Sidewalk Comments for further information).

Formatted: Indent: Left: 0", Tab stops: 0.25", List tab

Formatted: Indent: Left: 0", Tab stops: 0.25", List tab

□ Street Design

- Proposed curb & gutter in the site plan is identified incorrectly; all curb & gutter in the Public right-of-way shall be designed and constructed to City standards, curb & gutter to be City standard B624 Modified Curb and Gutter. Please refer to the following: http://www.minneapolismn.gov/publicworks/plates/public-works_road. Add the appropriate details from the ROAD-1000 Series - Curbs and Gutters (ROAD-1004) to the plans. Top of Curb profiles shall be provided for any section of curb replacement in excess of 50 feet.

□ Sidewalk

- Based upon the significance of the site along Hennepin Ave. in the historic Gateway District, the Applicant is encouraged to consider further the Public realm; this block is within the Downtown Minneapolis Activity Center, therefore pedestrian zone guidelines dictate that pedestrian zones should be 20 ft. wide with recommended widths of an 8.5' planting zone, and a minimum 8' pedestrian clear zone call; unfortunately the available Public right-of-way is limited. Specifically, the available sidewalk space is limited to 12' or less along Hennepin Ave, 8.5' along 1st St. N., 15' along 1st Ave. N., and 15' along 2nd St. N. Planters and trees placement should be considered carefully, shifted as far toward the curb as possible to maximize pedestrian through space to meet ADA guidelines and also achieve appropriate planter sizes for their proposed plantings. Bicycle rack placement should also be considered - shift them closer to the curb, and further from the through walk (Contact Paul Cao at (612) 673-2943 for position and alignment of bike racks proposed in the Public right-of-way).
- The current plan indicates tree grates and planters that potentially obstruct the pedestrian clear zone. A minimum 8'-0" clear zone (un-obstructed) sidewalk shall be maintained for the length of any block in a

straight line. Tree grates and planter locations shall be modified to provide for the required pedestrian clear zone space. For further clarification, site plans shall be fully dimensioned in relation to the property lines, Public right-of-way, sidewalks, street furniture, landscaping, utilities, and other obstructions. Sidewalk layouts and landscaping in the Public right-of-way shall follow the established design standards of Access Minneapolis; refer to the following:

- <http://www.minneapolismn.gov/publicworks/transplan/index.htm>
- The landscaping on Hennepin near 1st St. N. should not extend into the clear straight path of the sidewalk. Tree planting details shall be included in the plans. The Applicant shall provide engineered/structured soil in the form of a tree trench or tree pit for all proposed street trees. Landscaping in the Public right-of-way shall follow established design standards of the City of Minneapolis Urban Forest Policy; refer to the following:
 - http://www.minneapolismn.gov/www/groups/public/@cped/documents/webcontent/convert_282934.pdf)
- The Public Works recommends that the discussion of streetscape, landscaping, and future roadway planning be continued at a separate meeting; please coordinate with Paul Miller at (612) 673-3603.
- ADA compliant pedestrian ramps are required at each crosswalk at all four (4) intersections impacted by the proposed development. Construct two (2) ADA compliant pedestrian ramps at each location. Include the appropriate details and standard plates in the site plan, refer Mn/DOT Standard Plan 5-297.250 Pedestrian Curb Ramp Details at: <http://standardplans.dot.state.mn.us/stdplan.aspx>
- Note to the App: Any currently defective sidewalks or other concrete infrastructure within the public right of way, or any concrete infrastructure damaged during construction, must be removed and replaced.

□ Traffic and Parking

- The nature of the proposed development is such that traffic impacts will be an issue consequently a Travel Demand Management Plan (TDMP) will be required; please contact Allan Klugman at (612) 673-2743 to discuss the requirements of a Travel Demand Management Plan (TDMP). Please include a narrative explaining the use of the parking area, and its intended use (residents only or is there a mixed use).
- Current ordinance states that all maneuvers associated with loading, parking or sanitation pick up for a private development shall occur on private property. Please provide a narrative explaining the trash removal operations and show turning maneuvers for all truck type vehicles that will be using the loading dock/parking entrance areas. Per City Ordinance the Applicant shall provide for (and identify) a solid waste collection point (SWCP) on the site plans. The location of the SWCP is subject to the review and approval of the Public Works Department.
- Street Lighting: All street lighting (existing and proposed) shall be shown clearly on the site plan. Prior to site plan approval, the Applicant shall contact Bill Prince at (612) 673-3901 to determine street lighting requirements. Decorative street lighting exists on the proposed site and it must be preserved or replaced at existing levels (based upon the proposed development and changes existing conditions additional street lights may be required). All costs for street lighting facilities shall be borne by the Development.
- Metro Transit would like to meet with the City, Hennepin County, and project design team in the near future to discuss this project and how we can work together to integrate the Development with current and future transit needs. The following comments are by Carol Hejl (Engineering & Facilities - Metro Transit) at (612) 349-7679:
 - The bus parking in front of the access point will have to be worked out with Metro Transit.
 - Bus stop on eastbound 1st Street North nearside of Hennepin is shown on the plans and needs to remain post construction.
 - Planters should not be placed within a bus loading area.
 - The tree grates and street trees as shown on 1st Street North will impede people boarding and alighting the bus.
 - Location of bike parking on 1st Street North could impede pedestrian circulation since the sidewalk is less than 10' wide.
 - If the existing US Bench (ad bench) that is on site is to remain at the bus stop, it will need to be sited in such a way as to not impede pedestrian circulation or bus boarding and alighting.

- All streets that surround this project are used by transit buses and need to remain open during construction. Bus service needs to be preserved for customers of all abilities during construction. This access should be coordinated with Metro Transit Street Ops david.hanson@metrotransit.org
- Metro Transit will coordinate with the developer and City to discuss bus layover options.
- Note to the Applicant: The construction of this development will likely require the use of Public right-of-way (roadway and sidewalks) for construction purposes. A request for an estimate of street use and obstruction permit fees can be made to the City's Traffic Department; please contact Scott Kramer at (612) 673-2383 for further information.
- Note to the Applicant: Please add the following notes to the site plan:
- Street lighting installed as part of the Project shall be inspected by the City. Contractors shall arrange for inspections with the Traffic Department, please contact Dave Prehall at (612) 673-5759 for further information. Any lighting installations not meeting City specifications will be required to be reinstalled at Owner expense. All costs for street lighting facilities shall be borne by the Contractor and/or Property Owner.
- An obstruction permit is required anytime construction work is performed in the Public right-of-way. Please contact Scott Kramer at (612) 673-2383 regarding details of sidewalk and lane closures. Log on to <http://minneapolis.mn.roway.net/> for a permit.
- Contact Allan Klugman at (612) 673-2743 prior to construction for the temporary removal/temporary relocation of any City of Minneapolis signal system that may be in the way of construction.
- All costs for relocation and/or repair of City Traffic facilities shall be borne by the Contractor and/or Property Owner.
- Contact Doug Maday at (612) 673-5755 prior to construction for the removal of any City of Minneapolis right of way signs that may be in the way of construction.

❑ Water

- The plan as submitted meets the requirements of the Public Works Water Maintenance & Distribution Division.

❑ Sewer Design

- Stormwater Management: Please provide the details for the roof paver system. Sheet C3.2 includes a note referencing the architectural plans, however the architectural plans provided contain no information.
- Please provide details for the proposed underground stormwater systems.
- Please provide modeling demonstrating the total runoff from 1.25" storm event is being filtered
- Please clarify subcatchment areas 3 and 3S in the HydroCAD model. The areas shown on the Proposed Drainage Exhibit do not match what is shown on proposed conditions routing diagram.
- The outlet structure elevations in the HydroCAD model for Pond 3P do not match what is shown on the plans. Please revise accordingly.
- Please identify the disturbed area associated with the project and the existing and proposed impervious amounts within the disturbed area.
- Utility Connections: Has the sanitary sewer structure at 1st Ave N and 1st St N been evaluated to accommodate the proposed sanitary connection? City plat records indicate this structure may be a lamp hole, which would not be a full size structure, and may not be suitable to connect to. The cover in the street appears to be larger than a typical lamp hole however. Please contact the route foreman for this area, Mike Weeber, 612-919-3904, to coordinate access to the structure.
- If the structure is a manhole, the proposed sanitary sewer connection to the City manhole at 1st Ave N and 1st St N should be made without a drop at the City main. The invert of the service connection can be no more than 2' above the crown of the outgoing sewer. Please revise the plans appropriately and indicate the invert of the existing structure and pipe size on the plans. The slope of the service should also be such that the velocity in the pipe is 15 ft/s or less.
- The proposed sanitary sewer connection to the City main in 1st St N should be made without a new manhole on the City main. The connection should be core-drilled and a saddle tee fitting installed, per City of

Minneapolis Standard Supplemental Specifications. Please revise the plans accordingly. The slope of the service should also be such that the velocity in the pipe is 15 ft/s or less.

- The proposed sanitary sewer connection to the City manhole at 2nd St N and Hennepin Ave N should be made without a drop at the City main. The invert of the service connection can be no more than 2' above the crown of the outgoing sewer. Please revise the plans appropriately and indicate the invert of the existing structure and pipe size on the plans. The slope of the service should also be such that the velocity in the pipe is 15 ft/s or less.
- Private sewer service lines running within the right-of-way are not permitted. The proposed storm sewer connections in 2nd St N should be routed to connect as straight into the main as possible.
- Please identify where the existing parking structure that will remain discharges stormwater. If the discharge is routed through the proposed stormwater BMPs then this should be accounted for in the stormwater modeling.
- Please verify where the existing catch basins in the parking lot connect to. The connections should be properly removed and abandoned.
- Utility: It appears that the existing pedestrian ramps at several of the street corners are proposed to be reconstructed. The proposed locations of the ped ramps should be shown. Any conflicts with existing catch basins should be addressed appropriately.
- Non Stormwater Discharges: Detail all mechanical and non-stormwater discharges. Non-stormwater discharges are not permitted unless approved by the City of Minneapolis. Non-stormwater discharges not declared and approved will not be permitted. If there currently are none and nothing is proposed declare this status on the plans.
- For comments or questions on Public Works Surface Water & Sewers Division related requirements please contact Jeremy Strehlo, (Professional Engineer) at (612) 673-3973, or jeremy.strehlo@minneapolismn.gov

❑ Construction Code Services

- The plan as submitted meets the requirements of the Construction Code Division.
- A Service Availability Charge (SAC) determination will need to be submitted to the Metropolitan Council for the proposed project. Please refer to this link for more information or Contact Karon Cappaert at 651-602-1118 or karon.cappaert@metc.state.mn.us.
http://www.ci.minneapolis.mn.us/mdr/docs/sac_availability_charge.pdf

❑ Fire Safety

- Provide required fire suppression system throughout building.
- Fire department connection must be located on the address side of building and within 150 feet of a fire hydrant.
- Provide required fire alarm system throughout building.
- Maintain fire apparatus access at all times.

❑ Environmental Health

- The site is currently an at-grade parking lot. City records list a 6,000 gallon underground fuel oil tank, N16140, for the form St. James Hotel (12 2nd St N) which was demolished in 1963, 19313. No records of the tank being removed have been identified. The Minnesota Pollution Control Agency lists the project site as an Unpermitted Dump Site, MPCA ID: REM05078. It is recommended that the MPCA Voluntary Investigation and Cleanup program be contacted about enrolling and obtaining a letter of no association for the project.
- If dewatering is required during site construction see below for city permit requirements. Subgrade structures should be designed to prevent infiltration of groundwater without the need for a permanent dewatering system being installed. If a continuously operating permanent dewatering system is needed it must be approved as part of the sanitary sewer and storm drain site plan approval prior to construction beginning.
- No construction, demolition or commercial power maintenance equipment shall be operated within the city between the hours of 6:00 p.m. and 7:00 a.m. on weekdays or during any hours on Saturdays, Sundays and

state and federal holidays, except under permit. Contact Environmental Services at (612) 673-3867 for permit information.

- Permits and approval are required from Environmental Services for the following activities: Temporary storage of impacted soils on site prior to disposal or reuse; Reuse of impacted soils on site; Dewatering and discharge of accumulated storm water or ground water, underground or aboveground tank installation or removal, well construction or sealing. Contact Tom Frame at (612) 673-5807 for permit applications and approvals.
- A review of the project, permits issued and an inspection from Environmental Service for identification of equipment and site operations that require annual registration with the City of Minneapolis will occur for this project.

END OF REPORT

100 HENNEPIN AVENUE MIXED-USE & 1ST AVENUE TOWNHOMES

100 HENNEPIN
MIXED USE & 1ST
AVE TOWNHOMES

100 HENNEPIN AVENUE
& 101 1ST AVENUE NORTH
MINNEAPOLIS, MN

esg

einess swenson graham architects
500 WASHINGTON AVENUE SOUTH
MINNEAPOLIS, MINNESOTA 55415
P. 612.339.5508
F. 612.339.5382
WWW.ESGARCH.COM

100 HENNEPIN AVENUE & 101 1ST AVENUE NORTH | MINNEAPOLIS, MN



PROJECT TEAM

Owner/Developer: Shoreline Properties, LLC
235 Montgomery Street, 16th Floor
San Francisco, CA 94104
Ph: 415.772.7000

Architect: Einess Swenson Graham Architects Inc.
500 Washington Ave. South, Suite 1080
Minneapolis, MN 55415
Ph: 612.339.5508
Fx: 612.339.5382

Contractor: Ryan Construction
50 South Tenth Street, Suite 300
Minneapolis, MN 55403
Ph: 612.492.4284

Civil/Landscape: Kimley Horn
2550 University Avenue West
Suite 238N
Saint Paul, MN 55114
Ph: 651.643.0470

Structural Engineer: Meyer Borgman Johnson
12 South Sixth St/Suite 1100
Minneapolis, MN 55402-1540
Ph: 612.465.7550
Fx: 612.465.7706

Mechanical, Electrical, Plumbing Engineers: Design/Build - T.B.D.

SHEET INDEX

SHEET NUMBER	SHEET NAME	HPC SUBMITTAL - 7/21/15
A2.5	FIFTH FLOOR REFLECTED CEILING PLAN	
A3.7	EXTERIOR ELEVATIONS - ENLARGED	
A4.12	UNIFORM	
A7.6	VERTICAL CIRCULATION ELEVATOR	
GENERAL INFORMATION		
T1.1	TITLE SHEET	•
T1.2	PROJECT INFORMATION	•
T1.3	PROJECT INFORMATION	•
T2.1	EXISTING SITE PHOTOS	•
T2.11	EXISTING SITE PHOTOS	•
T3.1	PERSPECTIVE VIEW	•
T3.2	PERSPECTIVE VIEW - NOT USED	•
T3.3	PERSPECTIVE VIEW	•
T3.11	PERSPECTIVE VIEW	•
T3.12	PERSPECTIVE VIEW	•
T4.1	EXTERIOR MATERIAL IMAGES AND WINDOW TYPES	•
T4.2	WINDOW DETAILS	•
T4.11	EXTERIOR MATERIAL IMAGES AND WINDOW TYPES/DETAILS	•
T5.1	SHADOW STUDIES	•
ARCHITECTURAL		
A5.1.1	ARCHITECTURAL SITE PLAN	•
A1.1	FIRST LEVEL FLOOR PLAN	•
A1.1m	FIRST LEVEL MEZZANINE PLAN	•
A1.2	SECOND LEVEL FLOOR PLAN	•
A1.3	THIRD THRU FIFTH LEVEL FLOOR PLANS	•
A1.6	SIXTH LEVEL FLOOR PLAN	•
A1.6m	SIXTH LEVEL MEZZANINE FLOOR PLAN	•
A1.7	ROOF PLAN	•
A1.11	1ST AVE TOWNHOMES OVERALL FLOOR PLANS	•
A2.1m	FIRST LEVEL MEZZANINE REFLECTED CEILING PLAN	•
A2.2	SECOND LEVEL REFLECTED CEILING PLAN	•
A2.3	THIRD LEVEL REFLECTED CEILING PLAN	•
A2.6	SIXTH FLOOR REFLECTED CEILING PLAN	•
A3.1	EXTERIOR ELEVATIONS - NORTH AND SOUTH	•
A3.2	EXTERIOR ELEVATIONS - EAST	•
A3.3	EXTERIOR ELEVATIONS - NORTH COURTYARD	•
A3.4	EXTERIOR ELEVATIONS - SOUTH COURTYARD	•
A3.5	EXTERIOR ELEVATIONS - WEST	•
A3.6	EXTERIOR ELEVATIONS - NORTH AND SOUTH AT RAMP	•
A3.11	1ST AVE TOWNHOMES EXTERIOR ELEVATIONS - WEST AND SOUTH/NORTH	•
A3.12	1ST AVE TOWNHOMES EXTERIOR ELEVATIONS - EAST	•
A4.1	BLDG SECTIONS - TOWNHOMES	•
A5.2	WALL SECTIONS	•
A5.4	WALL SECTIONS	•
A5.5	WALL SECTIONS	•
A5.6	WALL SECTIONS	•
A5.7	WALL SECTIONS - ENLARGED	•
A5.11	WALL SECTIONS - TOWNHOMES	•
A5.12	WALL SECTIONS - TOWNHOMES	•
A7.2	VERTICAL CIRCULATION STAIR B - SECTIONS AND PLANS	•
A7.3	VERTICAL CIRCULATION STAIR C - SECTIONS AND PLANS	•
A7.4	VERTICAL CIRCULATION STAIR D (Opt 1) SECTIONS AND PLANS	•
A7.5	VERTICAL CIRCULATION STAIR D (Opt 2) SECTIONS AND PLANS	•
A8.2	1/4" UNIT PLANS & ENLARGED PLANS	•
A8.3	1/4" UNIT PLANS & ENLARGED PLANS	•
A8.4	1/4" UNIT PLANS & ENLARGED PLANS	•
A8.5	1/4" UNIT PLANS & ENLARGED PLANS	•
A8.6	1/4" UNIT PLANS & ENLARGED PLANS	•
A8.7	1/4" UNIT PLANS & ENLARGED PLANS	•
A8.11	1/4" TOWNHOME PLANS	•
A9.2	INTERIOR ELEVATIONS	•
A9.3	INTERIOR ELEVATIONS	•
A9.11	INTERIOR ELEVATIONS - TOWNHOMES	•
AC1.1	CODE PLANS - LEVELS 1-2	•
AC1.2	CODE PLANS - LEVELS 3-6	•

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the State of Minnesota

Signature

Typed or Printed Name

License # Date

NOT FOR CONSTRUCTION

PROJECT LOCATION

Vicinity

Site Location

UNIT MIX & SQUARE FOOTAGES

100 Hennepin
8/10/2015 CURRENT

Mixed-Use Building	Level	Use	Total GSF	Parking GSF	Retail NSF	Amenity/Lobby GSF	Apt GSF + Cir&MEP	Res Stor in Apt GSF	NRSF	Units	Parking
Mixed-Use Building	Level 1	parking/residence	39,937	16,590	4,511	6,274	12,562	0	9,454	15	49
	Mezz	residential	5,524			1,085	4,439	1,085	3,694		
	Level 2	residential	31,347		0	1,982	29,365	507	23,506	27	
	Level 3	residential	31,347				31,347	547	25,843	30	
	Level 4	residential	31,347				31,347	547	25,843	30	
	Level 5	residential	31,347				31,347	547	25,843	30	
	Level 6	residential	30,253				750	29,503	547	23,972	29
Mezz	residential	690				0	690	0	678	0	
Total			201,792	16,590	4,511	10,091	170,600	3,780	138,893	161	49

142,613 NSF including storage
147,124 NSF including res, res storage and retail
includes 6 floor mezz and amenity spaces
862 NSF/unit

Unit Mix & Distribution	Level	Loft	Studio	Alcove	1BR Alcove	1 BR	1 BR+	2 BR	2 BR+	Penthouses	Total w/out Lofts	Total w/ Lofts
Mixed-Use Building	Level 1	15										15
	Mezz											
	Level 2		0	3	7	5	2	5	5		27	27
	Level 3		1	3	8	5	3	3	7		30	30
	Level 4		1	3	8	5	3	3	7		30	30
	Level 5		1	3	8	5	3	3	7		30	30
	Level 6		1	3	8	4	3	4	3		29	29
Total		15	4	15	39	24	14	18	29	3	146	161

% of Non-Loft Units	3%	10%	27%	16%	10%	12%	20%	2%	100%
		13%			53%			34%	does not include Lofts

1st Avenue Townhomes

	Garage	Ground Floor	First Floor	Second Floor	Third Floor	Total NSF	Quantity	Total NSF	Total NSF w/ Garages
24' Wide Unit North	521	116	686	738	454	1,994	1	1,994	2,515
24' Wide Unit South	522	113	645	693	429	1,880	1	1,880	2,402
20' Wide Units	433	78	526	576	400	1,580	11	17,380	22,143
						13	21,264		27,060
Total NSF for 1st Ave Townhomes (not including garages)									28,311

Townhome GSF	7,513	7,766	7,766	5,266
--------------	-------	-------	-------	-------

SYMBOLS LEGEND

	SECTION AND ELEVATION REF		EXTERIOR ELEVATION KEYNOTE REF
	INTERIOR ELEVATION REF		ROOM NAME AND NUMBER
	DETAIL REF		DOOR NUMBER
	WALL TYPE (SEE SHEET A10.1)		SECTION KEYNOTE REF
	PENDON TYPE (SEE SHEET A11.2)		REVISION NUMBER
	ELEVATION REF		FIRE EXTINGUISHER CABINET
	SPOT ELEVATION REF		FIRE EXTINGUISHER - WALL MOUNTED
	FLOOR FINISH TRANSITION REF		

LAND USE APPLICATION PACKAGE

SEPTEMBER 8, 2015

ORIGINAL ISSUE: 7/21/15

REVISIONS

No.	Description	Date

214527
PROJECT NUMBER

LB, NVW AB
DRAWN BY CHECKED BY

KEY PLAN

100 HENNEPIN MIXED USE & 1ST AVE TOWNHOMES

TITLE SHEET
T1.1

100 HENNEPIN
MIXED USE & 1ST
AVE TOWNHOMES

100 HENNEPIN AVENUE
& 101 1ST AVENUE NORTH
MINNEAPOLIS, MN

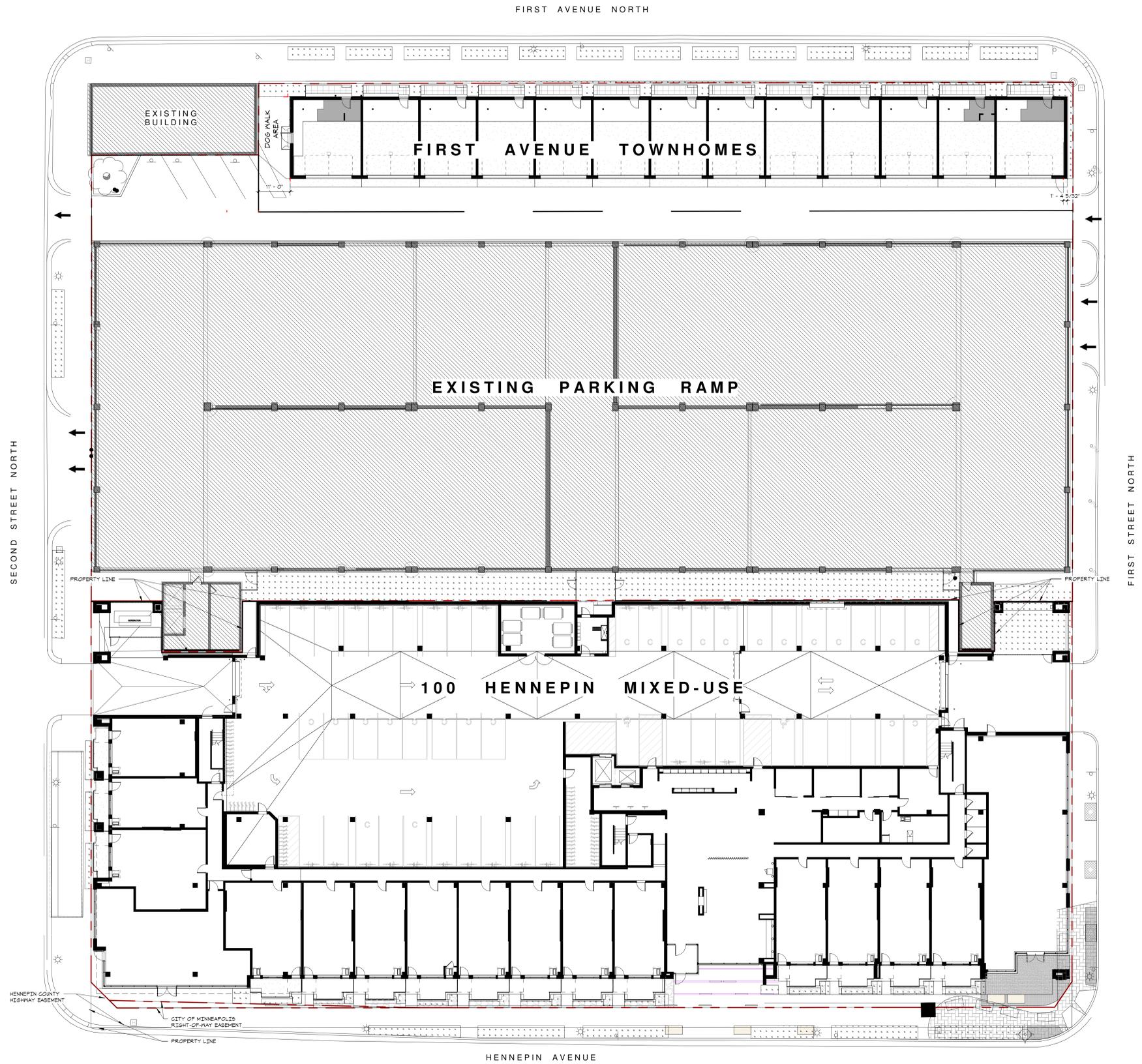


elness swenson graham architects
500 WASHINGTON AVENUE SOUTH
MINNEAPOLIS, MINNESOTA 55415
P. 612.339.5508
F. 612.339.5382
WWW.ESGARCH.COM

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the State of Minnesota.

Art Bartels
Signature

Art Bartels
Typed or Printed Name
18711 October 5, 2015
License # Date



FOOTING &
FOUNDATION
PERMIT, DD, &
GMP SET
OCTOBER 5, 2015

ORIGINAL ISSUE: 10/5/15

REVISIONS

No.	Description	Date

214527
PROJECT NUMBER

ESG DRAWN BY	ESG CHECKED BY
-----------------	-------------------

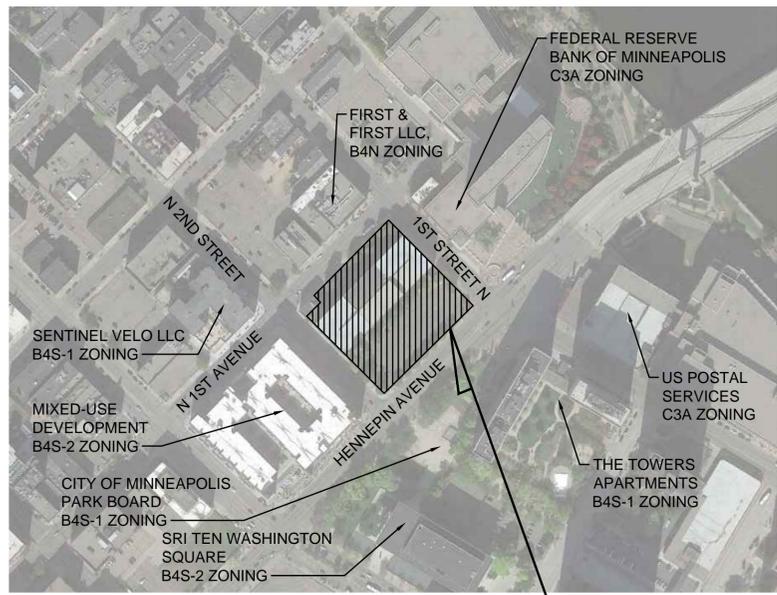
KEY PLAN

100 HENNEPIN MIXED USE
& 1ST AVE TOWNHOMES

ARCHITECTURAL SITE PLAN

AS1.1

SITE DEVELOPMENT PLANS FOR 100 HENNEPIN AVENUE MIXED-USE AND 1ST AVENUE TOWNHOMES MINNEAPOLIS, HENNEPIN COUNTY, MINNESOTA



Sheet List Table	
Sheet Number	Sheet Title
C0.0	TITLE SHEET
C0.1	ALTA SURVEY
C1.0	DEMOLITION PLAN
C2.0	PHASE I EROSION CONTROL PLAN
C2.1	PHASE II EROSION CONTROL PLAN
C2.2	EROSION CONTROL DETAILS
C3.0	SITE PLAN
C3.1	SITE PLAN DETAILS
C3.2	SECOND FLOOR SITE PLAN
C4.0	GRADING AND DRAINAGE PLAN
C4.1	STORMWATER MANAGEMENT PLAN
C4.2	STORMWATER MANAGEMENT DETAILS
C5.0	UTILITY PLAN
C6.0	CIVIL DETAILS
C6.1	CIVIL DETAILS
L1.0	LANDSCAPE PLAN
L1.1	LANDSCAPE DETAILS



- NOTES:**
- CONTRACTOR SHALL CONFIRM THAT THE EXISTING CONDITIONS FOR THE SITE MATCH WHAT IS SHOWN ON THE DRAWINGS INCLUDED PRIOR TO CONSTRUCTION.
 - IF REPRODUCED, THE SCALES SHOWN ON THESE PLANS ARE BASED ON A 22" X 34" SHEET.
 - ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICES COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.
 - ALL GENERAL CONTRACTOR WORK TO BE COMPLETED (EARTHWORK, FINAL UTILITIES, AND FINAL GRADING) BY THE MILESTONE DATE IN PROJECT DOCUMENTS.

ENGINEER
KIMLEY-HORN AND ASSOCIATES, INC.



PREPARED BY: TRISH SIEH
2550 UNIVERSITY AVE W, SUITE 238 N
ST. PAUL, MN 55114
TELEPHONE (651) 645-4197

DEVELOPER
RYAN COMPANIES



CARL RUNCK
50 S. 10th ST, SUITE 300
MINNEAPOLIS, MN 55402
TELEPHONE (612) 492-4655

ARCHITECT
ESG ARCHITECTS, INC.

500 S WASHINGTON AVE, SUITE 1080
MINNEAPOLIS, MN 55415
TELEPHONE (612) 339-5508

SURVEYOR
EGAN, FIELD & NOWAK, INC.

1229 TYLER STREET NE, SUITE 100
MINNEAPOLIS, MN 55413
TELEPHONE (612) 466-3300

No.	REVISIONS	DATE	BY
5	ISSUED FOR LUA/PDR RESUBMITTAL	9/4/15	BRJ
4	ISSUED FOR HFC REVIEW	7/24/15	BRJ
3	ISSUED FOR PDR	7/02/15	BRJ
2	ISSUED FOR HFC REVIEW	6/22/15	BRJ
1	ISSUED FOR PRELIMINARY PRICING	5/15/15	BRJ

Kimley-Horn

© 2015 KIMLEY-HORN AND ASSOCIATES, INC.
2550 UNIVERSITY AVENUE WEST, SUITE 238N, ST. PAUL, MN 55114
PHONE: 651-645-4197
WWW.KIMLEY-HORN.COM

PRELIMINARY

KHA PROJECT 160640005	DATE 9/4/15	SCALE AS SHOWN	DESIGNED BY TDS	DRAWN BY BRJ	CHECKED BY TDS
--------------------------	----------------	-------------------	--------------------	-----------------	-------------------

TITLE SHEET

100 HENNEPIN
MINNEAPOLIS, MN

C0.0

ISSUED FOR REVIEW - NOT FOR CONSTRUCTION

ALTA/ACSM LAND TITLE SURVEY FOR: Ryan Companies

LEGAL DESCRIPTION:

PARCEL 4:

Lots 1 through 12 inclusive, Block 23, Town of Minneapolis, Except therefrom Lots 54, 62, 67, 70 and 75, Auditor's Subdivision Number 137.

All of the vacated Northeast and Southwest alley, dedicated in Block 23, Town of Minneapolis, lying between the Northwesterly extensions across said alley of the Southwesterly line of Lot 4, said Block 23 and the Northeasterly line of Lot 9, in said Block 23.

All of the vacated Northwest and Southeast alley, dedicated in Block 23, Town of Minneapolis, lying between the Northwesterly extensions across said alley of the Northwesterly line of Lot 1 in said Block 23 and the Southeasterly line of Lot 3, in said Block 23.

Lots 54, 62, 67 and 75, Auditor's Subdivision Number 137, Hennepin County, Minn.

Torrens Property Certificate of Title No. _____

Note: The property described above is the same property that is to be insured in the title policy issued by Chicago Title Company pursuant to Commitment No 235791, dated May 6, 2014.

NOTES:

- The orientation of this bearing system is based on the Hennepin County coordinate grid (NAD 83-96 Adj.).
- The total area of the property described hereon is 111,347 square feet or 2.5562 acres.
- The legal description and easement information used in the preparation of this survey is based on the 5th Amended Commitment for title insurance prepared by Chicago Title Insurance Company, Order No. 235791 dated July 31, 2014 at 7:00 am (contains other lands).
- Existing utilities, services and underground structures shown hereon were located either physically, from existing records made available to us, by resident testimony, or by locations provided by Gopher State One Call, per Ticket No. 151001745. However, lacking excavation, the exact location of underground features cannot be accurately completely and reliably depicted. Where additional or more detailed information is required, the client is advised that excavation may be necessary. Other utilities and services may be present and verification and location of all utilities and services should be obtained from the owners of the respective utilities prior to any design, planning or excavation.
- The property described hereon lies within Flood Zone X (areas determined to be outside the 0.2% annual chance flood plain) per Federal Insurance Rate Map No. 27053 C 0357 E, dated September 2, 2004.
- As of the date of this survey the property described hereon contains a total of 1,062 parking spaces of which 164 are standard surface parking spaces; 893 standard garage parking spaces; and 5 ore designated handicapped garage spaces.
- BENCHMARK: Top of City of Minneapolis Control Monument ID #556 (4th Street North & Hennepin Avenue) Elevation = 846.91 feet. (N.G.V.D 1929)
Site Benchmarks:
Top nut hydrant at 1st Street North & Hennepin Avenue Elevation = 839.04 feet. (N.G.V.D 1929)

SURVEY ITEMS PER SCHEDULE B:

- ITEM 26: Reservation of minerals and mineral rights in favor of the State of Minnesota, appearing as a recital on the Certificate of Title. (affects Lot 67, Auditor's Subdivision No. 137) (as to Parcel 4)
- ITEM 27: Easement for highway purposes in favor of the County of Hennepin, as shown in Final Certificate, dated November 9, 1988, recorded November 8, 1988 as Document No. 5473785 (Abstract), and recorded November 10, 1988 as Document No. 1973376 (Torrens). (as to Parcel 4) Said easement affects the subject property and is depicted on the survey.
- ITEM 28: Easement for public right-of-way purposes in favor of the City of Minneapolis, recorded December 2, 1996 as Document No. 6668426 (Abstract). (as to Parcel 4)
Note: This document is not filed on the torrens certificate, but it does appear to affect the property. Said easement affects the subject property and is depicted the survey.
- ITEM 29: The following matters shown on the ALTA/ACSM Survey of Parcel 4, prepared by Egan, Field & Nowak, Inc., dated June 2, 2014, as Job No. 35895:
(a) Paver surface at Hennepin Avenue and First Street North encroaches outside property boundaries.
- ITEM 30: Terms and conditions of Option and Building Lease Agreement and Addendum dated October 9, 1990, as amended, by and between NOP Hennepin LLC, a Delaware limited liability company, Lessor, and Verizon Wireless (AW) LLC d/b/a Verizon Wireless, Tenant, as evidenced by that certain Memorandum of Lease and Amendment, dated April 24, 2009, recorded May 21, 2009 as Document No. T4647140. (as to Parcel 4) Said lease, which affects the property, is not mathematically defined and is not depicted on the survey.

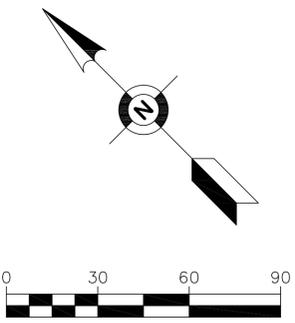
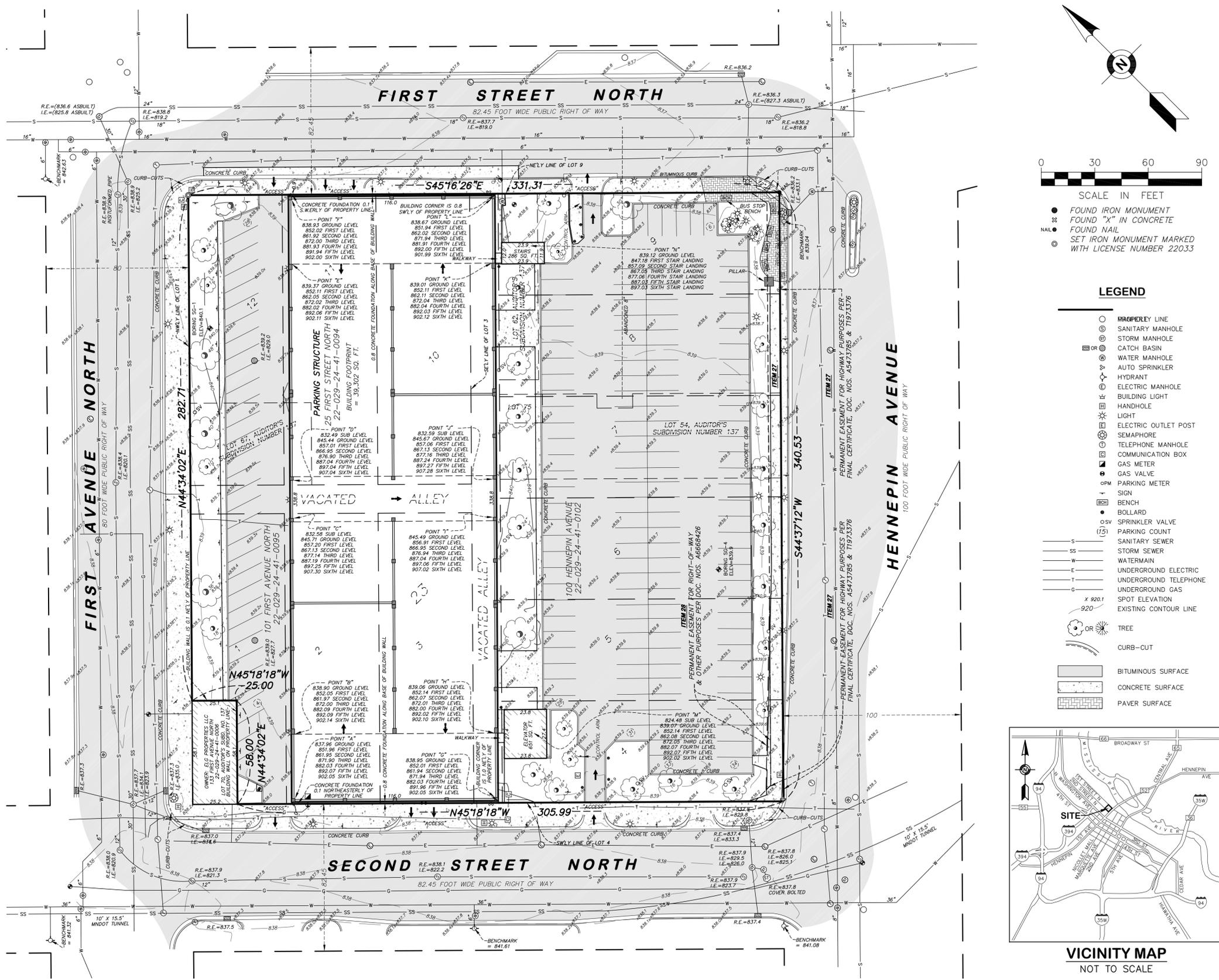
CERTIFICATION:

To Ryan Companies US, Inc., Shorestein Residential LLC:

This is to certify that this map or plot and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 7(a), 7(b)(1), 8, 9, 11(b), 13 and 22 of Table A thereof. The field work was completed on May 3, 2014.

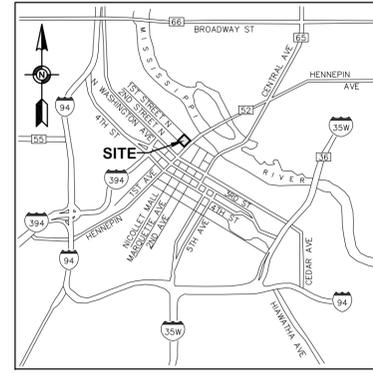
Date of Plot or Map: May 5, 2015

Lee J. Nord
Lee J. Nord
Minnesota License No. 22033



- SCALE IN FEET
- FOUND IRON MONUMENT
 - ⊗ FOUND "X" IN CONCRETE
 - FOUND NAIL
 - ⊙ SET IRON MONUMENT MARKED WITH LICENSE NUMBER 22033

- ### LEGEND
- MANHOLE LINE
 - ⊙ SANITARY MANHOLE
 - ⊗ STORM MANHOLE
 - ⊙ CATCH BASIN
 - ⊙ WATER MANHOLE
 - ⊙ AUTO SPRINKLER
 - ⊙ HYDRANT
 - ⊙ ELECTRIC MANHOLE
 - ⊙ BUILDING LIGHT
 - ⊙ HANDHOLE
 - ⊙ LIGHT
 - ⊙ ELECTRIC OUTLET POST
 - ⊙ SEMAPHORE
 - ⊙ TELEPHONE MANHOLE
 - ⊙ COMMUNICATION BOX
 - ⊙ GAS METER
 - ⊙ GAS VALVE
 - ⊙ PARKING METER
 - ⊙ SIGN
 - ⊙ BENCH
 - ⊙ BOLLARD
 - ⊙ SPRINKLER VALVE
 - ⊙ PARKING COUNT
 - ⊙ SANITARY SEWER
 - ⊙ STORM SEWER
 - ⊙ WATERMAIN
 - ⊙ UNDERGROUND ELECTRIC
 - ⊙ UNDERGROUND TELEPHONE
 - ⊙ UNDERGROUND GAS
 - ⊙ SPOT ELEVATION
 - ⊙ EXISTING CONTOUR LINE
 - ⊙ TREE
 - ⊙ CURB-CUT
 - ⊙ BITUMINOUS SURFACE
 - ⊙ CONCRETE SURFACE
 - ⊙ PAVER SURFACE



VICINITY MAP
NOT TO SCALE

FIELD BOOK	PAGE	FIELDWORK CHIEF:
2870	26	SW
DRAWING NAME:		DRAWN BY:
36260.dwg		PMD
JOB NO. 36260		CHECKED BY:
FILE NO. 716		LJN

REVISIONS		
NO.	DATE	DESCRIPTION
01	6/2/15	COMMENTS PER KIMLEY-HORN

ALTA/ACSM LAND TITLE SURVEY

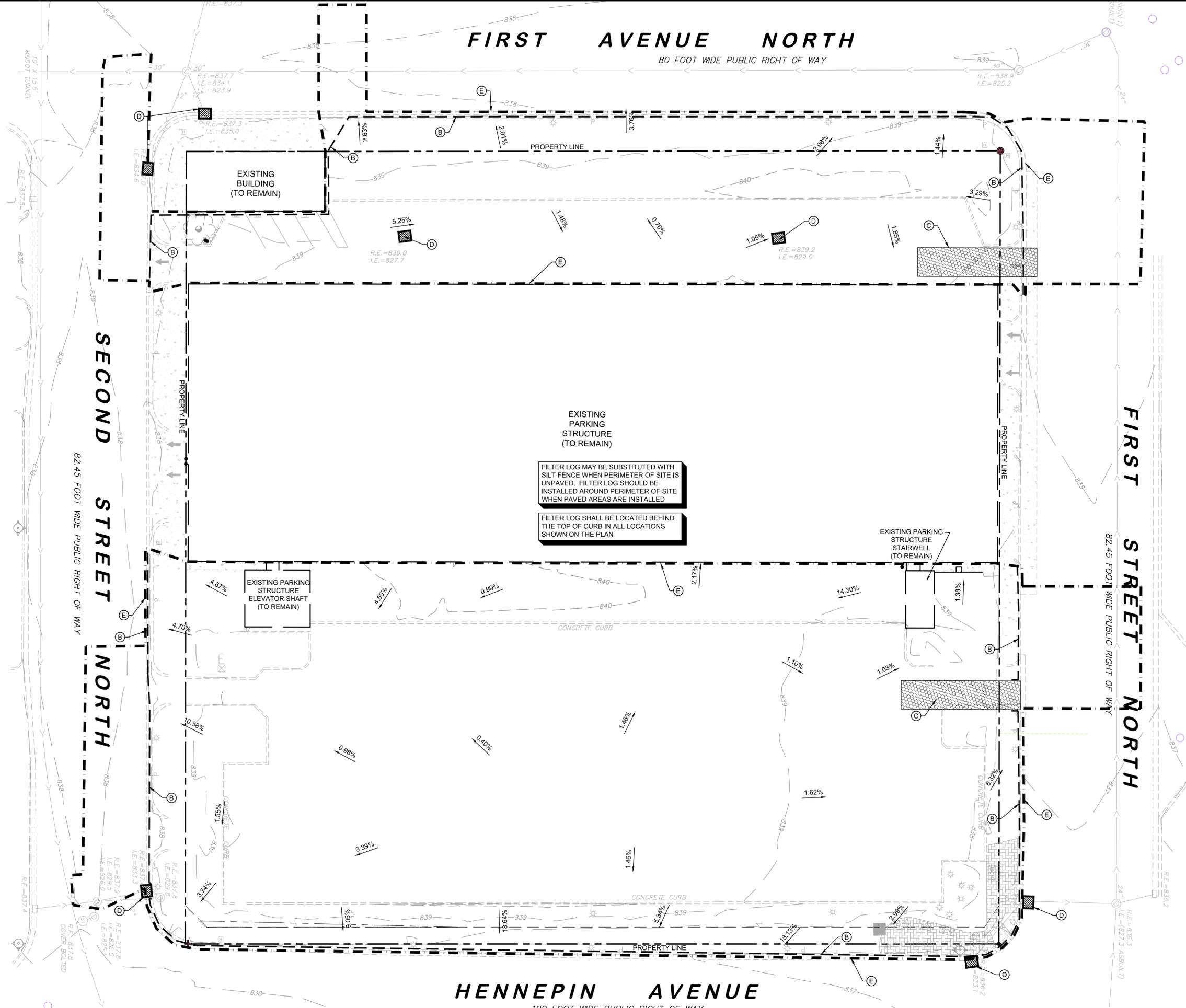
SURVEY FOR:
Ryan Companies

PROPERTY ADDRESS:
**100 Hennepin Avenue
101 First Avenue North
25 First Street North
Minneapolis, Minnesota 55401**

Egan, Field & Nowak, Inc.
land surveyors since 1872

1229 Tyler Street NE, Suite 100
Minneapolis, Minnesota 55413
PHONE: (612) 466-3300
FAX: (612) 466-3383
WWW.EFNSURVEY.COM
COPYRIGHT © 2015 by EGAN, FIELD & NOWAK, INC.

This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



LEGEND

	PROPERTY LINE
	EXISTING CURB AND GUTTER
	ROCK ENTRANCE
	DENOTES DRAINAGE DIRECTION
	INLET PROTECTION
	SEDIMENT CONTROL-SILT FENCE
	LIMITS OF CONSTRUCTION
	SEDIMENT CONTROL-FILTER LOG
	EXISTING CONCRETE SIDEWALK

KEYNOTE LEGEND

(A)	SILT FENCE PER CITY OF MINNEAPOLIS STANDARDS
(B)	FILTER LOG PER CITY OF MINNEAPOLIS STANDARDS
(C)	ROCK ENTRANCE PER CITY OF MINNEAPOLIS STANDARDS
(D)	INLET PROTECTION AT EXISTING CATCH BASIN
(E)	LIMITS OF CONSTRUCTION

SITE DATA SUMMARY

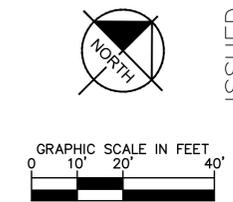
LIMITS OF CONSTRUCTION	±2.11 ACRES
TOTAL SITE AREA	±2.56 ACRES
PRE-DEVELOPMENT IMPERVIOUS AREA	±2.15 ACRES
PRE-DEVELOPMENT PERVIOUS AREA	±0.41 ACRES
POST-DEVELOPMENT IMPERVIOUS AREA	±2.51 ACRES
POST-DEVELOPMENT PERVIOUS AREA	±0.05 ACRES

- EROSION CONTROL PLAN NOTES**
- ALL PERIMETER SILT FENCE AND ROCK CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO CONSTRUCTION.
 - THE CONTRACTOR SHALL INSTALL CATCH BASIN EROSION CONTROL MEASURES.
 - WITHIN ONE WEEK (7 DAYS) OF SITE GRADING, ALL DISTURBED AREAS SHALL BE STABILIZED WITH SEED, SOD, OR ROCK BASE. REFER TO LANDSCAPE PLANS FOR MATERIALS.
 - ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH CITY, AND WATERSHED DISTRICT PERMITS.
 - THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES, INCLUDING THE REMOVAL OF SILT IN FRONT OF SILT FENCES DURING THE DURATION OF THE CONSTRUCTION.
 - ANY EXCESS SEDIMENT IN PROPOSED BASINS SHALL BE REMOVED BY THE CONTRACTOR.
 - REMOVAL ALL EROSION CONTROL MEASURES AFTER VEGETATION IS ESTABLISHED.
 - THE CONTRACTOR SHALL REMOVE ALL SOILS AND SEDIMENT TRACKED ONTO EXISTING STREETS AND PAVED AREAS.
 - IF BLOWING DUST BECOMES A NUISANCE, THE CONTRACTOR SHALL APPLY WATER FROM A TANK TRUCK TO ALL CONSTRUCTION AREAS.
 - SWEEP ADJACENT STREET IN ACCORDANCE WITH CITY REQUIREMENTS.

- CONSTRUCTION SEQUENCE**
- INSTALL SILT FENCE, ROCK LOG, INLET PROTECTION AND ENTRANCE
 - CLEAN AND GRUB SITE, REMOVE PAVEMENT, CURB AND GUTTER, AND SIDEWALK
 - MASS EXCAVATION
 - CONSTRUCT BUILDING FOOTINGS
 - INSTALL SITE UTILITIES
 - INSTALL INLET PROTECTION ON ALL NEW INLETS
 - CONSTRUCT BUILDING
 - CONSTRUCT CURB & GUTTER AND PAVEMENT
 - COMPLETE FINAL GRADING
 - COMPLETE FINAL STABILIZATION
 - WITH APPROVAL FROM CITY OF MINNEAPOLIS, REMOVE EROSION CONTROL

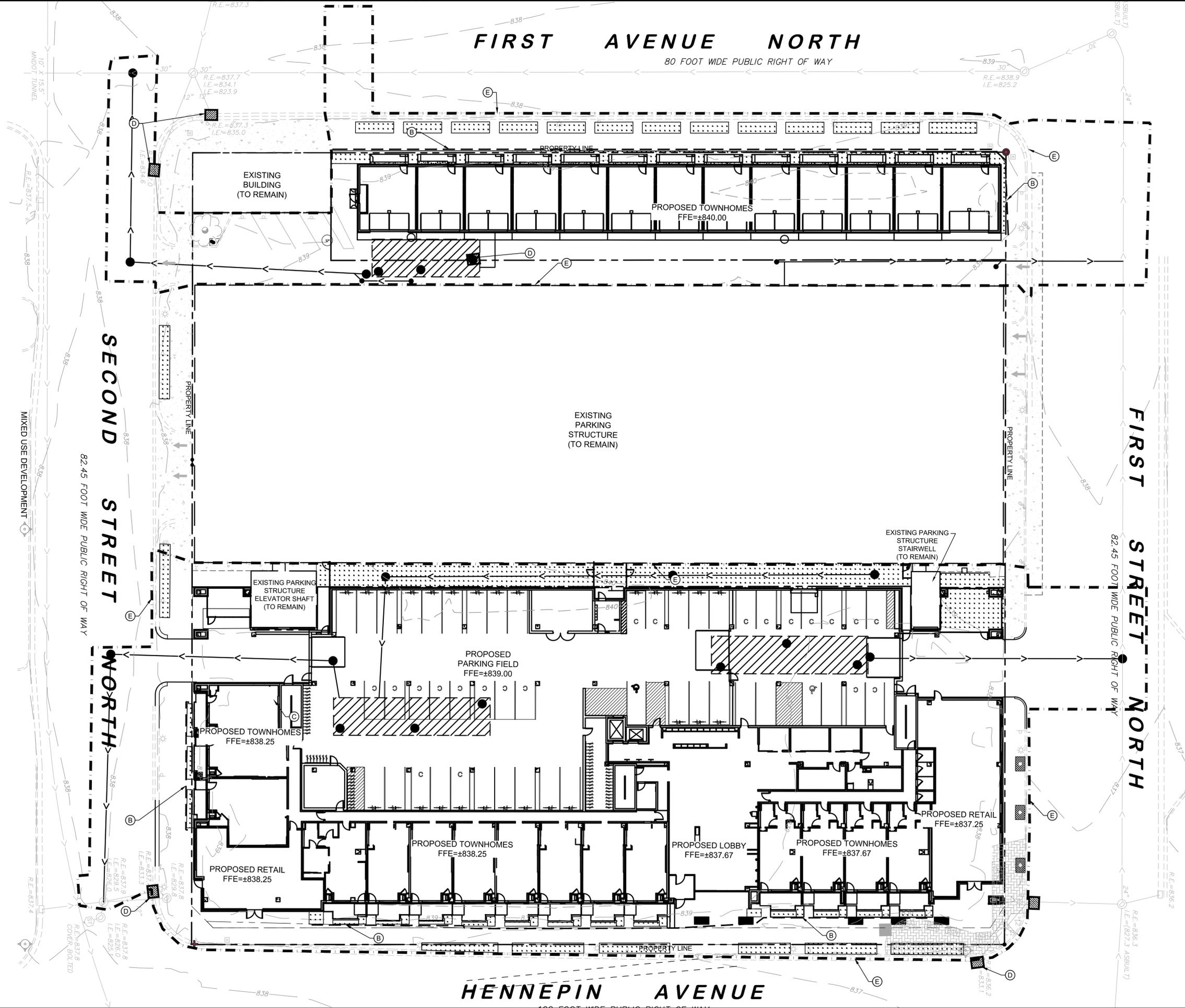
- PHASE I AND II INSPECTION AND NOTIFICATION NOTES**
- INSPECTION
 - THE INDIVIDUAL IDENTIFIED AS BEING RESPONSIBLE FOR IMPLEMENTING THE EROSION CONTROL PLAN MUST ROUTINELY INSPECT THE CONSTRUCTION SITE ONCE EVERY SEVEN DAYS DURING ACTIVE CONSTRUCTION AND WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 0.5 INCHES IN 24 HOURS.
 - ALL INSPECTIONS AND MAINTENANCE CONDUCTED DURING CONSTRUCTION MUST BE RECORDED IN WRITING AND THESE RECORDS MUST BE RETAINED SO AS TO BE MADE AVAILABLE WITHIN 24 HOURS OF THE CITY OF MINNEAPOLIS REQUEST.
 - NOTIFICATION:
 - THE CITY OF MINNEAPOLIS SHALL BE NOTIFIED IN WRITING AT THE FOLLOWING POINTS:
 - ON COMPLETING INSTALLATION OF PERIMETER EROSION AND SEDIMENTATION CONTROL
 - ON COMPLETING LAND-DISTURBING ACTIVITIES AND PUTTING INTO PLACE MEASURES FOR FINAL SOIL STABILIZATION AND REVEGETATION
 - WHENEVER ANY SITE DEWATERING IS PROPOSED TO TAKE PLACE
 - WHEN ALL TEMPORARY EROSION AND SEDIMENTATION CONTROLS HAVE BEEN REMOVED FROM THE SITE.

GENERAL CONTRACTOR: RYAN COMPANIES
 EROSION CONTROL 24/7 CONTACT: TBD



KHA PROJECT 160640005	DATE	10/12/15	SCALE	AS SHOWN	DESIGNED BY	TDS	DRAWN BY	BRU	CHECKED BY	TDS
	ISSUED FOR LUA/PDR RESUBMITTAL	9/4/15	BRU	10/12/15	BRU	10/12/15	BRU	10/12/15	BRU	10/12/15
	ISSUED FOR HFC REVIEW	7/24/15	BRU	7/24/15	BRU	7/24/15	BRU	7/24/15	BRU	7/24/15
	ISSUED FOR PDR	7/02/15	BRU	7/02/15	BRU	7/02/15	BRU	7/02/15	BRU	7/02/15
	ISSUED FOR HFC REVIEW	6/22/15	BRU	6/22/15	BRU	6/22/15	BRU	6/22/15	BRU	6/22/15
ISSUED FOR PRELIMINARY PRICING	5/15/15	BRU	5/15/15	BRU	5/15/15	BRU	5/15/15	BRU	5/15/15	BRU
ISSUED FOR PERMIT										
Kimley»Horn										
© 2015 KIMLEY-HORN AND ASSOCIATES, INC. 2550 UNIVERSITY AVENUE WEST, SUITE 238N, ST. PAUL, MN 55114 PHONE: 651-645-4197 WWW.KIMLEY-HORN.COM										
PHASE I EROSION CONTROL PLAN										
100 HENNEPIN MINNEAPOLIS, MN										
C2.0										

This document, together with the concepts and designs presented herein, is an instrument of service, and is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



LEGEND

- PROPERTY LINE
- PROPOSED CURB AND GUTTER
- EXISTING CURB AND GUTTER
- ROCK ENTRANCE
- DENOTES DRAINAGE DIRECTION
- INLET PROTECTION
- SEDIMENT CONTROL-SILT FENCE
- LIMITS OF CONSTRUCTION
- SEDIMENT CONTROL-FILTER LOG
- PROPOSED LANDSCAPING
- EXISTING CONCRETE SIDEWALK

KEYNOTE LEGEND

- (A) SILT FENCE PER CITY OF MINNEAPOLIS STANDARDS
- (B) FILTER LOG PER CITY OF MINNEAPOLIS STANDARDS
- (C) ROCK ENTRANCE PER CITY OF MINNEAPOLIS STANDARDS
- (D) INLET PROTECTION AT EXISTING CATCH BASIN
- (E) LIMITS OF CONSTRUCTION

SITE DATA SUMMARY

LIMITS OF CONSTRUCTION	±2.11 ACRES
TOTAL SITE AREA	±2.56 ACRES
PRE-DEVELOPMENT IMPERVIOUS AREA	±2.15 ACRES
PRE-DEVELOPMENT PERVIOUS AREA	±0.41 ACRES
POST-DEVELOPMENT IMPERVIOUS AREA	±2.51 ACRES
POST-DEVELOPMENT PERVIOUS AREA	±0.05 ACRES

- EROSION CONTROL PLAN NOTES**
- ALL PERIMETER SILT FENCE AND ROCK CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO CONSTRUCTION.
 - THE CONTRACTOR SHALL INSTALL CATCH BASIN EROSION CONTROL MEASURES.
 - WITHIN ONE WEEK (7 DAYS) OF SITE GRADING, ALL DISTURBED AREAS SHALL BE STABILIZED WITH SEED, SOO, OR ROCK BASE. REFER TO LANDSCAPE PLANS FOR MATERIALS.
 - ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH CITY, AND WATERSHED DISTRICT PERMITS.
 - THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES, INCLUDING THE REMOVAL OF SILT IN FRONT OF SILT FENCES DURING THE DURATION OF THE CONSTRUCTION.
 - ANY EXCESS SEDIMENT IN PROPOSED BASINS SHALL BE REMOVED BY THE CONTRACTOR.
 - REMOVAL ALL EROSION CONTROL MEASURES AFTER VEGETATION IS ESTABLISHED.
 - THE CONTRACTOR SHALL REMOVE ALL SOILS AND SEDIMENT TRACKED ONTO EXISTING STREETS AND PAVED AREAS.
 - IF BLOWING DUST BECOMES A NUISANCE, THE CONTRACTOR SHALL APPLY WATER FROM A TANK TRUCK TO ALL CONSTRUCTION AREAS.
 - SWEEP ADJACENT STREET IN ACCORDANCE WITH CITY REQUIREMENTS.

- CONSTRUCTION SEQUENCE**
- INSTALL SILT FENCE, ROCK LOG, INLET PROTECTION AND ENTRANCE
 - CLEAN AND GRUB SITE. REMOVE PAVEMENT, CURB AND GUTTER, AND SIDEWALK
 - MASS EXCAVATION
 - CONSTRUCT BUILDING FOOTINGS AND
 - INSTALL SITE UTILITIES
 - INSTALL INLET PROTECTION ON ALL NEW INLETS
 - CONSTRUCT BUILDING
 - CONSTRUCT CURB & GUTTER AND PAVEMENT
 - COMPLETE FINAL GRADING
 - COMPLETE FINAL STABILIZATION
 - WITH APPROVAL FROM CITY OF MINNEAPOLIS, REMOVE EROSION CONTROL

- PHASE I AND II INSPECTION AND NOTIFICATION NOTES**
- INSPECTION
 - THE INDIVIDUAL IDENTIFIED AS BEING RESPONSIBLE FOR IMPLEMENTING THE EROSION CONTROL PLAN MUST ROUTINELY INSPECT THE CONSTRUCTION SITE ONCE EVERY SEVEN DAYS DURING ACTIVE CONSTRUCTION AND WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 0.5 INCHES IN 24 HOURS. ALL INSPECTIONS AND MAINTENANCE CONDUCTED DURING CONSTRUCTION MUST BE RECORDED IN WRITING AND THESE RECORDS MUST BE RETAINED SO AS TO BE MADE AVAILABLE WITHIN 24 HOURS OF THE CITY OF MINNEAPOLIS REQUEST.
 - NOTIFICATION:
 - THE CITY OF MINNEAPOLIS SHALL BE NOTIFIED IN WRITING AT THE FOLLOWING POINTS
 - ON COMPLETING INSTALLATION OF PERIMETER EROSION AND SEDIMENTATION CONTROL
 - ON COMPLETING LAND-DISTURBING ACTIVITIES AND PUTTING INTO PLACE MEASURES FOR FINAL SOIL STABILIZATION AND REVEGETATION
 - WHENEVER ANY SITE DEWATERING IS PROPOSED TO TAKE PLACE
 - WHEN ALL TEMPORARY EROSION AND SEDIMENTATION CONTROLS HAVE BEEN REMOVED FROM THE SITE.

GENERAL CONTRACTOR: RYAN COMPANIES
 EROSION CONTROL 24/7 CONTACT: TBD

EROSION CONTROL PLAN

ISSUED FOR PERMIT

100 HENNEPIN
MINNEAPOLIS, MN

C2.1

GRAPHIC SCALE IN FEET
0 10' 20' 40'

NORTH

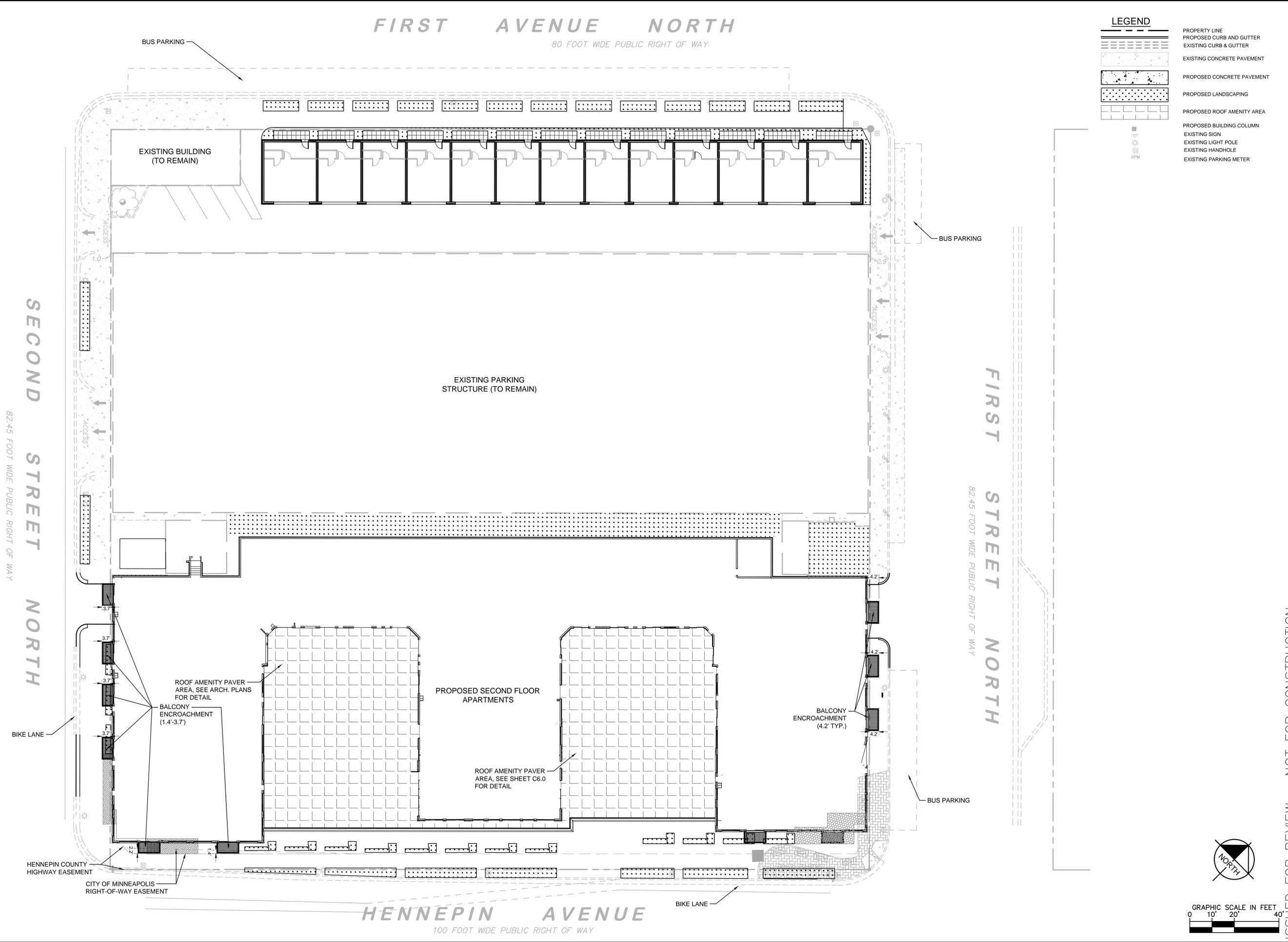
NO.	REVISIONS	DATE	BY
6	ISSUED FOR PRELIMINARY PRICING	5/15/15	BRJ
5	ISSUED FOR HFC REVIEW	7/24/15	BRJ
4	ISSUED FOR HFC REVIEW	7/24/15	BRJ
3	ISSUED FOR HFC REVIEW	6/22/15	BRJ
2	ISSUED FOR HFC REVIEW	6/22/15	BRJ
1	ISSUED FOR HFC REVIEW	6/22/15	BRJ
0	ISSUED FOR HFC REVIEW	6/22/15	BRJ

KHA PROJECT	160640005
DATE	10/12/15
SCALE	AS SHOWN
DESIGNED BY	TDS
DRAWN BY	BRJ
CHECKED BY	TDS

Kimley-Horn

© 2015 KIMLEY-HORN AND ASSOCIATES, INC.
 2550 UNIVERSITY AVENUE WEST, SUITE 238N, ST. PAUL, MN 55114
 PHONE: 651-645-4197
 WWW.KIMLEY-HORN.COM

This document, together with the concepts and designs presented herein, is an instrument of service, and is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



KHA PROJECT 160640005		DATE 9/4/15		KIMLEY-HORN	
SCALE AS SHOWN		DESIGNED BY TDS		PRELIMINARY	
DRAWN BY BRJ		CHECKED BY TDS		© 2015 KIMLEY-HORN AND ASSOCIATES, INC. 2550 UNIVERSITY AVENUE WEST, SUITE 238N, ST. PAUL, MN 55114 PHONE: 651-645-4197 WWW.KIMLEY-HORN.COM	
ISSUED FOR LU/PDR RESUBMITTAL		9/4/15		BRJ	
ISSUED FOR HFC REVIEW		7/24/15		BRJ	
ISSUED FOR PDR		7/02/15		BRJ	
ISSUED FOR HFC REVIEW		6/22/15		BRJ	
ISSUED FOR PRELIMINARY PRICING		5/15/15		BRJ	
No.		REVISIONS		DATE	
BY		BY		BY	

ISSUED FOR REVIEW - NOT FOR CONSTRUCTION

100 HENNEPIN
MINNEAPOLIS, MN

SECOND FLOOR
SITE PLAN

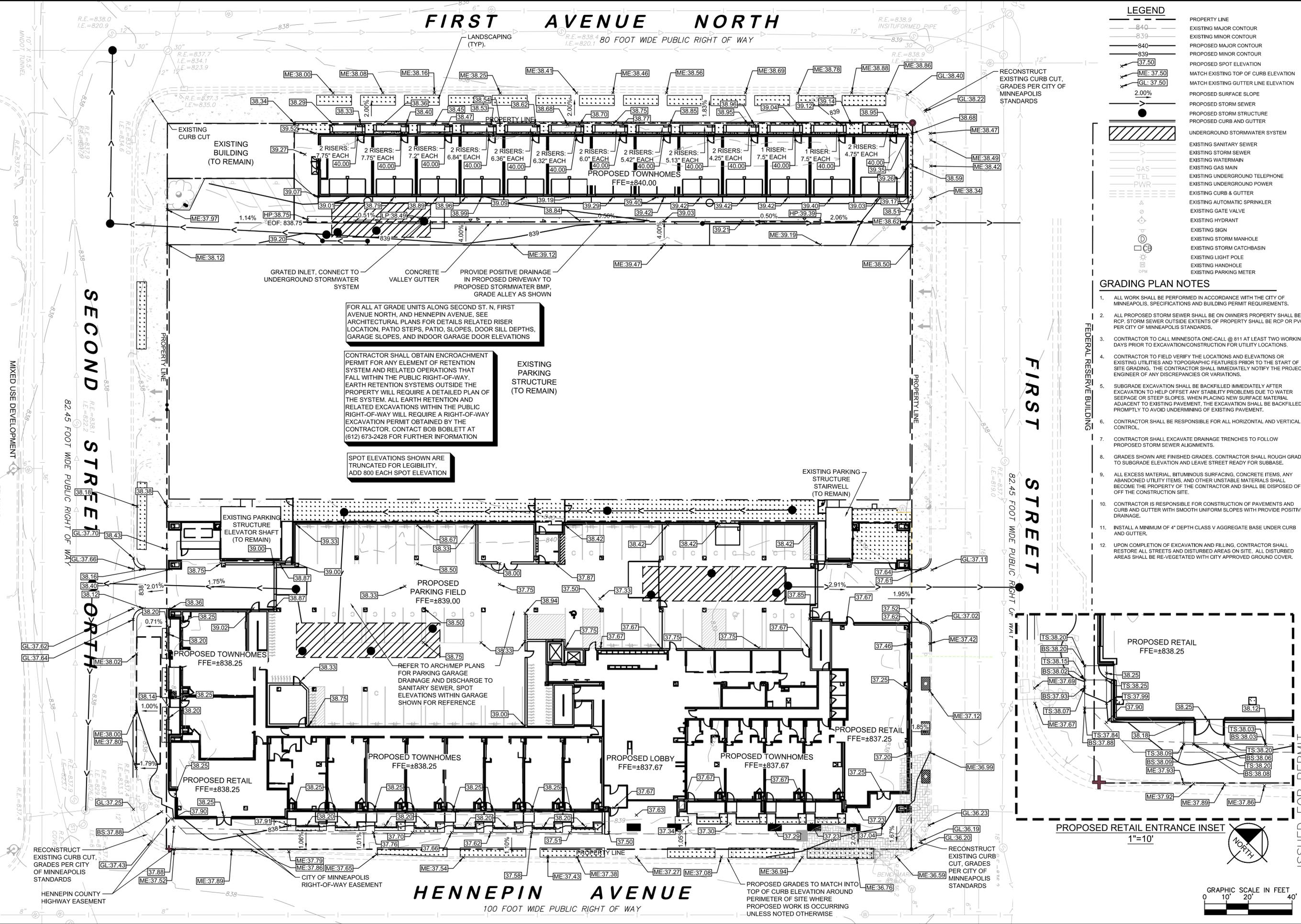
PRELIMINARY

Kimley-Horn
© 2015 KIMLEY-HORN AND ASSOCIATES, INC.
2550 UNIVERSITY AVENUE WEST, SUITE 238N, ST. PAUL, MN 55114
PHONE: 651-645-4197
WWW.KIMLEY-HORN.COM

KHA PROJECT 160640005		DATE 9/4/15		KIMLEY-HORN	
SCALE AS SHOWN		DESIGNED BY TDS		PRELIMINARY	
DRAWN BY BRJ		CHECKED BY TDS		© 2015 KIMLEY-HORN AND ASSOCIATES, INC. 2550 UNIVERSITY AVENUE WEST, SUITE 238N, ST. PAUL, MN 55114 PHONE: 651-645-4197 WWW.KIMLEY-HORN.COM	
ISSUED FOR LU/PDR RESUBMITTAL		9/4/15		BRJ	
ISSUED FOR HFC REVIEW		7/24/15		BRJ	
ISSUED FOR PDR		7/02/15		BRJ	
ISSUED FOR HFC REVIEW		6/22/15		BRJ	
ISSUED FOR PRELIMINARY PRICING		5/15/15		BRJ	
No.		REVISIONS		DATE	
BY		BY		BY	

C3.2

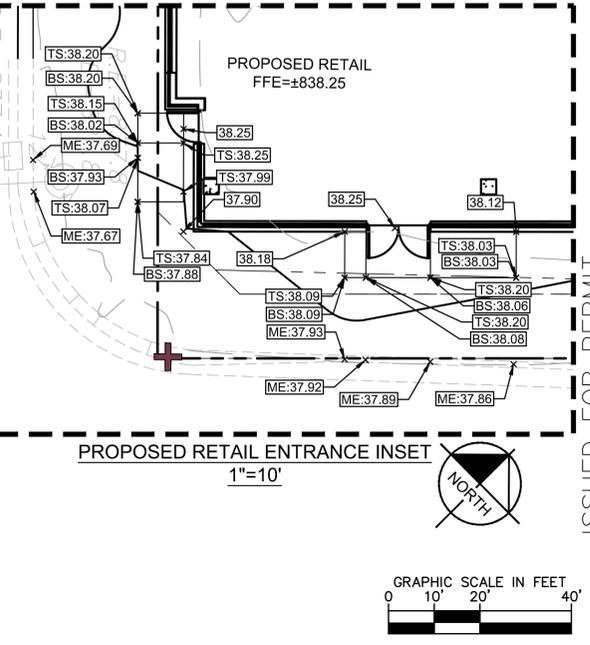
This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



LEGEND

---	PROPERTY LINE
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
---	PROPOSED MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
---	PROPOSED SPOT ELEVATION
---	MATCH EXISTING TOP OF CURB ELEVATION
---	MATCH EXISTING GUTTER LINE ELEVATION
---	PROPOSED SURFACE SLOPE
---	PROPOSED STORM SEWER
---	PROPOSED STORM STRUCTURE
---	PROPOSED CURB AND GUTTER
---	UNDERGROUND STORMWATER SYSTEM
---	EXISTING SANITARY SEWER
---	EXISTING STORM SEWER
---	EXISTING WATERMAIN
---	EXISTING GAS MAIN
---	EXISTING UNDERGROUND TELEPHONE
---	EXISTING UNDERGROUND POWER
---	EXISTING CURB & GUTTER
---	EXISTING AUTOMATIC SPRINKLER
---	EXISTING GATE VALVE
---	EXISTING HYDRANT
---	EXISTING SIGN
---	EXISTING STORM MANHOLE
---	EXISTING STORM CATCHBASIN
---	EXISTING LIGHT POLE
---	EXISTING HANDHOLE
---	EXISTING PARKING METER

- GRADING PLAN NOTES**
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF MINNEAPOLIS, SPECIFICATIONS AND BUILDING PERMIT REQUIREMENTS.
 - ALL PROPOSED STORM SEWER SHALL BE ON OWNER'S PROPERTY SHALL BE RCP. STORM SEWER OUTSIDE EXTENTS OF PROPERTY SHALL BE RCP OR PVC PER CITY OF MINNEAPOLIS STANDARDS.
 - CONTRACTOR TO CALL MINNESOTA ONE-CALL @ 811 AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION/CONSTRUCTION FOR UTILITY LOCATIONS.
 - CONTRACTOR TO FIELD VERIFY THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO THE START OF SITE GRADING. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES OR VARIATIONS.
 - SUBGRADE EXCAVATION SHALL BE BACKFILLED IMMEDIATELY AFTER EXCAVATION TO HELP OFFSET ANY STABILITY PROBLEMS DUE TO WATER SEEPAGE OR STEEP SLOPES. WHEN PLACING NEW SURFACE MATERIAL ADJACENT TO EXISTING PAVEMENT, THE EXCAVATION SHALL BE BACKFILLED PROMPTLY TO AVOID UNDERMINING OF EXISTING PAVEMENT.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL CONTROL.
 - CONTRACTOR SHALL EXCAVATE DRAINAGE TRENCHES TO FOLLOW PROPOSED STORM SEWER ALIGNMENTS.
 - GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL ROUGH GRADE TO SUBGRADE ELEVATION AND LEAVE STREET READY FOR SUBBASE.
 - ALL EXCESS MATERIAL, BITUMINOUS SURFACING, CONCRETE ITEMS, ANY ABANDONED UTILITY ITEMS, AND OTHER UNSTABLE MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF THE CONSTRUCTION SITE.
 - CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF PAVEMENTS AND CURB AND GUTTER WITH SMOOTH UNIFORM SLOPES WITH PROPOSED POSITIVE DRAINAGE.
 - INSTALL A MINIMUM OF 4" DEPTH CLASS V AGGREGATE BASE UNDER CURB AND GUTTER.
 - UPON COMPLETION OF EXCAVATION AND FILLING, CONTRACTOR SHALL RESTORE ALL STREETS AND DISTURBED AREAS ON SITE. ALL DISTURBED AREAS SHALL BE RE-VEGETATED WITH CITY APPROVED GROUND COVER.



Kimley»Horn

© 2015 KIMLEY-HORN AND ASSOCIATES, INC.
2550 UNIVERSITY AVENUE WEST, SUITE 238N, ST. PAUL, MN 55114
PHONE: 651-645-4197
WWW.KIMLEY-HORN.COM

KHA PROJECT	DATE	SCALE	DESIGNED BY	DRWN BY	CHECKED BY
160640005	10/12/15	AS SHOWN	TDS	BRU	TDS

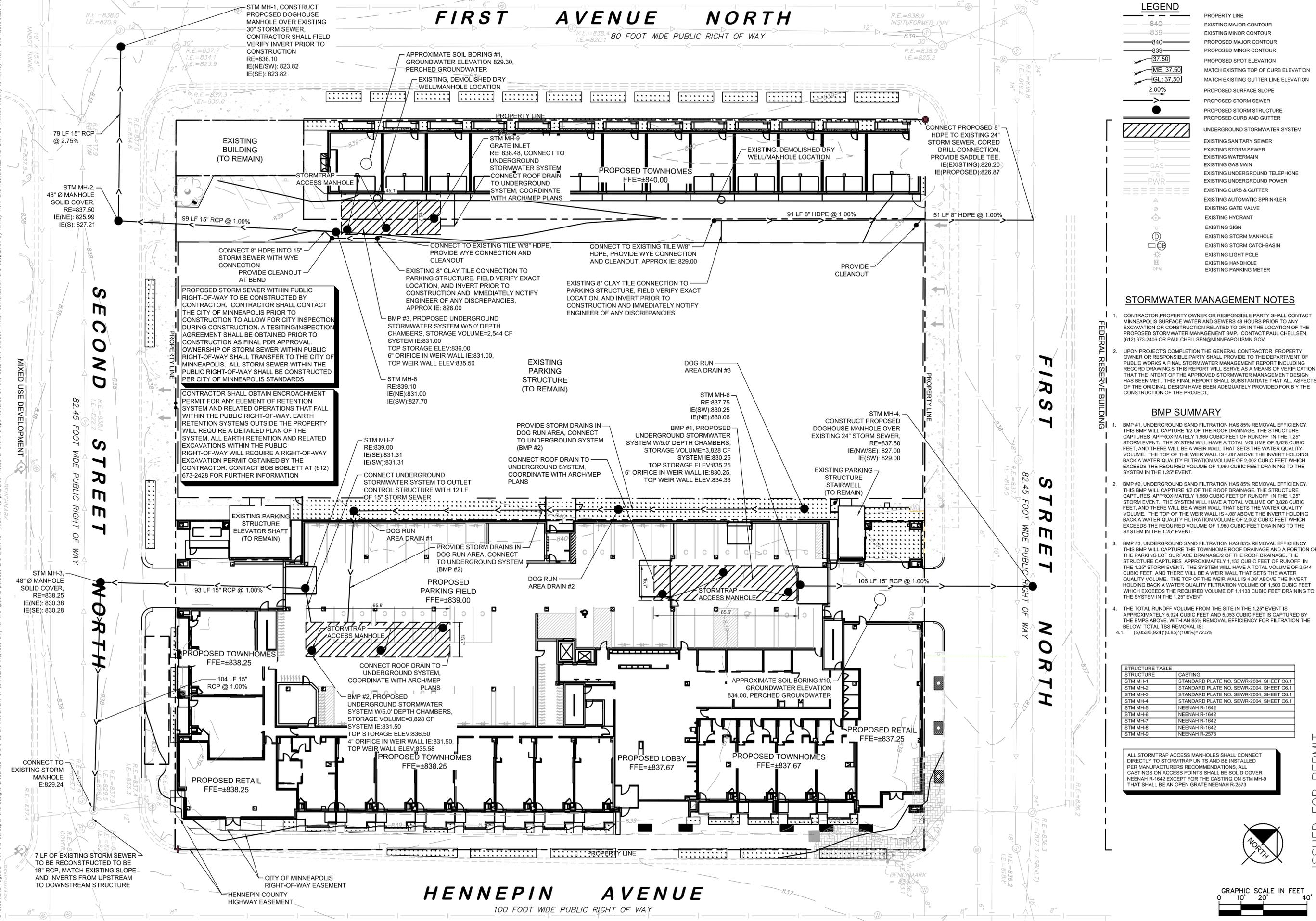
GRADING AND DRAINAGE PLAN

ISSUED FOR PERMIT

100 HENNEPIN AVENUE, MN

C4.0

K:\TWC_LDEV\Ryan Companies\100 Hennepin\3 Design\CAD\PlanSheets\C4.1 - Stormwater Management Plan.dwg October 12, 2015 - 12:23pm
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of any part of this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



LEGEND

840	PROPERTY LINE
839	EXISTING MAJOR CONTOUR
840	EXISTING MINOR CONTOUR
839	PROPOSED MAJOR CONTOUR
839	PROPOSED MINOR CONTOUR
37.50	PROPOSED SPOT ELEVATION
ME: 37.50	MATCH EXISTING TOP OF CURB ELEVATION
GL: 37.50	MATCH EXISTING GUTTER LINE ELEVATION
2.00%	PROPOSED SURFACE SLOPE
●	PROPOSED STORM SEWER
○	PROPOSED STORM STRUCTURE
○	PROPOSED CURB AND GUTTER
▨	UNDERGROUND STORMWATER SYSTEM
▨	EXISTING SANITARY SEWER
▨	EXISTING STORM SEWER
▨	EXISTING WATERMAIN
▨	EXISTING GAS MAIN
▨	EXISTING UNDERGROUND TELEPHONE
▨	EXISTING UNDERGROUND POWER
▨	EXISTING CURB & GUTTER
▨	EXISTING AUTOMATIC SPRINKLER
▨	EXISTING GATE VALVE
▨	EXISTING HYDRANT
▨	EXISTING SIGN
▨	EXISTING STORM MANHOLE
▨	EXISTING STORM CATCHBASIN
▨	EXISTING LIGHT POLE
▨	EXISTING HANDHOLE
▨	EXISTING PARKING METER

STORMWATER MANAGEMENT NOTES

- CONTRACTOR, PROPERTY OWNER OR RESPONSIBLE PARTY SHALL CONTACT MINNEAPOLIS SURFACE WATER AND SEWERS 48 HOURS PRIOR TO ANY EXCAVATION OR CONSTRUCTION RELATED TO OR IN THE LOCATION OF THE PROPOSED STORMWATER MANAGEMENT BMP. CONTACT PAUL CHELSEN, (612) 673-2406 OR PAULCHELSEN@MINNEAPOLISMN.GOV
- UPON PROJECTS COMPLETION THE GENERAL CONTRACTOR, PROPERTY OWNER OR RESPONSIBLE PARTY SHALL PROVIDE TO THE DEPARTMENT OF PUBLIC WORKS A FINAL STORMWATER MANAGEMENT REPORT INCLUDING RECORD DRAWINGS. THIS REPORT SHALL SERVE AS A MEANS OF VERIFICATION THAT THE INTENT OF THE APPROVED STORMWATER MANAGEMENT DESIGN HAS BEEN MET. THIS FINAL REPORT SHALL SUBSTANTIATE THAT ALL ASPECTS OF THE ORIGINAL DESIGN HAVE BEEN ADEQUATELY PROVIDED FOR BY THE CONSTRUCTION OF THE PROJECT.

BMP SUMMARY

- BMP #1, UNDERGROUND SAND FILTRATION HAS 85% REMOVAL EFFICIENCY. THIS BMP WILL CAPTURE 1/2 OF THE ROOF DRAINAGE. THE STRUCTURE CAPTURES APPROXIMATELY 1,960 CUBIC FEET OF RUNOFF IN THE 1.25" STORM EVENT. THE SYSTEM WILL HAVE A TOTAL VOLUME OF 3,828 CUBIC FEET, AND THERE WILL BE A WEIR WALL THAT SETS THE WATER QUALITY VOLUME. THE TOP OF THE WEIR WALL IS 4.08" ABOVE THE INVERT HOLDING BACK A WATER QUALITY FILTRATION VOLUME OF 2,002 CUBIC FEET WHICH EXCEEDS THE REQUIRED VOLUME OF 1,960 CUBIC FEET DRAINING TO THE SYSTEM IN THE 1.25" EVENT.
- BMP #2, UNDERGROUND SAND FILTRATION HAS 85% REMOVAL EFFICIENCY. THIS BMP WILL CAPTURE 1/2 OF THE ROOF DRAINAGE. THE STRUCTURE CAPTURES APPROXIMATELY 1,960 CUBIC FEET OF RUNOFF IN THE 1.25" STORM EVENT. THE SYSTEM WILL HAVE A TOTAL VOLUME OF 3,828 CUBIC FEET, AND THERE WILL BE A WEIR WALL THAT SETS THE WATER QUALITY VOLUME. THE TOP OF THE WEIR WALL IS 4.08" ABOVE THE INVERT HOLDING BACK A WATER QUALITY FILTRATION VOLUME OF 2,002 CUBIC FEET WHICH EXCEEDS THE REQUIRED VOLUME OF 1,960 CUBIC FEET DRAINING TO THE SYSTEM IN THE 1.25" EVENT.
- BMP #3, UNDERGROUND SAND FILTRATION HAS 85% REMOVAL EFFICIENCY. THIS BMP WILL CAPTURE THE TOWNHOME ROOF DRAINAGE AND A PORTION OF THE PARKING LOT SURFACE DRAINAGE/2 OF THE ROOF DRAINAGE. THE STRUCTURE CAPTURES APPROXIMATELY 1,133 CUBIC FEET OF RUNOFF IN THE 1.25" STORM EVENT. THE SYSTEM WILL HAVE A TOTAL VOLUME OF 2,544 CUBIC FEET, AND THERE WILL BE A WEIR WALL THAT SETS THE WATER QUALITY VOLUME. THE TOP OF THE WEIR WALL IS 4.08" ABOVE THE INVERT HOLDING BACK A WATER QUALITY FILTRATION VOLUME OF 1,500 CUBIC FEET WHICH EXCEEDS THE REQUIRED VOLUME OF 1,133 CUBIC FEET DRAINING TO THE SYSTEM IN THE 1.25" EVENT.
- THE TOTAL RUNOFF VOLUME FROM THE SITE IN THE 1.25" EVENT IS APPROXIMATELY 5,924 CUBIC FEET AND 5,353 CUBIC FEET IS CAPTURED BY THE BMP'S ABOVE, WITH AN 85% REMOVAL EFFICIENCY FOR FILTRATION THE BELOW TOTAL TSS REMOVAL IS:
 - (5,053/5,924)*(0.85)*(100%)=72.5%

STRUCTURE TABLE

STRUCTURE	CASTING
STM MH-1	STANDARD PLATE NO. SEWR-2004, SHEET C6.1
STM MH-2	STANDARD PLATE NO. SEWR-2004, SHEET C6.1
STM MH-3	STANDARD PLATE NO. SEWR-2004, SHEET C6.1
STM MH-4	STANDARD PLATE NO. SEWR-2004, SHEET C6.1
STM MH-5	NEENAH R-1642
STM MH-6	NEENAH R-1642
STM MH-7	NEENAH R-1642
STM MH-8	NEENAH R-1642
STM MH-9	NEENAH R-2573

ALL STORMTRAP ACCESS MANHOLES SHALL CONNECT APPROXIMATELY TO STORMWATER UNITS AND BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS. ALL CASTINGS ON ACCESS POINTS SHALL BE SOLID COVER NEENAH R-1642 EXCEPT FOR THE CASTING ON STM MH-9 THAT SHALL BE AN OPEN GRATE NEENAH R-2573

Kimley»Horn

© 2015 KIMLEY-HORN AND ASSOCIATES, INC.
 2550 UNIVERSITY AVENUE WEST, SUITE 238N, ST. PAUL, MN 55114
 PHONE: (651) 645-4197
 WWW.KIMLEY-HORN.COM

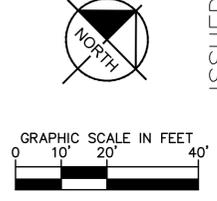
STORMWATER MANAGEMENT PLAN

ISSUED FOR PERMIT

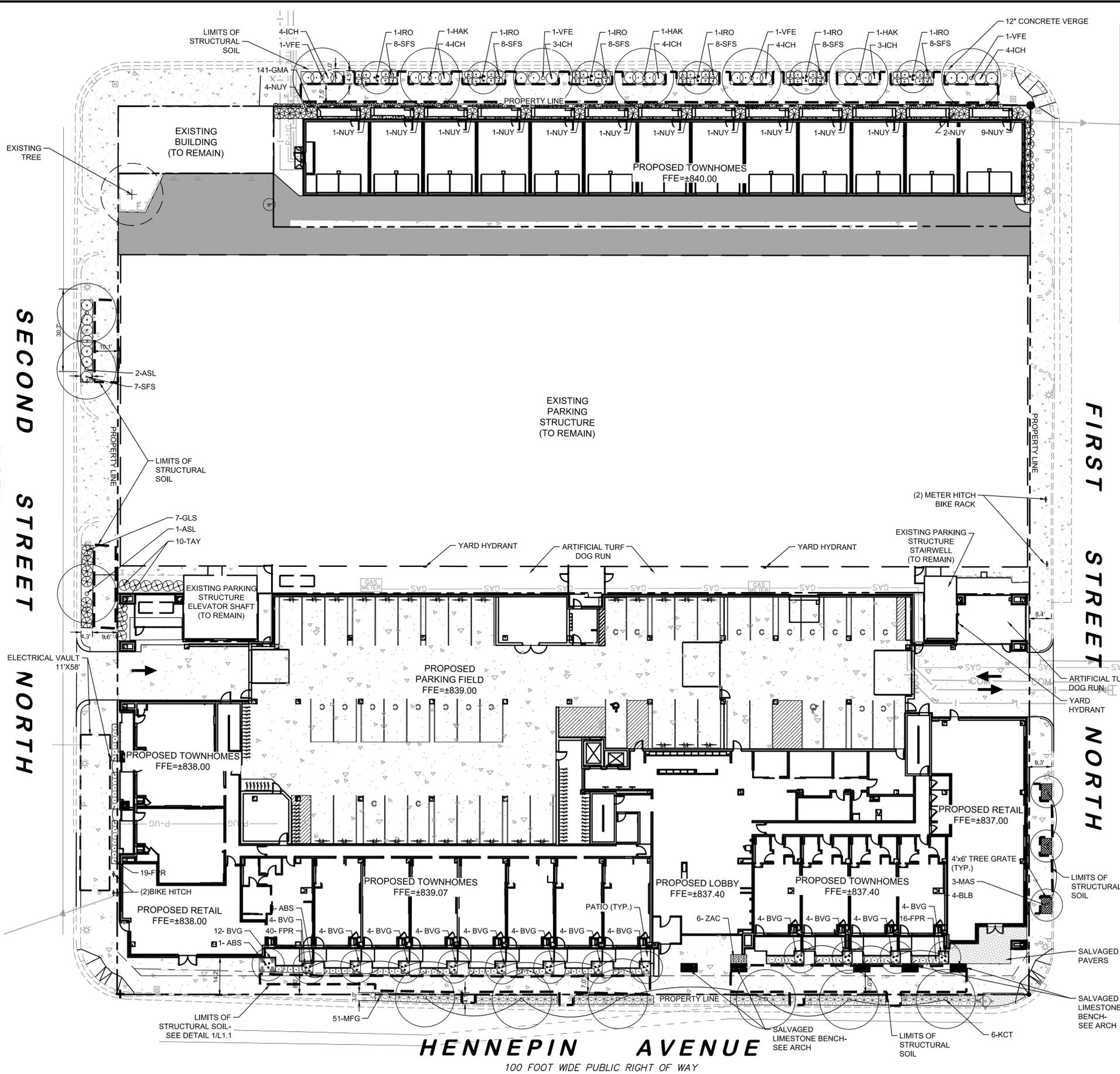
100 HENNEPIN MINNEAPOLIS, MN

C4.1

NO.	REVISIONS	DATE	BY
6	UPDATE LIA	10/12/15	BRU
5	ISSUED FOR LIA/PDR RESUBMITTAL	9/4/15	BRU
4	ISSUED FOR HPC REVIEW	7/24/15	BRU
3	ISSUED FOR PDR	7/02/15	BRU
2	ISSUED FOR HPC REVIEW	6/22/15	BRU
1	ISSUED FOR PRELIMINARY PRICING	5/15/15	BRU



K:\TWC_LDEV\Ryan Companies\100 Hennepin\3 Design\CAD\PlanSheets\1.0 - Landscape Plan.dwg October 12, 2015 - 12:55pm
 This document, together with the concepts and designs presented herein, is an instrument of service, and is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



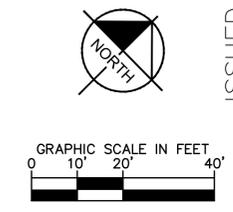
PLANT SCHEDULE					
CODE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT
TREES					
IRO	6	IRONWOOD	OSTRYA VIRGINIANA	1.75" CAL	B & B
ABS	8	AUTUMN BRILLIANCE SERVICEBERRY	AMELANCHIER GRANDIFOLIA 'AUTUMN BRILLIANCE' CLUMP	8' HT	B & B
KCT	6	KENTUCKY COFFEETREE	GYMNOCLADUS DIOICUS 'ESPRESSO'	2" CAL	B & B
ASL	3	AMERICAN SENTRY LINDEN	TILIA AMERICANA 'McK Sentry'	2" CAL	B & B
VFE	4	VALLEY FORGE ELM	ULMUS AMERICANA 'VALLEY FORGE'	2" CAL	B & B
HAK	3	COMMON HACKBERRY	CELTIS OCCIDENTALIS	2" CAL	B & B
MAS	3	SUMMERTIME MAACKIA	MAACKIA AMURENSIS 'SUMMERTIME'	2" CAL	B & B
BLB	4	BLUE BEECH	CARPINUS CAROLINIANA CLUMP	8' HT	B & B
SHRUBS					
SFS	55	SEM FALSE SPIREA	SORBARIA SORBIFOLIA SEM	#2	CONT
ICH	26	INCREDIBALL HYDRANGEA	HYDRANGEA ARBORESCENS 'ABETWO'	#3	CONT
GLS	7	GRO-LOW FRAGRANT SUMAC	RHUS AROMATICA 'GRO-LOW'	#5	CONT
GMA	141	GREEN MOUND ALPINE CURRANT	RIBES ALPINUM 'GREEN MOUND'	#2	CONT
NUY	26	NOVA UPRIGHT YEWE	TAXUS CUSPIDATA 'NOVA'	#7	CONT
TAY	10	TAUNTON YEWE	TAXUS X MEDIA 'TAUNTON'	#5	CONT
FPR	75	FOXI PAVEMENT ROSE	ROSA 'UHLater'	#2	CONT
PERENNIALS					
MFG	51	MISCANTHUS FLAME GRASS	MISCANTHUS SINENSIS 'PURPURASCENS'	#3	CONT
ZAC	6	ZAGREB COREOPSIS	COREOPSIS VERTICILLATA 'ZAGREB'	#1	CONT
BVG	60	BEVAN'S VARIETY GERANIUM	GERANIUM MACRORRHIZUM 'BEVAN'S VARIETY'	#1	CONT

LANDSCAPE PLAN NOTES

- PLANT MATERIAL SHALL COMPLY WITH THE CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1. UNLESS NOTED OTHERWISE, DECIDUOUS SHRUBS SHALL HAVE AT LEAST 5 CANES AT THE SPECIFIED HEIGHT. ORNAMENTAL TREES SHALL HAVE NO 'V' CROTCHES AND SHALL BEGIN BRANCHING NO LOWER THAN 3' ABOVE THE ROOT BALL. STREET AND BOULEVARD TREES SHALL BEGIN BRANCHING NO LOWER THAN 6' ABOVE FINISHED GRADE.
- INSTALL PLANT MATERIAL ONCE FINAL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- INSTALL PLANT MATERIAL PER PLANTING DETAILS.
- SUBSTITUTION REQUESTS FOR PLANT MATERIAL TYPE & SIZE SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR CONSIDERATION PRIOR TO BIDDING. ALL SUBSTITUTIONS AFTER BIDDING MUST BE APPROVED BY LANDSCAPE ARCHITECT AND ARE SUBJECT TO CONTRACT ADJUSTMENTS.
- ADJUSTMENTS IN LOCATION OF PROPOSED PLANT MATERIALS MAY BE NEEDED IN FIELD. LANDSCAPE ARCHITECT MUST BE NOTIFIED PRIOR TO ADJUSTMENT OF PLANTS.
- FERTILIZE PLANT MATERIAL UPON INSTALLATION WITH DRIED BONE MEAL, OTHER APPROVED FERTILIZER MIXED IN WITH THE PLANTING SOIL PER THE MANUFACTURER'S INSTRUCTIONS OR MAY BE TREATED FOR SUMMER AND FALL INSTALLATION WITH AN APPLICATION OF GRANULAR 10-0-5 OF 12 OZ. PER TREE AND 6 OZ. PER SHRUB WITH AN ADDITIONAL APPLICATION OF 10-0-10 THE FOLLOWING SPRING IN THE TREE AREA.
- INSTALL 18" DEPTH OF PLANTING SOIL IN AREAS RECEIVING GROUND COVER, SHRUBS, & PERENNIALS UNLESS OTHERWISE NOTED.
- INSTALL 4" DEEP DOUBLE SHREDDED HARDWOOD BARK MULCH IN ALL PLANTING BEDS.
- ENSURE THAT SOIL CONDITIONS AND COMPACTION ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AROUND THE CONSTRUCTION SITE. UNDESIRABLE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING WORK. IT SHALL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER SURFACE AND SUBSURFACE DRAINAGE IN PLANTING AREAS.
- WARRANTY NEW PLANT MATERIAL THROUGH ONE CALENDAR YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION. NO PARTIAL ACCEPTANCE WILL BE CONSIDERED.

IRRIGATION NOTES

- ALL PLANTING BEDS TO BE IRRIGATED WITH DRIP IRRIGATION. SEE SPECIFICATIONS.
- YARD HYDRANTS TO BE LOCATED IN DOG RUN/WALK AREAS. FINAL LOCATIONS TBD.



ISSUED FOR PERMIT

Kimley»Horn

© 2015 KIMLEY-HORN AND ASSOCIATES, INC.
 2550 UNIVERSITY AVENUE WEST, SUITE 238N, ST. PAUL, MN 55114
 PHONE: 651-645-4197
 WWW.KIMLEY-HORN.COM

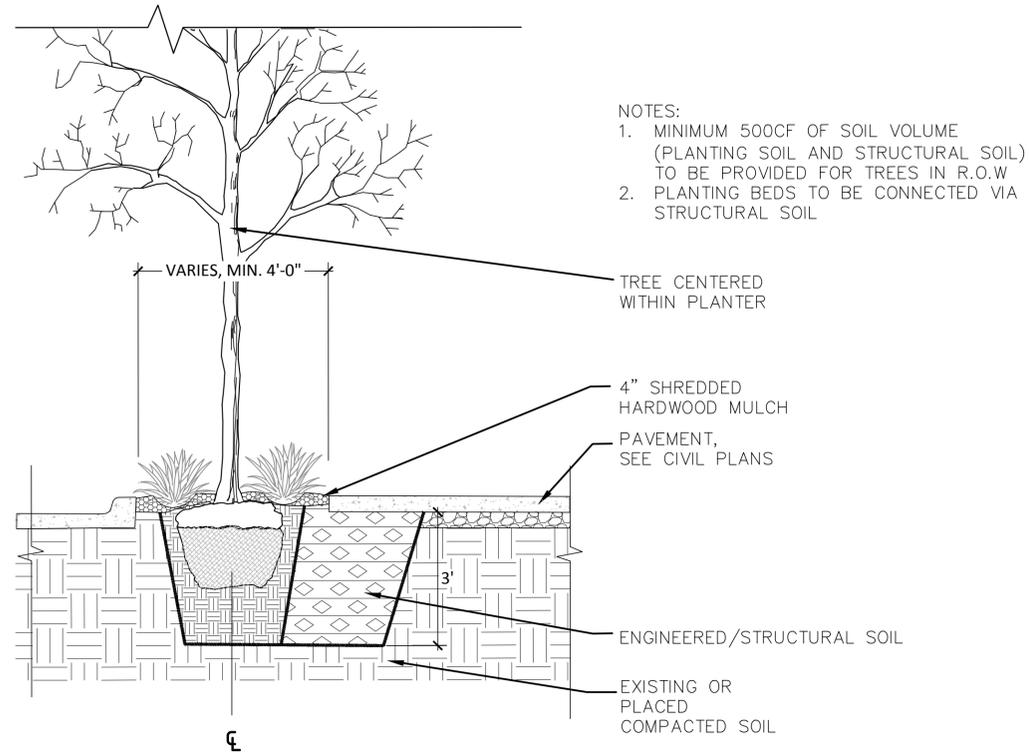
LANDSCAPE PLAN

KHA PROJECT	160640005
DATE	10/12/15
SCALE	AS SHOWN
DESIGNED BY	CS
DRAWN BY	AK
CHECKED BY	CS

10/12/15	BRU	DATE	BY
9/4/15	BRU	REVISED	
7/24/15	BRU	REVISED	
7/02/15	BRU	REVISED	
6/22/15	BRU	REVISED	
5/15/15	BRU	REVISED	

100 HENNEPIN
MINNEAPOLIS, MN

L1.0

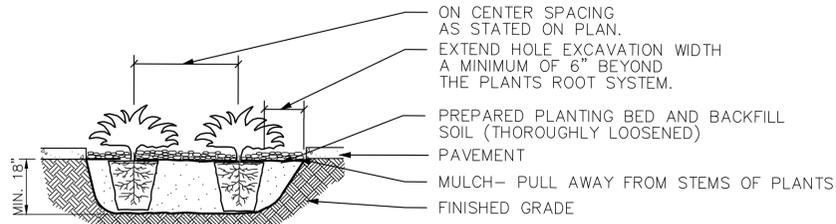


- NOTES:
1. MINIMUM 500CF OF SOIL VOLUME (PLANTING SOIL AND STRUCTURAL SOIL) TO BE PROVIDED FOR TREES IN R.O.W
 2. PLANTING BEDS TO BE CONNECTED VIA STRUCTURAL SOIL

PLANTING NOTES:

1. SCARIFY SIDES AND BOTTOM OF HOLE.
2. PROCEED WITH CORRECTIVE PRUNING.
3. SET PLANT ON UNDISTURBED NATIVE SOIL OR THOROUGHLY COMPACTED PLANTING SOIL. INSTALL PLANT SO THE ROOT FLARE IS AT OR UP TO 2" ABOVE THE FINISHED GRADE WITH BURLAP AND WIRE BASKET, (IF USED), INTACT.
4. SLIT REMAINING TREATED BURLAP AT 6" INTERVALS.
5. BACKFILL TO WITHIN APPROXIMATELY 12" OF THE TOP OF THE ROOTBALL, THEN WATER PLANT. REMOVE THE TOP 1/3 OF THE BASKET OR THE TOP TWO HORIZONTAL RINGS WHICHEVER IS GREATER. REMOVE ALL BURLAP AND NAILS FROM THE TOP 1/3 OF THE BALL. REMOVE ALL TWINE. REMOVE OR CORRECT STEM GIRDLING ROOTS.
6. PLUMB AND BACKFILL WITH PLANTING SOIL.
7. WATER THOROUGHLY WITHIN 2 HOURS TO SETTLE PLANTS AND FILL VOIDS.
8. BACK FILL VOIDS AND WATER SECOND TIME.
9. PLACE MULCH WITHIN 48 HOURS OF THE SECOND WATERING UNLESS SOIL MOISTURE IS EXCESSIVE.

1 TREE PLANTING DETAIL
L1.0



PLANTING NOTES:

1. SCARIFY SIDES AND BOTTOM OF HOLE.
2. PROCEED WITH CORRECTIVE PRUNING OF TOP AND ROOT.
3. REMOVE CONTAINER AND SCORE OUTSIDE OF SOIL MASS TO REDIRECT AND PREVENT CIRCLING FIBROUS ROOTS. REMOVE OR CORRECT STEM GIRDLING ROOTS.
4. PLUMB AND BACKFILL WITH PLANTING SOIL.
5. WATER THOROUGHLY WITHIN 2 HOURS TO SETTLE PLANTS AND FILL VOIDS.
6. BACK FILL VOIDS AND WATER SECOND TIME.
7. PLACE MULCH WITHIN 48 HOURS OF THE SECOND WATERING UNLESS SOIL MOISTURE IS EXCESSIVE.

2 PLANTING DETAIL FOR MASS PLANTING BEDS
L1.0

ISSUED FOR REVIEW - NOT FOR CONSTRUCTION

L1.1	100 HENNEPIN MINNEAPOLIS, MN	LANDSCAPE DETAILS	KHA PROJECT 160640005	DATE	9/4/15	DESIGNED BY	TDS	DRAWN BY	BRJ	CHECKED BY	TDS	
				SCALE	AS SHOWN	AS SHOWN	AS SHOWN	AS SHOWN	AS SHOWN	AS SHOWN		
PRELIMINARY			<p>© 2015 KIMLEY-HORN AND ASSOCIATES, INC. 2550 UNIVERSITY AVENUE WEST, SUITE 238N, ST. PAUL, MN 55114 PHONE: 651-645-4197 WWW.KIMLEY-HORN.COM</p>									
			5 ISSUED FOR LUA/PDR RESUBMITTAL 9/4/15 BRJ 4 ISSUED FOR HFC REVIEW 7/24/15 BRJ 3 ISSUED FOR PDR 7/02/15 BRJ 2 ISSUED FOR HFC REVIEW 6/22/15 BRJ 1 ISSUED FOR PRELIMINARY PRICING 5/15/15 BRJ									
			No. REVISIONS DATE BY									

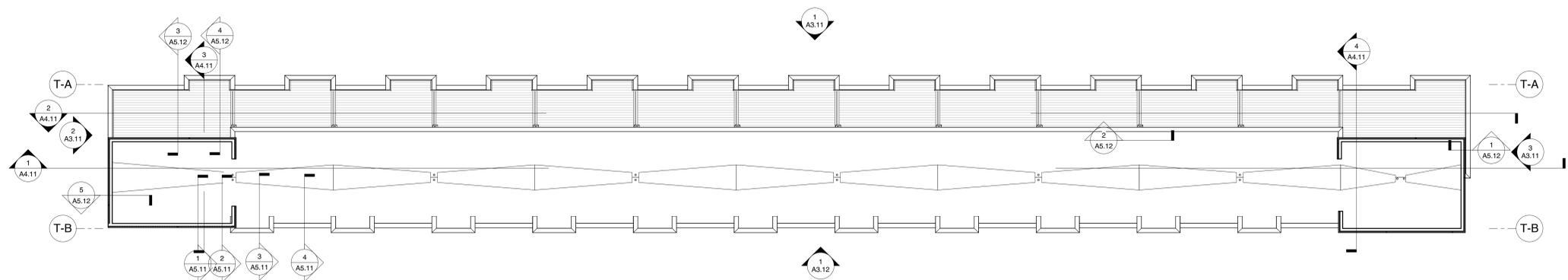


I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the State of Minnesota.

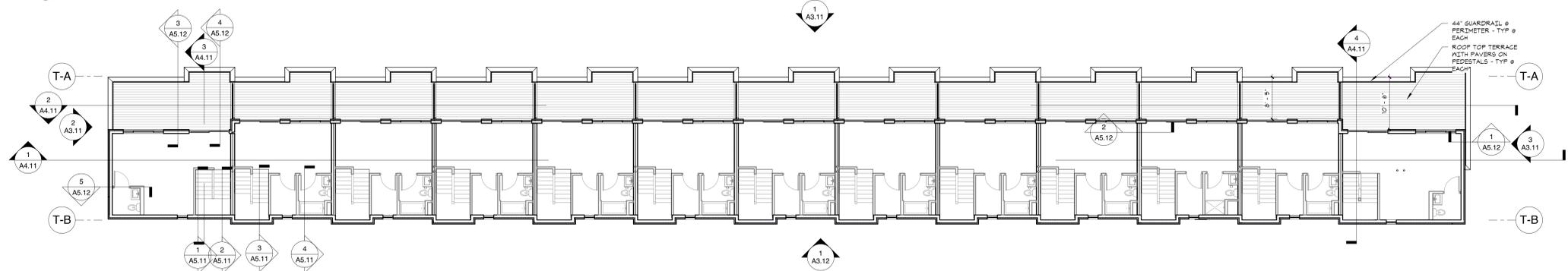
Signature _____

Typed or Printed Name _____

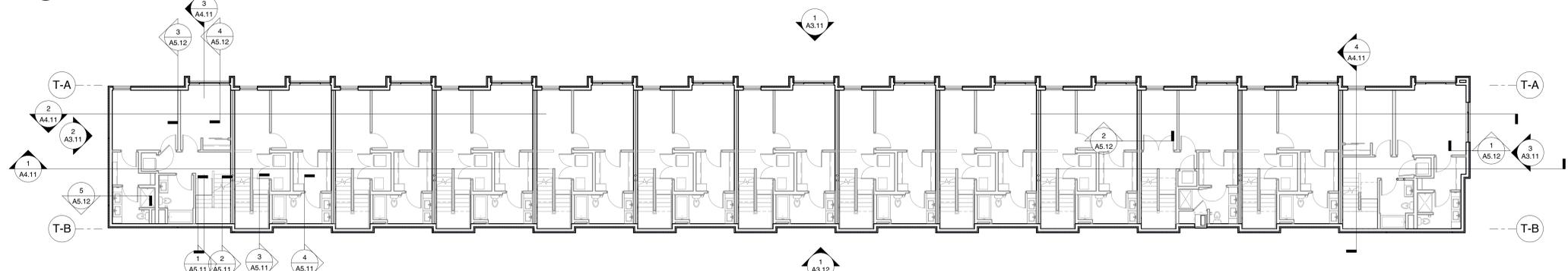
License # _____ Date _____



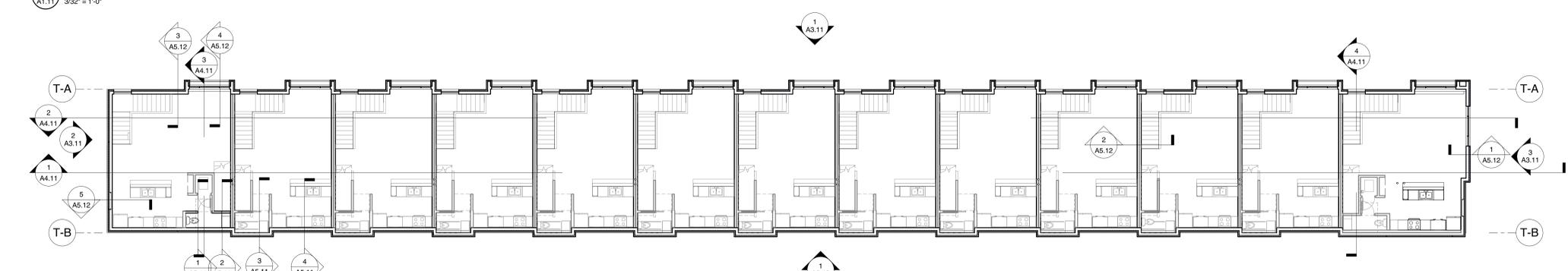
5 ROOF PLAN - TOWNHOMES
A1.11 3/32" = 1'-0"



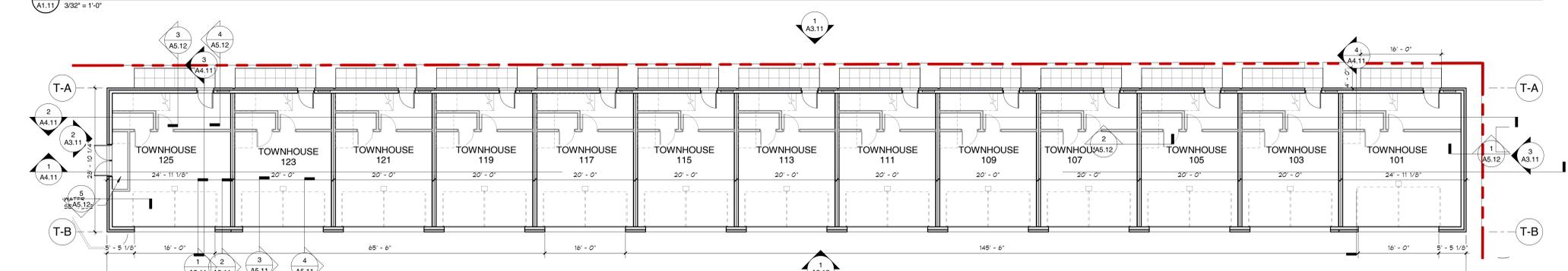
4 THIRD LEVEL FLOOR PLAN - TOWNHOMES
A1.11 3/32" = 1'-0"



3 SECOND LEVEL FLOOR PLAN - TOWNHOMES
A1.11 3/32" = 1'-0"



2 FIRST LEVEL FLOOR PLAN - TOWNHOMES
A1.11 3/32" = 1'-0"



1 PARKING LEVEL FLOOR PLAN - TOWNHOMES
A1.11 3/32" = 1'-0"

**NOT FOR
CONSTRUCTION**

LAND USE
APPLICATION
PACKAGE
SEPTEMBER 8,
2015

ORIGINAL ISSUE: 7/21/15

REVISIONS

No.	Description	Date
1		
2		
3		

214527

PROJECT NUMBER

LB, NVW AB

DRAWN BY CHECKED BY

KEY PLAN

100 HENNEPIN MIXED USE
& 1ST AVE TOWNHOMES

1ST AVE TOWNHOMES
OVERALL FLOOR PLANS

A1.11



I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the State of Minnesota.

Signature _____
Typed or Printed Name _____
License # Date _____

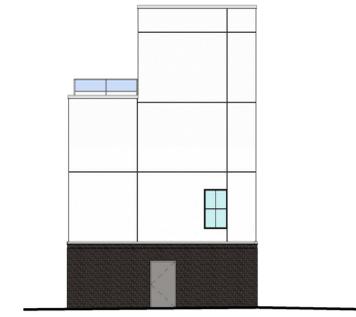
NOT FOR CONSTRUCTION

EXTERIOR MATERIAL KEYNOTES	
1A	BRICK (NORMAN) - "EBONY IRONSPOT" SMOOTH
1B	BRICK (NORMAN - SOLDIER COURSE) - "EBONY IRONSPOT" SMOOTH
3A	INSULATED PRECAST WALL PANEL - COLOR #1
4A	BURNISHED CMU - "MIDNIGHT BLACK"
4B	PAINTED CMU COLOR #2
5A	METAL PANEL (STANDING SEAM) - "CITYSCAPE"
5B	METAL PANEL (RIBBED) - "MATTE BLACK"
5C	METAL PANEL ACCENT (FLUSH) - "MATTE BLACK"
5D	METAL PANEL (COMPOSITE) - COPPER COLOR
5E	METAL PANEL (RIBBED)
7A	STUCCO - "SUPER WHITE"
9A	FIBERGLASS WINDOW/DOOR
9B	ALUMINUM STOREFRONT
9C	PREFINISHED OVERHEAD GARAGE DOOR
10A	PREFINISHED METAL COPING - COLOR #1: WHITE
10B	PREFINISHED METAL COPING - COLOR #2: BLACK
11A	LOUVER
12A	PREFINISHED METAL RAILING/DECK SYSTEM - 5x10"
12B	GLASS GUARDRAIL SYSTEM
12C	PREFINISHED METAL RAILING
15A	TRELLIS

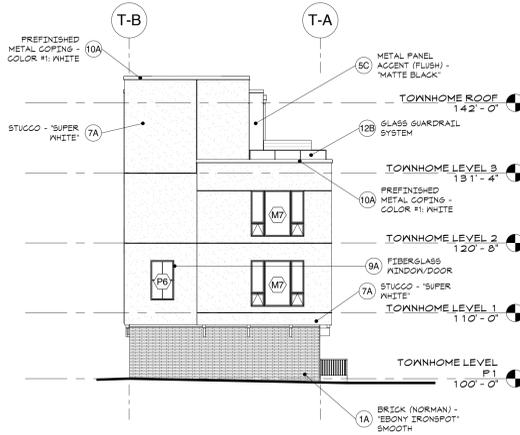
TOWNHOME WINDOW GENERAL NOTES	
1.	WINDOW COLORS VARY BASED ON EXTERIOR FINISH MATERIAL, AS FOLLOWS:
•	WINDOWS LOCATED IN METAL PANEL ARE TAN
•	WINDOWS LOCATED IN STUCCO ARE BLACK
•	WINDOWS LOCATED IN BRICK ADJACENT TO THE FRONT ENTRY DOOR IS TAN



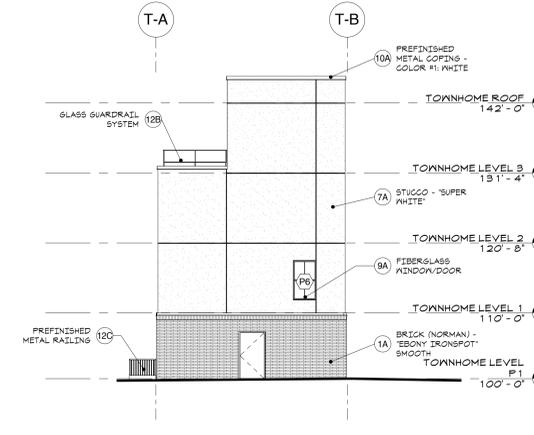
3A TOWNHOMES - NORTH ELEVATION COLOR ILLUSTRATION
AS.11 3/32" = 1'-0"



2A TOWNHOMES - SOUTH ELEVATION COLOR ILLUSTRATION
AS.11 3/32" = 1'-0"



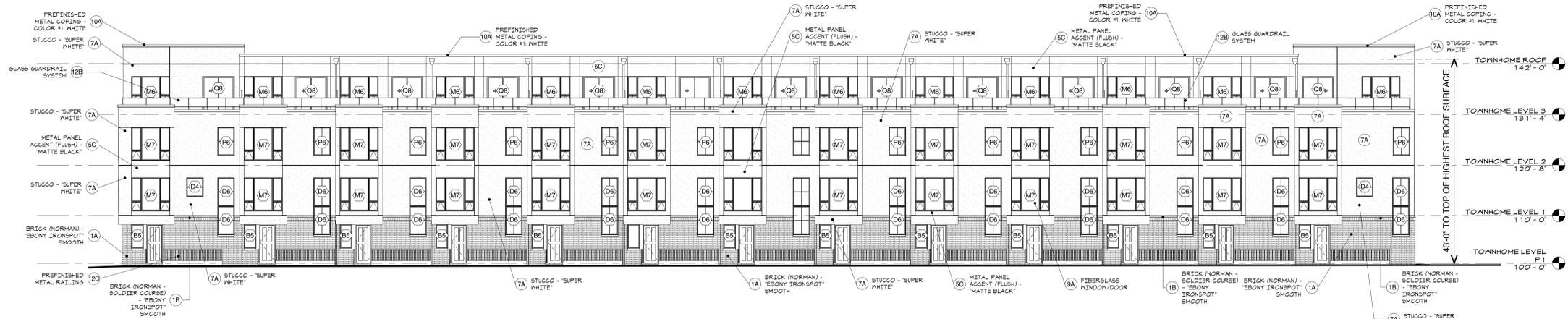
3 TOWNHOMES - NORTH ELEVATION
AS.11 3/32" = 1'-0"



2 TOWNHOMES - SOUTH ELEVATION
AS.11 3/32" = 1'-0"



1A TOWNHOMES - OVERALL WEST ELEVATION
AS.11 3/32" = 1'-0"



1 TOWNHOMES - WEST ELEVATION
AS.11 3/32" = 1'-0"

LAND USE APPLICATION PACKAGE
SEPTEMBER 8, 2015

ORIGINAL ISSUE: 7/21/15
REVISIONS

No.	Description	Date

214527
PROJECT NUMBER
LB, NVW AB
DRAWN BY CHECKED BY
KEY PLAN

100 HENNEPIN MIXED USE & 1ST AVE TOWNHOMES
1ST AVE TOWNHOMES EXTERIOR ELEVATIONS - WEST AND SOUTH/NORTH
A3.11



I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the State of Minnesota.

Signature _____
Typed or Printed Name _____
License # Date _____

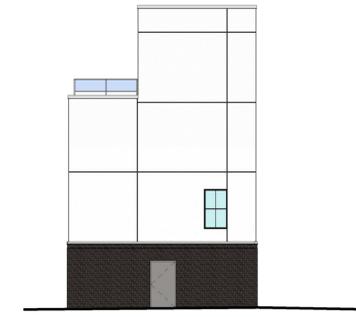
NOT FOR CONSTRUCTION

EXTERIOR MATERIAL KEYNOTES	
1A	BRICK (NORMAN) - "EBONY IRONSPOT" SMOOTH
1B	BRICK (NORMAN - SOLDIER COURSE) - "EBONY IRONSPOT" SMOOTH
3A	INSULATED PRECAST WALL PANEL - COLOR #1
4A	BURNISHED CMU - "MIDNIGHT BLACK"
4B	PAINTED CMU COLOR #2
5A	METAL PANEL (STANDING SEAM) - "CITYSCAPE"
5B	METAL PANEL (RIBBED) - "MATTE BLACK"
5C	METAL PANEL ACCENT (FLUSH) - "MATTE BLACK"
5D	METAL PANEL (COMPOSITE) - COPPER COLOR
5E	METAL PANEL (RIBBED)
7A	STUCCO - "SUPER WHITE"
9A	FIBERGLASS WINDOW/DOOR
9B	ALUMINUM STOREFRONT
9C	PREFINISHED OVERHEAD GARAGE DOOR
10A	PREFINISHED METAL COPING - COLOR #1: WHITE
10B	PREFINISHED METAL COPING - COLOR #2: BLACK
11A	LOUVER
12A	PREFINISHED METAL RAILING/DECK SYSTEM - 5x10"
12B	GLASS GUARDRAIL SYSTEM
12C	PREFINISHED METAL RAILING
15A	TRELLIS

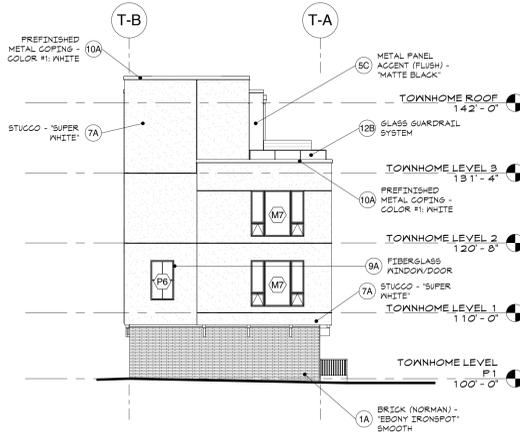
TOWNHOME WINDOW GENERAL NOTES	
1.	WINDOW COLORS VARY BASED ON EXTERIOR FINISH MATERIAL, AS FOLLOWS:
•	WINDOWS LOCATED IN METAL PANEL ARE TAN
•	WINDOWS LOCATED IN STUCCO ARE BLACK
•	WINDOWS LOCATED IN BRICK ADJACENT TO THE FRONT ENTRY DOOR IS TAN



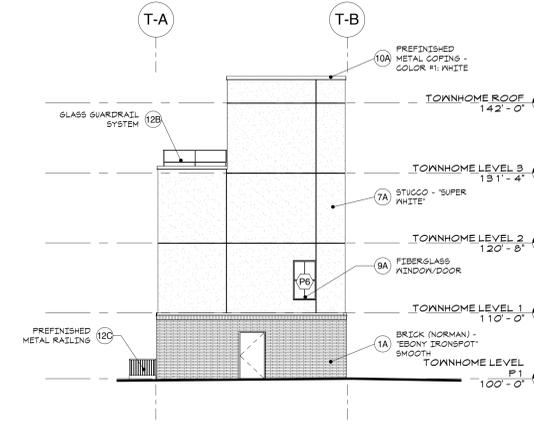
3A TOWNHOMES - NORTH ELEVATION COLOR ILLUSTRATION
AS.11 3/32" = 1'-0"



2A TOWNHOMES - SOUTH ELEVATION COLOR ILLUSTRATION
AS.11 3/32" = 1'-0"



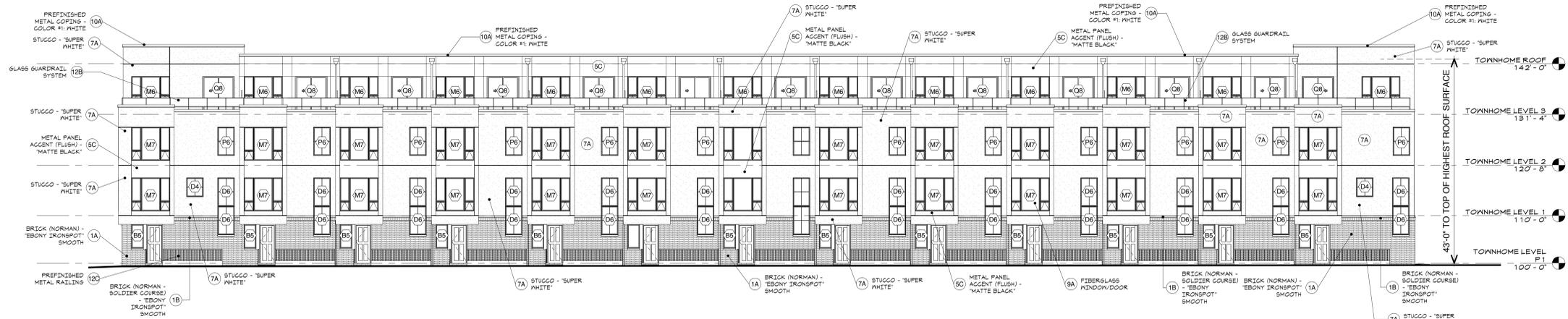
3 TOWNHOMES - NORTH ELEVATION
AS.11 3/32" = 1'-0"



2 TOWNHOMES - SOUTH ELEVATION
AS.11 3/32" = 1'-0"



1A TOWNHOMES - OVERALL WEST ELEVATION
AS.11 3/32" = 1'-0"



1 TOWNHOMES - WEST ELEVATION
AS.11 3/32" = 1'-0"

LAND USE APPLICATION PACKAGE
SEPTEMBER 8, 2015

ORIGINAL ISSUE: 7/21/15

REVISIONS

No.	Description	Date

214527
PROJECT NUMBER

LB, NVW AB
DRAWN BY CHECKED BY

KEY PLAN

100 HENNEPIN MIXED USE & 1ST AVE TOWNHOMES

1ST AVE TOWNHOMES EXTERIOR ELEVATIONS - WEST AND SOUTH/NORTH

A3.11

100 HENNEPIN
MIXED USE & 1ST
AVE TOWNHOMES

100 HENNEPIN AVENUE
& 101 1ST AVENUE NORTH
MINNEAPOLIS, MN



eIness swenson graham architects
500 WASHINGTON AVENUE SOUTH
MINNEAPOLIS, MINNESOTA 55415
P. 612.339.5508
F. 612.339.5382
WWW.ESGARCH.COM

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the State of Minnesota.

Signature _____

Typed or Printed Name _____

License # _____ Date _____



**NOT FOR
CONSTRUCTION**

LAND USE
APPLICATION
PACKAGE
SEPTEMBER 8,
2015

ORIGINAL ISSUE: 7/21/15

REVISIONS

No.	Description	Date

214527

PROJECT NUMBER

LB, NVW AB

DRAWN BY CHECKED BY

KEY PLAN

100 HENNEPIN MIXED USE
& 1ST AVE TOWNHOMES

PERSPECTIVE VIEW
T3.12

TOWNHOME BUILDING PERSPECTIVE VIEW #2

100 HENNEPIN
MIXED USE & 1ST
AVE TOWNHOMES

100 HENNEPIN AVENUE
& 101 1ST AVENUE NORTH
MINNEAPOLIS, MN



eIness swenson graham architects
500 WASHINGTON AVENUE SOUTH
MINNEAPOLIS, MINNESOTA 55415
P. 612.339.5508
F. 612.339.5382
WWW.ESGARCH.COM

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the State of Minnesota.

Signature _____

Typed or Printed Name _____

License # _____ Date _____



**NOT FOR
CONSTRUCTION**

LAND USE
APPLICATION
PACKAGE
SEPTEMBER 8,
2015

ORIGINAL ISSUE: 7/21/15

REVISIONS

No.	Description	Date

214527

PROJECT NUMBER

LB, NVW AB

DRAWN BY CHECKED BY

KEY PLAN

100 HENNEPIN MIXED USE
& 1ST AVE TOWNHOMES

PERSPECTIVE VIEW

T3.11

TOWNHOME BUILDING PERSPECTIVE VIEW #1



einess swenson graham architects
500 WASHINGTON AVENUE SOUTH
MINNEAPOLIS, MINNESOTA 55415
P. 612.339.5508
F. 612.339.5382
WWW.ESGARCH.COM

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the State of Minnesota.

Signature _____

Typed or Printed Name _____

License # _____ Date _____

1ST AVENUE NORTH TOWNHOMES

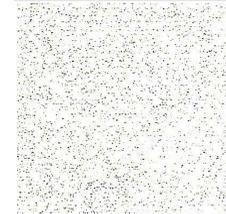
BRICK

EBONY IRONSPOT SMOOTH
SIZE: NORMAN



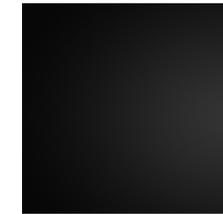
STUCCO

SUPER WHITE



FIBERGLASS WINDOWS @
STUCCO

BLACK



METAL PANEL INFILL @
WINDOWS @ STUCCO

BLACK



BURNISHED CMU @ BASE
@ GARAGES

MIDNIGHT BLACK



FIBER CEMENT PANEL @ 4TH
FLOOR & PARKING RAMP SIDE

BENJAMIN MOORE CHARCOAL SLATE



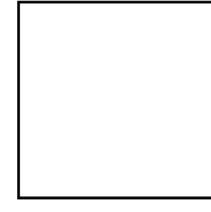
FIBER CEMENT PANEL @
PARKING RAMP SIDE

BENJAMIN MOORE PLATINUM GREY



FIBER CEMENT PANEL @
PARKING RAMP SIDE

BENJAMIN MOORE CEDAR KEY



FIBERGLASS WINDOWS @
FIBER CEMENT PANEL

SANDTONE



RAILINGS & FENCING

BLACK ANODIZED ALUM

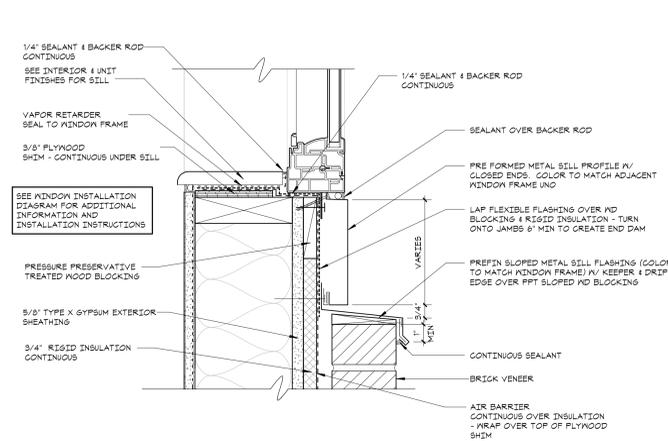


PATIO EDGING

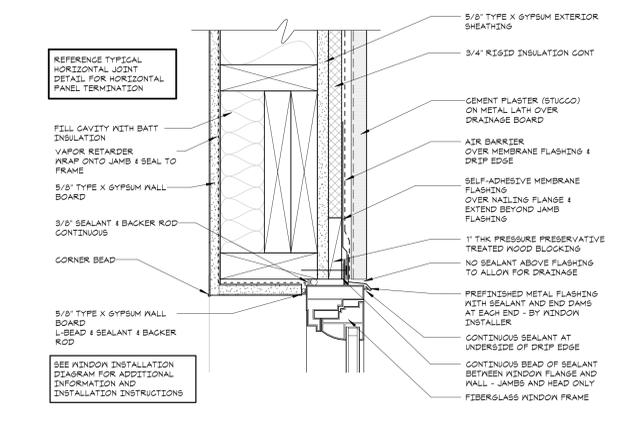
CORTEN COLOR



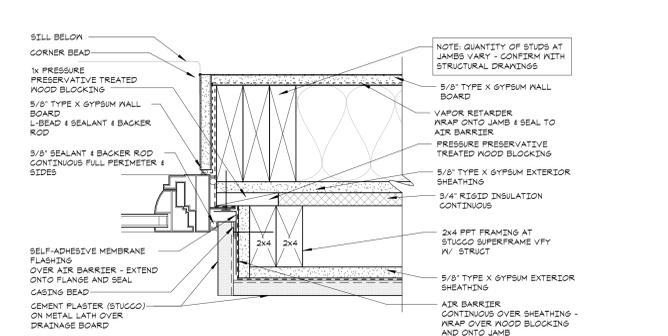
NOT FOR
CONSTRUCTION



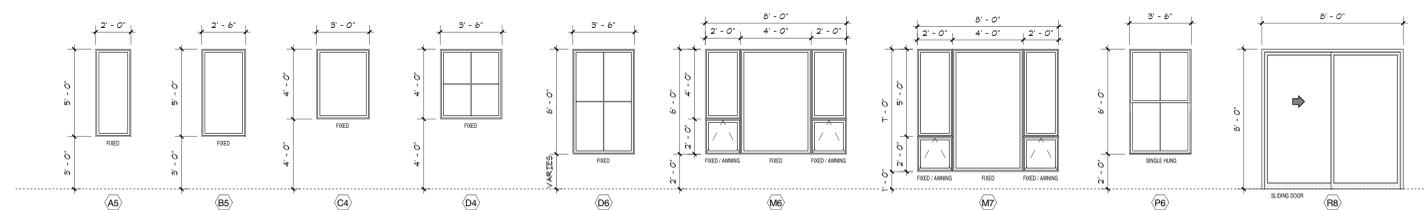
3 WINDOW SILL AT BRICK
T4.11 3" = 1'-0"



1 TYPICAL WINDOW HEAD AT STUCCO (JAMB SIM)
T4.11 3" = 1'-0"



2 WINDOW JAMB AT 1ST AVENUE STUCCO BAY
T4.11 3" = 1'-0"



COMPOSITE WINDOW TYPES - 1ST AVE TOWNHOMES

LAND USE
APPLICATION
PACKAGE
SEPTEMBER 8,
2015

ORIGINAL ISSUE: 7/21/15

REVISIONS

No.	Description	Date

214527
PROJECT NUMBER

LB, NVW AB
DRAWN BY CHECKED BY

KEY PLAN

100 HENNEPIN MIXED USE
& 1ST AVE TOWNHOMES

EXTERIOR MATERIAL
IMAGES AND WINDOW
TYPES/DETAILS

T4.11



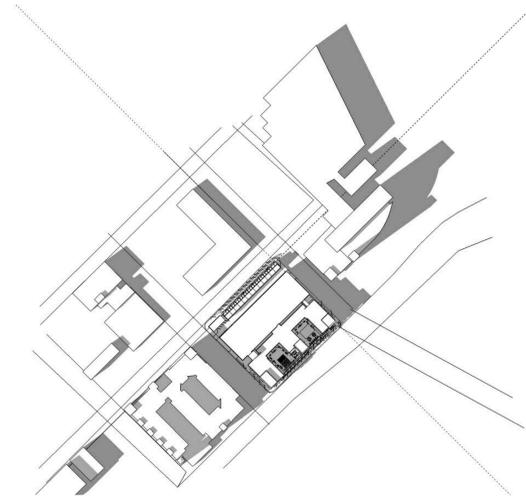
eIness swenson graham architects
500 WASHINGTON AVENUE SOUTH
MINNEAPOLIS, MINNESOTA 55415
P. 612.339.5508
F. 612.339.5382
WWW.ESGARCH.COM

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the State of Minnesota.

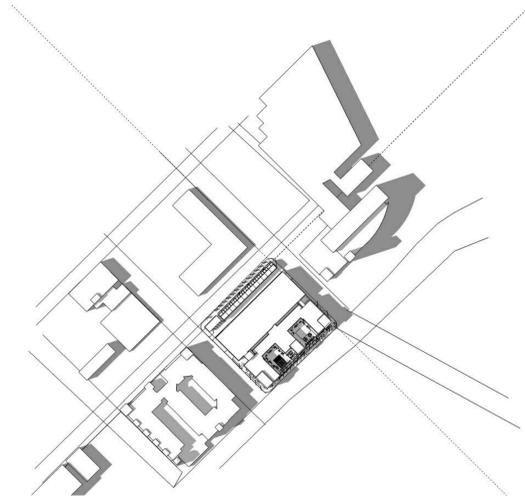
Signature _____

Typed or Printed Name _____

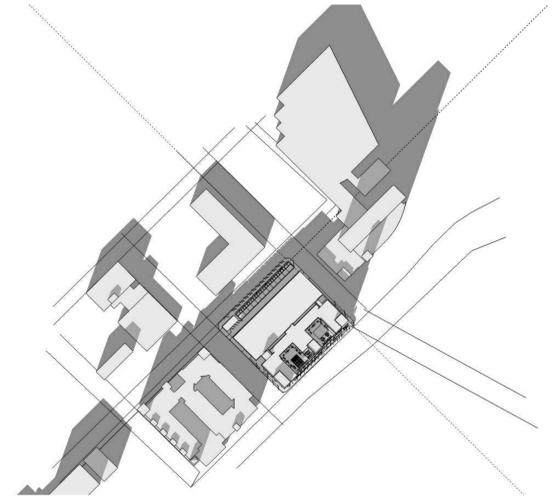
License # _____ Date _____



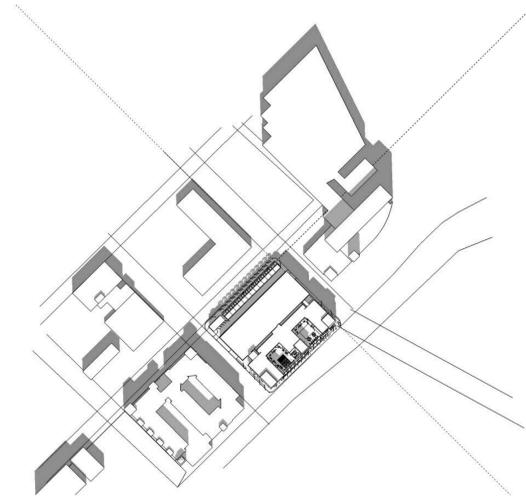
SHADOW STUDY - MARCH AT SUNSET



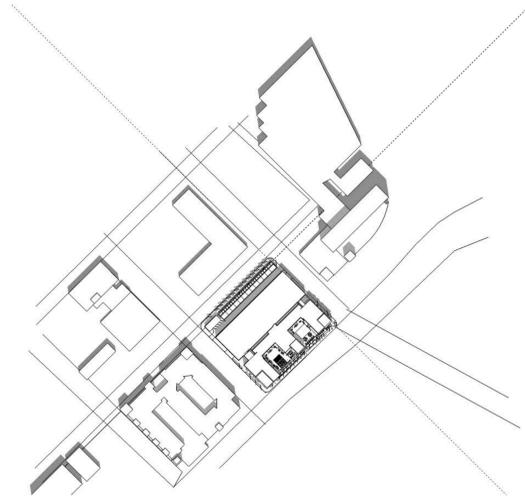
SHADOW STUDY - JUNE AT SUNSET



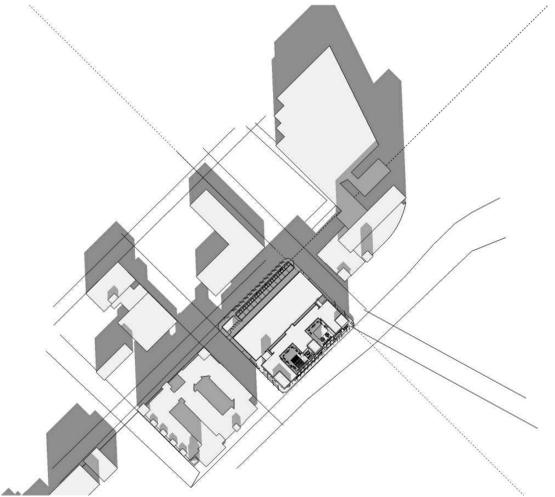
SHADOW STUDY - DECEMBER AT SUNSET



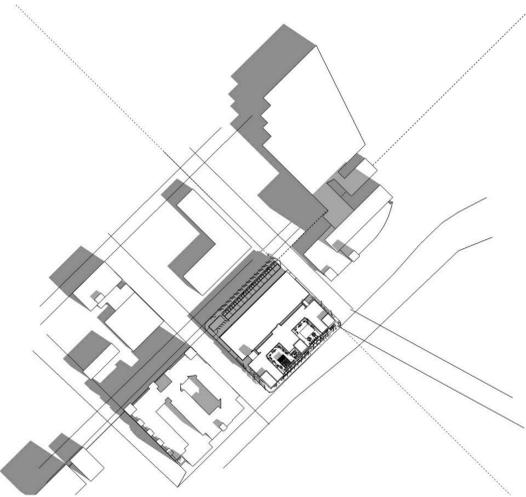
SHADOW STUDY - MARCH AT NOON



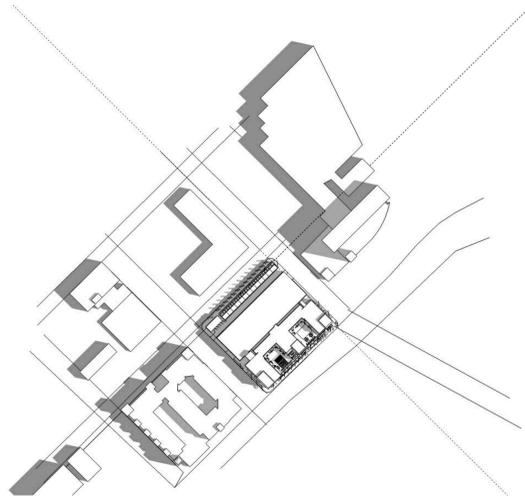
SHADOW STUDY - JUNE AT NOON



SHADOW STUDY - DECEMBER AT NOON



SHADOW STUDY - MARCH AT SUNRISE



SHADOW STUDY - JUNE AT SUNRISE



SHADOW STUDY - DECEMBER AT SUNRISE

**NOT FOR
CONSTRUCTION**

LAND USE
APPLICATION
PACKAGE
SEPTEMBER 8,
2015

ORIGINAL ISSUE: 7/21/15

REVISIONS

No.	Description	Date

214527

PROJECT NUMBER

LB, NVW AB

DRAWN BY CHECKED BY

KEY PLAN

100 HENNEPIN MIXED USE
& 1ST AVE TOWNHOMES

SHADOW STUDIES

T5.1



EXISTING TOWNHOME BUILDING SITE LOOKING SOUTHEAST



EXISTING TOWNHOME BUILDING SITE LOOKING SOUTH



EXISTING MIXED-USE BUILDING SITE LOOKING NORTHWEST



EXISTING MIXED-USE BUILDING SITE LOOKING SOUTH (FROM EXISTING PARKING LOT)

From: Carl Runck <Carl.Runck@RyanCompanies.com>
Sent: Friday, September 4th, 3:00 PM
Subject: LUA notification letter for 100 Hennepin and 101 First Avenue

To: Jacob Frey
DJ Heinle

Re: Notification of application for site plan review and minor subdivision for apartments, townhomes, and retail at 100 Hennepin Avenue and 101 First Avenue North.

Council Member Frey and Mr. Heinle:

This e-mail is to inform you about the September 8th Land Use Application submittal for the proposed mixed-use apartments, townhomes, and retail to be developed on existing surface parking lots at 100 Hennepin Avenue and 101 First Avenue North.

The project received Certificate of Appropriateness designations at the August 25th HPC hearing. The project was previously reviewed at the May 14th joint HPC/Planning Commission CoW meeting and at the April 22nd North Loop Neighborhood Association Land Use Committee meeting.

We are excited to bring quality residential density and retail to this block in a holistic design that utilizes the existing parking structure and fills a gap in the urban fabric on this stretch of Hennepin Avenue.

Best regards,

Carl Runck | Director of Development
Ryan Companies US, Inc. | 50 South Tenth Street, Suite 300, Minneapolis, MN 55403-2012
612-492-4655 *tel* | 612-209-6688 *cell*