

LAND USE APPLICATION SUMMARY

Property Location: 315 Nicollet Mall
Project Name: 365 Nicollet
Prepared By: Kimberly Holien, Senior Planner, (612) 673-2402
Applicant: The Opus Group
Project Contact: Matt Rauenhorst
Request: To construct a 30-story mixed-use building with 368 dwelling units.
Required Applications:

Variance	To the standards of the NM, Nicollet Mall Overlay district to allow less than 60 percent of the gross floor area of the ground floor to be occupied by retail.
Variance	To the standards of the NM, Nicollet Mall Overlay district to allow portions of the building to be setback more than 8 feet from the front lot line.
Site Plan Review	For a 30-story mixed use building with 368 dwelling units.
Plat	Preliminary plat

SITE DATA

Existing Zoning	B4-2, Downtown Business District DP, Downtown Parking Overlay District NM, Nicollet Mall Overlay District
Lot Area	45,046 square feet / 1.03 acres
Ward(s)	3
Neighborhood(s)	Downtown Minneapolis Neighborhood Association
Designated Future Land Use	Commercial
Land Use Features	Commercial Corridor (Nicollet Mall) Growth Center Major Retail Center
Small Area Plan(s)	<u>Downtown 2010</u> <u>North Nicollet Mall Development Objectives</u>

Date Application Deemed Complete	August 5, 2015	Date Extension Letter Sent	N/A
End of 60-Day Decision Period	October 4, 2015	End of 120-Day Decision Period	N/A

BACKGROUND

SITE DESCRIPTION AND PRESENT USE. The prominent site is located in the core of downtown Minneapolis and includes the south third of the block bounded by Nicollet Mall, 3rd Street S, Marquette Avenue and 4th Street S. Located on the City's primary retail and commercial street, and one block from the region's busiest light rail transit station, the property currently consists entirely of a bituminous surface parking lot that includes a total of 254 off-street parking spaces. This parking lot has been on the site since the former Sheraton Ritz hotel was demolished in 1990.

SURROUNDING PROPERTIES AND NEIGHBORHOOD. The subject site fronts on Nicollet Mall in the core of downtown, also fronting on 4th Street S and Marquette Avenue. The applicant is proposing to plat the site into two separate properties, leaving the north portion of the block as a surface parking lot. The property to the west, across Nicollet Mall, contains the Central Library. To the south, across 4th Street S, two buildings are under construction. The 4Marq Apartments currently under construction at 4th Street S and Marquette Avenue is a 30-story residential tower with ground floor commercial uses. An office building for Xcel Energy is under construction at the corner of Nicollet Mall and 4th Street S. To the north, across Marquette Avenue, is the Hennepin County Family Court Services building.

PROJECT DESCRIPTION. The building is designed as a 30-story residential tower that fronts on Nicollet Mall above a parking podium that extends the length of 4th Street. The residential tower extends up to the 30th floor while the 4th Street and Marquette Avenue frontages will primarily consist of a five-story parking podium above the first floor. The building will have 368 residential units with 369 off-street parking stalls. The ground floor consists of a large retail space fronting on Nicollet Mall, a pedestrian skyway access and lobby with an entrance facing Nicollet Mall, a retail space at the corner of Marquette Avenue and 4th Street S residential amenities such as a lobby, dog wash, bike valet and storage and parking. The residential lobby has an entrance facing Nicollet Mall and an entrance facing 4th Street S. The Nicollet Mall entrance is recessed approximately 40 feet from the front lot line. The entrance into the parking ramp is from 4th Street S. All residential traffic will use this access point and service vehicles will use a service drive on the north side of the building.

The south portion of the building is setback nine feet from the front lot line adjacent to Nicollet Mall and steps back to 30 feet on the north end. This increased setback will allow for widened pedestrian circulation at street level and an opportunity for outdoor space for the retail use. The building would be located directly up to the east property line along Marquette Avenue and the primarily up to the south property line along 4th Street.

The second floor includes a skyway along Nicollet Mall that will connect to the building south of the site at 505 Nicollet Mall. This skyway will be accessible to the general public via an entrance and skyway lobby on Nicollet Mall. Residents of the building will access the skyway lobby via a shuttle elevator in the same location. The balance of the second floor is parking. The applicant has shown potential for a skyway connection across Nicollet Mall to the Central Library that could be constructed with a future development on the north part of the site. Units fronting on Nicollet Mall will have balconies approximately 7.5 feet in depth overlooking the street. The top of the parking deck will include an outdoor residential amenity space with a pool, sun deck, and outdoor seating areas. The sixth floor of the building will include other residential amenities such as a fitness center and club room to complement the amenity deck.

The applicant has requested two variances to the standards of the Nicollet Mall Overlay District. The overlay district requires the first floor of buildings to be located within eight feet of Nicollet Mall, except where a greater yard is required by the zoning ordinance or where the building is separated from Nicollet Mall by outdoor open space that conforms to the standards for the urban open space premium. In the case of a corner lot, the building wall abutting each street shall be located not more than eight feet from the lot line. The majority of the first floor is nine feet back from the front lot line adjacent to Nicollet Mall and the northernmost portion of the building steps back to 22 feet. Along 4th Street, the building is setback approximately 12 feet. A variance has been requested accordingly. The overlay district also requires retail uses to occupy at least 60 percent of the gross floor area of the first floor and requires these uses to extend along at least 60 percent of the first floor façade fronting on Nicollet Mall. A large retail space is proposed on the first floor that comprises 69.61 percent of the Nicollet Mall frontage. While it occupies more than 60 percent of the Nicollet Mall frontage, the space only occupies 33.85 percent of the ground floor portion of the building that is in the overlay district. A variance has been requested.

In addition to the small area plans identified on Page 1, there are specific references to the site in the Downtown 2025 Plan. This plan is an effort by the downtown business community, including the Downtown Council and the Downtown Improvement District, to create a long-term plan. This effort has involved some participation with the City and other government entities, but it has not gone through a complete public hearing process needed to adopt it into the comprehensive plan, *The Minneapolis Plan for Sustainable Growth*. Although many goals and visions of the plan overlap the policies of the City's comprehensive plan, the Downtown 2025 plan cannot be used to evaluate the proposed development for these land use applications to determine compliance with the zoning code and the comprehensive plan.

RELATED APPROVALS. An Environmental Assessment Worksheet (EAW) was prepared for the site, including the north portion of the block, and acted on by the City Council on May 1, 2015. The City Council found that the development of an Environmental Impact Statement was not required, therefore making a Negative Declaration, and adopted the Findings of Fact and Record of Decision document set forth in the Department of Community Planning and Economic Development staff report.

PUBLIC COMMENTS. Staff received a letter of support from the Downtown Minneapolis Neighborhood Association dated April 28, 2015. Said letter has been attached for reference. Any additional correspondence received prior to the public meeting will be forwarded on to the Planning Commission for consideration.

ANALYSIS

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance of the of the NM Nicollet Mall Overlay District standard requiring that at least 60 percent of the gross floor area of the first floor be occupied by retail uses based on the following findings:

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

The NM Nicollet Mall overlay district requires retail uses to occupy at least 60 percent of the gross floor area of the first floor and requires these uses to extend along at least 60 percent of the first floor façade fronting on Nicollet Mall. A large retail space is proposed on the first floor that

comprises 69.61 percent of the Nicollet Mall frontage. However, the space only occupies 33.85 percent of the ground floor portion of the building that is in the overlay district. A variance has been requested.

Practical difficulties exist in complying with the ordinance because of circumstances unique to the property that have not been created by the applicant. The site has frontage on three streets; Nicollet Mall, 4th Street S and Marquette Avenue. Heavy volumes of pedestrian traffic travel on the sidewalks adjacent to the site on a daily basis. In order to activate all three street frontages, a retail space is also proposed along Marquette Avenue and the residential lobby fronts along 4th Street S. The retail space on Marquette Avenue is outside of the overlay district. The first floor also includes a skyway lobby that fronts on Nicollet Mall. The residential lobby and skyway lobby are necessary functions of the building that also require visibility in order to be accessible to pedestrians. The skyway lobby would occupy approximately 6.9 percent of the ground floor within the overlay district and the residential lobby would occupy approximately 23 percent of the ground floor within the overlay district. Collectively these active uses comprise 63.75 percent of the ground floor.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The NM, Nicollet Mall Overlay District is established to preserve and encourage the pedestrian character of the Nicollet Mall area and to promote street level activity by creating a pleasant and unique pedestrian environment. Nicollet Mall is a retail district and primarily a pedestrian street and bicycle route with vehicle access limited to buses and taxis. Requiring 60 percent of the gross floor area of the ground level of buildings fronting Nicollet Mall to be retail is intended to ensure that the character of this retail district is maintained. The comprehensive plan includes policies that support a strong retail presence along Nicollet Mall as well as those that support safe, convenient, and direct pedestrian connections between principal building entrances and the public right-of-way. The applicant is providing a first floor that is active. More than 60 percent of the ground floor portion of the building within the overlay district will include active uses, including the commercial space, residential lobby and skyway lobby with access into a skyway that connects into the broader system. The proposed design is reasonable and in keeping with the spirit and intent of the ordinance and the comprehensive plan.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

Nicollet Mall is a primary pedestrian corridor and a retail district. Granting the variance is expected to have little effect on the surrounding area because the ground floor spaces fronting Nicollet Mall and 4th Street S within the overlay district boundaries would be occupied by a commercial tenant(s), the residential lobby and the skyway lobby, which all front the adjacent streets. A second retail space is proposed in the corner of the building that fronts Marquette Avenue and 4th Street S, providing additional activity downtown. Granting the proposed variance would not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance of the of the NM Nicollet Mall Overlay District standard requiring the first floor of buildings to be located within eight feet of Nicollet Mall based on the following findings:

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

The NM, Nicollet Mall overlay district requires the first floor of buildings to be located within eight feet of Nicollet Mall, except where a greater yard is required by the zoning ordinance or where the building is separated from Nicollet Mall by outdoor open space that conforms to the standards for the urban open space premium. In the case of a corner lot, the building wall abutting each street shall be located not more than eight feet from the lot line. The majority of the first floor is nine feet back from the front lot line adjacent to Nicollet Mall and the northernmost portion of the building steps back to 22 feet. The residential entrance in the southwest corner of the site is setback approximately 40 feet from Nicollet Mall. Along 4th Street, the building is setback approximately 12 feet at the residential entry.

Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. Nicollet Mall is currently being reconstructed to create a greener, more open, better functioning and visually appealing space. The design allows for as much space as possible for pedestrians, greening, and sidewalk cafes. Specifically, the site is located in the Mississippi Woods portion of Nicollet Mall, which calls for intensive greening and landscaping connecting to the Mississippi River. Heavy volumes of pedestrian traffic travel on the sidewalks adjacent to the site on a daily basis. A survey conducted in 2011 counted 20,320 daily pedestrian trips along Nicollet Mall. The applicant is stepping the building back along the Nicollet Mall frontage to allow for a wider pedestrian zone and the proposed landscaping, and to allow for a sidewalk café adjacent to the commercial space. Along 4th Street S the building is setback 12 feet up to the residential entrance to allow adequate space for a bus shelter. From the entrance door east, the building complies with the setback requirement. These circumstances have not been created by the applicant.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The NM, Nicollet Mall Overlay District is established to preserve and encourage the pedestrian character of the Nicollet Mall area and to promote street level activity by creating a pleasant and unique pedestrian environment. The standard pertaining to the placement of buildings is intended to reinforce the street wall, maximize natural surveillance and visibility, and facilitate pedestrian access and circulation. Policies of the comprehensive plan also support the intent of this ordinance. To improve the public realm, proposed ground level pedestrian amenities between the building and the lot lines adjacent to the streets include wider sidewalks, landscaping, decorative paving and outdoor seating. Adequate space is also being provided for a relocated bus shelter along 4th Street S. An abundant amount of windows would be provided for the commercial use, skyway lobby, and residential lobby that would allow for natural surveillance of adjacent spaces. Allowing the first floor of the building to be setback as proposed from Nicollet Mall and 4th Street S to ensure efficient pedestrian circulation is a reasonable request. With the amenities proposed, the building setback is consistent with the spirit and intent of the ordinance and the comprehensive plan.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

The proposed variance will not alter the essential character of the locality nor will it be injurious to the use and enjoyment of other property in the vicinity. Nicollet Mall is a primary pedestrian corridor that is currently being reconstructed. The new Nicollet Mall will have intensive landscaping in front of the site with ample space for pedestrians. The proposed building placement will be

consistent with the character of the surrounding area by allowing for a wider sidewalk and outdoor seating. Granting the proposed variance would not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

SITE PLAN REVIEW

The Department of Community Planning and Economic Development has analyzed the application based on the required findings and applicable standards in the site plan review chapter:

I. Conformance to all applicable standards of Chapter 530, Site Plan Review.

Building Placement and Design – *Requires alternative compliance*

- The placement of the building reinforces the street wall while allowing for adequate pedestrian space.
- The building will be setback nine feet along Nicollet Mall, stepping back to 22 feet for the northernmost portion of the building. Along 4th Street S, the building will be setback 12 feet from the property line up to the residential entrance. Alternative compliance is requested for these two frontages. A variance to the standards of the Nicollet Mall overlay district has also been requested. As one moves east along 4th Street beyond the entrance, the building is up to the property line. The building is also up to the property line along Marquette Avenue.
- The area between the front lot line and Nicollet Mall will contain amenities such as landscaping that is coordinated with the Nicollet Mall improvements, outdoor seating and decorative paving. Along 4th Street S, the area between the building wall and the public sidewalk will include decorative paving. No other amenities are proposed in this location as it is the residential entry door.
- The primary entrance into the residential lobby is oriented toward 4th Street S. A second residential entry door is oriented toward Nicollet Mall, though it is setback approximately 40 feet. The entrance into the commercial space on Nicollet Mall is located in the center of the building, facing Nicollet Mall. The entrance into the skyway lobby is also oriented to Nicollet Mall. The retail space at the corner of Marquette and 4th Street will have entrances facing both streets.
- On-site accessory parking is enclosed within the building and at or above grade.
- All floors of the building will contain significant glazing to create visual interest and provide opportunities for natural surveillance and visibility of adjacent outdoor spaces. The residential floors have balconies starting on the third floor that will help to achieve this same function.
- The building is divided into smaller identifiable sections with the use of material changes, recesses and projections.
- The north side of the parking ramp contains blank walls that greatly exceed 25 feet in length. For the first three floors, the only variation is a color change in the concrete panels. On the first floor, the longest blank wall is 113 feet. On the second and third floors, the longest sections of blank wall are approximately 77 feet. Alternative compliance is requested.
- Exterior materials are durable and include precast concrete, insulated concrete panels and glass.
- The materials on the rear and side elevations are required to be similar to and compatible with the front elevation(s). In this case, the street-facing elevations in the tower are precast concrete with a significant amount of glass. The street-facing elevations in the parking podium are also precast concrete with a horizontal glazing pattern. The north elevation is nearly 100 percent precast concrete with no real articulation to break up the building wall. This side is not compatible with the other three elevations of the building and alternative compliance is requested.
- Plain face concrete block is not proposed as an exterior material.
- The building exceeds the minimum window requirements for all street-facing elevations, per Table 2 below. With the exception of the parking podium, windows are vertical in proportion and evenly

distributed. The parking podium has a horizontal glazing pattern to create an artistic treatment on this portion of the building. The spandrel glass proposed in the upper floors has not been calculated toward the minimum window requirement. All required windows shall have a visible light transmittance ratio of 0.6 or greater.

- The ground floor of each street-facing elevation contains a significant amount of glazing to provide opportunities to observe adjacent spaces.
- Entrances are clearly defined with awnings and signage.
- Active functions are provided for 80 percent of the ground floor fronting along Marquette Avenue. Along 4th Street S and Nicollet Mall the ground floor is 100 percent active with the exception of a curb cut along 4th Street S.
- The building will have a flat roof, similar to other buildings in the area.
- All ground floor parking is screened with active functions on the street-facing elevations.

Table 1. Percentage of Windows Required for Elevations Facing a Public Street, Sidewalk, Pathway, or On-Site Parking

	Code Requirement		Proposed	
Nonresidential Uses				
1st Floor (Nicollet Mall)	40% minimum	434 sq. ft.	87.6%	951.6 sq. ft.
1 st Floor (4 th St S)	40% minimum	1099 sq. ft.	95.3%	2,619 sq. ft.
1st Floor (Marquette Ave)	40% minimum	393.6 sq. ft.	77.8%	766 sq. ft.
2nd Floor and Above (Nicollet Mall)	10% minimum	109 sq. ft.	37.3% (min)	405.2 sq. ft. (min)
2 nd Floor and Above (4 th St)	10% minimum	295 sq. ft.	12.2% (min)	362 sq. ft. (min)
2 nd Floor and Above (Marquette Ave)	10% minimum	98.4 sq. ft.	34.7 % (min)	342 sq. ft. (min)

Access and Circulation – Meets requirements

- All building entrances open directly on to the public sidewalk.
- The applicant is proposing to relocate the existing bus shelter that is located at the corner of 4th Street S and Nicollet Mall. The shelter will be moved east along 4th Street so as not to conflict with the proposed residential entrance. The bus shelter will remain in the public right-of-way and is not proposed to be incorporated into the building. Existing bus shelters along Marquette Avenue will not be impacted.
- Vehicular access and circulation has been largely designed to minimize conflicts with pedestrians. The entrance into the parking structure is proposed off of 4th Street S. This entrance is located in a manner that will minimize pedestrian conflicts. A service drive is proposed on the north side of the building for trash pick-up, deliveries and loading. Said service drive is accessed from Marquette Avenue. The applicant is also showing a secondary egress from the parking structure onto this service drive. Marquette Avenue is a major bus route with two transit stops directly in front of the property. The applicant provided exhibits that show Metro Transit buses would block the access to the service drive during rush hour bus service. Having residential vehicles use this service drive for egress would create significant conflicts with bus traffic and pedestrians waiting near bus shelters on Marquette Avenue. This has been raised as a concern by Public Works and by Metro

Transit. The PDR report contains a condition of approval stating that the residential egress into the service drive shall be removed and the service drive shall be used for service vehicles only. An identical condition of approval is being placed in this staff report.

- There are no other residential uses on this block that would be impacted by traffic and no alleys exist on this block.
- All parking is proposed to be enclosed within the building. The amount of impervious surface proposed around the building is consistent with the character of downtown and will allow for a wide pedestrian zone along Nicollet Mall.

Landscaping and Screening – *Not applicable*

- As per section 530.30 of the zoning code, any building containing 50,000 square feet or more of gross floor area located in the Downtown districts shall be exempt from the general landscaping and screening requirements. The parking and loading landscaping and screening requirements shall apply. All on-site parking would be enclosed.

Additional Standards – *Meets requirements*

- All parking is enclosed within the building and curbing requirements do not apply.
- The proposed building is 30 stories in height and located within the core of downtown. There are no signature views that would be blocked by the proposed building.
- The applicant submitted a shadow study with the application that is attached to this report. To the extent practical, the building would be located and arranged to minimize shadowing on public spaces and adjacent properties. However, the building is 30 stories in height and as such, shadowing can be expected. This is common among buildings in the core of downtown where density and height are encouraged by adopted City policy.
- The building is designed to minimize generation of wind currents at ground level. The tower portion of the building steps back from the northwest corner and also steps back significantly from Marquette Avenue as the residential amenity deck is located above the parking podium in this location. The tower is articulated with balconies in each of the residential units to further mitigate shear winds coming off the building.
- The building and site address crime prevention through environmental design. The ground floor uses have significant glazing that would allow natural surveillance and visibility of the adjacent streets. The second floor has abundant window coverage facing Nicollet Mall and the skyway proposed between the building and the block south of the site is primarily glass. Multiple principal entrances would face each adjacent street. Lighting would be provided throughout the site. Landscaping, walkways, lighting and building features would clearly guide pedestrian movement on and through the site and would control and restrict people to appropriate locations.
- The site is not located in an historic district and there are no structures on the site currently.

2. Conformance with all applicable regulations of the zoning ordinance.

The proposed use is *permitted* in the B4-2 District.

- Residential uses in the downtown districts do not have a minimum parking requirement. However, residential uses that provide parking are required to provide visitor parking equivalent to one space for every 50 dwelling units. Appropriate designation for these visitor spaces will be required as a condition of approval.

Off-street Parking and Loading – *Meets requirements*

Table 2. Vehicle Parking Requirements Per Use (Chapter 54I)

	Minimum Vehicle Parking	Applicable Reductions	Total Minimum Requirement	Maximum Parking Allowed	Proposed
General retail sales and services	--	--	--	19	0
Residential dwellings	7 visitor spaces	--	7 visitor spaces	552	367
Total	--	--	7 visitor	571	367

Table 3. Bicycle Parking and Loading Requirements (Chapter 54I)

	Minimum Bicycle Parking	Minimum Short-Term	Minimum Long-Term	Proposed	Loading Requirement	Proposed
General retail sales and services	18	9	--	18	Low, below minimum size requirement	One small
Residential dwellings	368	--	166	184	One large or two small spaces	One large
Total	202	9	166	202	1 large or two small	2

Building Bulk and Height – Meets requirements

- There is no maximum building height in the B4-2 district.
- The maximum FAR in this B4-2 district is 16.0.

Table 5. Building Bulk and Height Requirements

	Code Requirement	Proposed
Lot Area	--	45,046 sq. ft. / 1.03 acres
Gross Floor Area (GFA)	--	473,468 sq. ft.
Minimum Floor Area Ratio (GFA/Lot Area)	N/A	N/A
Maximum Floor Area Ratio (GFA/Lot Area)	16.0	10.5
Maximum Building Height	--	30 stories.

Lot Requirements – Meets requirements

Table 4. Lot Requirements Summary

	Code Requirement	Proposed
Dwelling Units (DU)	--	368 DUs
Density (DU/acre)	--	357 DU/acre
Minimum Lot Area	--	122.4 sq. ft. per DU
Maximum Impervious Surface Area	--	100%
Maximum Lot Coverage	--	87.2%
Minimum Lot Width	--	136.25 ft.

Yard Requirements – Requires variance(s)

- The applicant has requested variances for the maximum front yard setback requirement in the NM, Nicollet Mall overlay district. Staff is recommending approval of said variances as evaluated above.

Table 5. Minimum Yard Requirements

	Zoning District	Overriding Regulations	Total Requirement	Proposed
Front (Nicollet Mall)	0 ft.	Maximum of 8 feet in NM Overlay	8 ft. max	22 ft. max
Front (Marquette Ave)	0 ft.	--	0 ft.	0 ft.
Interior Side (north)	15 ft. (residential windows)	--	15 ft.	23.8 ft. (residential windows)
Corner Side (south)	0 ft.	Maximum of 8 feet in NM Overlay	8 ft. max	12 ft. max

Signs – Meets requirements

- Signs are subject to Chapter 543 of the Zoning Code. All new signs are required to meet the requirements in Chapter 543. The applicant is only showing speculative signage at this time. The maximum height of signs in the NM, Nicollet Mall overlay district is 28 feet. There is one speculative building identification sign facing Nicollet Mall that is approximately 35 feet in height. This sign would need to come into compliance with the maximum height requirement or seek a variance when the actual sign package is submitted.

Refuse Screening – Meets requirements

- The trash receptacles are located within the building and will be wheeled out near the service drive for pick-up.

Screening of Mechanical Equipment – Meets requirements

- Rooftop mechanical equipment is screened with the same primary materials that are proposed in the remainder of the building.

Lighting – Meets requirements with Conditions of Approval

- No lighting plan was submitted as part of the project. Lighting must comply with Chapter 535 and Chapter 541 of the zoning code including:
- 535.590. Lighting. (a) In general. No use or structure shall be operated or occupied as to create light or glare in such an amount or to such a degree or intensity as to constitute a hazardous condition, or as to unreasonably interfere with the use and enjoyment of property by any person of normal sensitivities, or otherwise as to create a public nuisance.
- (b) Specific standards. All uses shall comply with the following standards except as otherwise provided in this section:
 - (1) Lighting fixtures shall be effectively arranged so as not to directly or indirectly cause illumination or glare in excess of one-half (1/2) footcandle measured at the closest property line of any permitted or conditional residential use, and five (5) footcandles measured at the street curb line or nonresidential property line nearest the light source.
 - (2) Lighting fixtures shall not exceed two thousand (2,000) lumens (equivalent to a one hundred fifty (150) watt incandescent bulb) unless of a cutoff type that shields the light source from an observer at the closest property line of any permitted or conditional residential use.
 - (3) Lighting shall not create a sensation of brightness that is substantially greater than ambient lighting conditions as to cause annoyance, discomfort or decreased visual performance or visibility to a person of normal sensitivities when viewed from any permitted or conditional residential use.
 - (4) Lighting shall not create a hazard for vehicular or pedestrian traffic.
 - (5) Lighting of building facades or roofs shall be located, aimed and shielded so that light is directed only onto the facade or roof.

NM, Nicollet Mall Overlay District Standards – Requires variance(s)

- The applicant has requested variances to the percentage of ground floor retail required and the maximum 8-foot setback in the NM, Nicollet Mall Overlay.
- The area between the building and a lot line adjacent to a street, and all other areas not occupied by buildings or used for parking and loading purposes, must include amenities such as landscaping, tables and seating. Amenities, including landscaping, seating, decorative paving and widened pedestrian ways would be provided between the building and the lot lines.
- Buildings must be oriented so that at least one principal entrance faces Nicollet Mall. One or more principal entrances would face Nicollet Mall.
- In order to minimize the impact of shadowing and wind currents upon Nicollet Mall, and to maintain pedestrian scale and character, portions of buildings over ten stories or 140 feet, whichever is less, that comprise more than two hundred 200 feet of frontage on Nicollet Mall shall be set back from Nicollet Mall not less than 30 feet. Such setback shall begin no lower than the third story or 42 feet, whichever is less, and no higher than the 10th story or 140 feet, whichever is less. Where the first floor of a building or a portion of a building is separated from Nicollet Mall by open space, the required setback shall be reduced by the depth of such open space. The building has less than 200 feet of frontage on Nicollet Mall and is therefore not subject to this provision.
- The main lobby of the building and main elevator access must be located at street level. Both the main lobbies and elevator access for the residential and commercial uses would be located at street level. A skyway lobby with an elevator is also located on the first floor.
- On-site accessory parking facilities must be located to the rear or interior side of the site, within the principal building served, or entirely below grade. All on-site parking would be enclosed within the principal building.

- Building facades must provide architectural detail to create visual interest and the exterior materials and appearance of the rear and side walls must be similar to and compatible with the front of the building. Staff is recommending that the north elevation of the parking podium be modified to be more similar in appearance to the south and east elevations, specifically matching the material and glazing pattern. This shall be required as a condition of approval.
- The use of plain face concrete block as an exterior material is prohibited where visible from a public street or a residence or office residence district. Plain face concrete block would not be used as an exterior material.
- At least 40 percent of the first floor facade that faces Nicollet Mall or other public street must be windows or doors of clear or lightly tinted glass, including display windows. Windows must be distributed in a more or less even manner. Display windows must be illuminated until at least 1:00 a.m. The required minimum window area is measured between the height of two feet and ten feet above the finished level of the first floor. Nearly 100 percent of the first floor facades facing Nicollet Mall and 4th Street S, measured between two and ten feet, would be windows or doors with clear or lightly tinted glass.
- Awnings and canopies are encouraged in order to provide protection for pedestrians and to emphasize individual uses and entrances. Awnings are proposed at the residential entrances, the skyway lobby entrance and the retail entrance at the corner of Nicollet Mall and 4th Street S.

DP, Downtown Parking Overlay District Standards – Meets requirements

- All parking will be enclosed within the building, in compliance with the standards of the Downtown Parking Overlay district.

3. Conformance with the applicable policies of *The Minneapolis Plan for Sustainable Growth*.

The Minneapolis Plan for Sustainable Growth identifies the site as commercial on the future land use map. Nicollet Mall is a commercial corridor and downtown is a growth center and major retail center. The proposed development is consistent with the following principles and policies outlined in the comprehensive plan:

Land Use Policy 1.3: Ensure that development plans incorporate appropriate transportation access and facilities, particularly for bicycle, pedestrian, and transit.

- 1.3.1 Require safe, convenient, and direct pedestrian connections between principal building entrances and the public right-of-way in all new development and, where practical, in conjunction with renovation and expansion of existing buildings.
- 1.3.2 Ensure the provision of high quality transit, bicycle, and pedestrian access to and within designated land use features.
- 1.3.3 Encourage above-ground structured parking facilities to incorporate development that provides active uses on the ground floor.

Land Use Policy 1.4: Develop and maintain strong and successful commercial and mixed use areas with a wide range of character and functions to serve the needs of current and future users.

- 1.4.1 Support a variety of commercial districts and corridors of varying size, intensity of development, mix of uses, and market served.
- 1.4.4 Continue to encourage principles of traditional urban design including site layout that screens off-street parking and loading, buildings that reinforce the street wall, principal

entrances that face the public sidewalks, and windows that provide “eyes on the street”.

Land Use Policy 1.5: Promote growth and encourage overall city vitality by directing new commercial and mixed use development to designated corridors and districts.

- I.5.1 Support an appropriate mix of uses within a district or corridor with attention to surrounding uses, community needs and preferences, and availability of public facilities

Land Use Policy 1.10: Support development along Commercial Corridors that enhances the street’s character, fosters pedestrian movement, expands the range of goods and services available, and improves the ability to accommodate automobile traffic.

- I.10.1 Support a mix of uses – such as retail sales, office, institutional, high-density residential and clean low-impact light industrial – where compatible with the existing and desired character.
- I.10.4 Encourage a height of at least two stories for new buildings along Commercial Corridors, in keeping with neighborhood character.
- I.10.5 Encourage the development of high-density housing on Commercial Corridors.

Land Use Policy 1.15: Support development of Growth Centers as locations for concentration of jobs and housing, and supporting services.

- I.15.3 Encourage the development of high- to very high-density housing within Growth Centers.

Land Use Policy 1.16: Support a limited number of Major Retail Centers, while promoting their compatibility with the surrounding area and their accessibility to transit, bicycle and foot traffic

- I.16.1 Encourage the development of mixed residential, office, institutional and, where appropriate, small-scale retail sales and services to serve as transitions between Major Retail Centers and neighboring residential areas.
- I.16.2 Incorporate principles of traditional urban design in new and phased development, including buildings that reinforce the street wall, have windows that provide “eyes on the street”, and principal entrances that face the public sidewalks.

Urban Design Policy 10.1: Promote building designs and heights that enhance and complement the image and form of the Downtown skyline, provide transition to the edges of Downtown and protect the scale and quality in areas of distinctive physical or historical character.

- 10.1.1 Concentrate the tallest buildings in the Downtown core.
- 10.1.2 Building placement should preserve and enhance public view corridors that focus attention on natural or built features, such as landmark buildings, significant open spaces or water bodies.
- 10.1.3 Building placement should allow light and air into the site and surrounding properties.

Urban Design Policy 10.2: Integrate pedestrian scale design features into Downtown site and building designs and infrastructure improvements.

- 10.2.1 The ground floor of buildings should be occupied by active uses with direct connections to the sidewalk.

- 10.2.2 The street level of buildings should have windows to allow for clear views into and out of the building.
- 10.2.3 Ensure that buildings incorporate design elements that eliminate long stretches of blank, inactive building walls such as windows, green walls, architectural details, and murals.
- 10.2.4 Integrate components in building designs that offer protection to pedestrians, such as awnings and canopies, as a means to encourage pedestrian activity along the street.
- 10.2.5 Locate access to and egress from parking ramps mid-block and at right angles to minimize disruptions to pedestrian flow at the street level.
- 10.2.6 Arrange buildings within a site in order to minimize the generation of wind currents at ground level.
- 10.2.7 Locate buildings so that shadowing on public spaces and adjacent properties is minimized.
- 10.2.8 Coordinate site designs and public right-of-way improvements to provide adequate sidewalk space for pedestrian movement, street trees, landscaping, street furniture, sidewalk cafes and other elements of active pedestrian areas.

Urban Design Policy 10.3: Use skyways to connect buildings Downtown.

- 10.3.1 Provide maximum transparency of skyway walls in order to provide views to the outside that help users orient themselves.
- 10.3.2 Maintain uniform skyway hours of operation wherever possible.
- 10.3.3 Provide consistent and uniform directional signage and accessible skyway system maps near skyway entrances, particularly along primary transit and pedestrian routes.
- 10.3.4 Provide convenient and easily accessible vertical connections between the skyway system and the public sidewalks, particularly along primary transit and pedestrian routes.

The applicant is proposing a 30-story building with 368 dwelling units in the downtown core. The building will add to the City's skyline and fill in a gap in the urban fabric by replacing a surface parking lot with very high density development. The building is designed in accordance with the Urban Design policies above, including ample space for pedestrians, a tower design that will minimize wind currents are ground level, a skyway connection across 4th Street with a public skyway access lobby from Nicollet Mall and structured parking. The proposed density is appropriate in a downtown setting and active uses are proposed along all street frontages.

4. Conformance with applicable development plans or objectives adopted by the City Council.

The site has been identified as a key redevelopment site by the *Downtown 2025 Plan* and in the *North Nicollet Mall Development Objectives*. Additionally, the *Downtown 2010 Plan* states, "The Minneapolis Public Library shall be connected by skyways to the office/retail core." The library was constructed, with significant public investment, to accommodate a skyway connection across Nicollet Mall to this site. As noted above, the subject building does not line up with the portion of the library that is designed to accommodate skyway access across Nicollet Mall and as such, no connection is proposed. A skyway connection to the library would be expected as part of a future phase on the north side of the block. The applicant submitted an EAW for the entire block as it would be required in the event that they acquire the north portion of the block in the future. The applicant is strongly encouraged to work with

Hennepin County on a skyway connection to the library for Phase 2 if and when they secure ownership of that piece.

5. Alternative compliance.

The Planning Commission or zoning administrator may approve alternatives to any site plan review requirement upon finding that the project meets one of three criteria required for alternative compliance. Alternative compliance is requested for the following requirements:

- **Building Placement.** The first floor building wall is required to be located not more than 8 feet from the lot lines adjacent to Nicollet Mall, 4th Street S and Marquette Avenue. The building will be setback nine feet along Nicollet Mall, stepping back to 22 feet for the northernmost portion of the building. Along 4th Street S, the building will be setback 12 feet from the property line up to the residential entrance. Alternative compliance is requested for these two frontages. A variance to the standards of the Nicollet Mall overlay district has also been requested. The additional space between the building and property line will be used to create a wider pedestrian route along Nicollet Mall and to accommodate outdoor seating and landscaping. Given the amenities proposed, staff recommends granting alternative compliance for this requirement. Staff is also recommending approval of the variances.
- **Blank walls in excess of 25 feet.** The north side of the parking ramp contains blank walls that greatly exceed 25 feet in length. For the first three floors, the only variation is a color change in the concrete panels. On the first floor, the longest blank wall is 113 feet. On the second and third floors, the longest sections of blank wall are approximately 77 feet. Staff does not recommend granting alternative compliance for this requirement. The north elevation will be completely exposed until the north portion of this block develops. There is no timeline set for that and no plans have been proposed at this time. Furthermore, a 20-foot service drive is proposed on the north side of the building that will keep this elevation visible even with any future development on the north side of the block. A condition of approval has been recommended accordingly.
- **Windows are vertical in proportion.** The windows proposed in the parking podium are horizontally aligned to create artistic pattern in this portion of the building. Given the nature of the use in this portion of the building and the overall design, staff recommends granting alternative compliance.
- **Compatibility between front and rear elevation.** The materials on the rear and side elevations are required to be similar to and compatible with the front elevation(s). In this case, the street-facing elevations in the tower are precast concrete with a significant amount of glass. The street-facing elevations in the parking podium are also precast concrete with a horizontal glass pattern. The north elevation is nearly 100 percent precast concrete with no real articulation to break up the building wall. This side is not compatible with the other three elevations of the building and alternative compliance is requested. Staff does not recommend granting alternative compliance for this requirement for the reasons outlined above. This elevation will be highly visible both before and after any future development occurs on the north side of the block. A condition of approval has been added accordingly.

PRELIMINARY PLAT

The Department of Community Planning and Economic Development has analyzed the application for a Preliminary Plat based on the following findings:

- I. *The subdivision is in conformance with these land subdivision regulations, the applicable regulations of the zoning ordinance and policies of the comprehensive plan.*

Subdivision Regulations:

The subdivision is in conformance with the applicable zoning code regulations and policies of the comprehensive plan. The site currently consists of several underlying platted lots that the applicant is proposing to plat into two large lots. The proposed development will be on Lot 1, Block, Three Sixty Five Nicollet Addition. Said lot is proposed to be 45,046 square feet in area. Lot 2, Block 1 of this subdivision will be 64,257 square feet in area. Both lots have frontage on multiple public streets.

2. *The subdivision will not be injurious to the use and enjoyment of other property in the immediate vicinity, nor be detrimental to present and potential surrounding land uses, nor add substantially to congestion in the public streets.*

The proposed plat should have no impact on surrounding land uses.

3. *All land intended for building sites can be used safely without endangering the residents or users of the subdivision or the surrounding area because of flooding, erosion, high water table, soil conditions, improper drainage, steep slopes, rock formations, utility easements or other hazard.*

The site is basically flat and does not present any other noted hazards.

4. *The lot arrangement is such that there will be no foreseeable difficulties, for reasons of topography or other conditions, in securing building permits and in providing driveway access to buildings on such lots from an approved street. Each lot created through subdivision is suitable in its natural state for the proposed use with minimal alteration.*

The proposed lot is buildable with minimal alterations and will have frontage on four public streets.

5. *The subdivision makes adequate provision for stormwater runoff, and temporary and permanent erosion control in accordance with the rules, regulations and standards of the city engineer and the requirements of these land subdivision regulations. To the extent practicable, the amount of stormwater runoff from the site after development will not exceed the amount occurring prior to development.*

The proposed plat makes adequate provision for stormwater runoff. Because the site includes disturbance of more than one acre of land, a stormwater management plan was required. The Surface Waters and Sewers division of Public Works Department has reviewed the project for appropriate drainage and stormwater management. Specific comments related to stormwater can be found in the attached PDR report.

RECOMMENDATIONS

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt staff findings for the applications by The Opus Group for the properties located at 315 Nicollet Mall:

- A. Variance of the standards of the Nicollet Mall Overlay district to allow less than 60 percent of the gross floor area of the ground floor within the overlay district to be retail.**

Recommended motion: **Approve** the application for a variance.

- B. Variance of the standards of the Nicollet Mall Overlay district to portions of the building to be setback more than 8 feet from the front property lines.**

Recommended motion: Approve the application for a variance to allow the building to be setback 12 feet from the front lot line along 4th Street for the residential entry, to allow the south portion of the building to be setback nine feet from the front property line along Nicollet Mall, and the north portion to the setback 22 feet from the front property line along Nicollet Mall.

C. Site Plan Review for a new 30-story mixed use building with 368 dwelling units.

Recommended motion: **Approve** the application for site plan review, subject to the following conditions:

1. CPED Staff review and approval of the final site plan, lighting plan, landscaping plan, and elevations before permits may be issued.
1. All site improvements shall be completed by September 8, 2017, unless extended by the Zoning Administrator, or permits may be revoked for noncompliance.
2. All required ground floor windows shall have a visible light transmittance ratio of 0.6 or higher.
3. The north elevation shall be revised to eliminate all instances of blank wall in excess of 25 feet and to more closely match the appearance and proposed materials of the south and east elevations, in compliance with Section 530.120 and Section 551.930 of the zoning code.
4. The secondary egress from the parking garage to the service drive shall be eliminated in order to minimize conflicts with bus traffic on Marquette Avenue.
5. No shelving, signage, merchandise, newspaper racks or other similar fixtures shall be placed in front of the required ground level transparent windows.
6. A minimum of seven parking stalls shall be designated as visitor spaces and signed accordingly, in compliance with Table 541-2 of the zoning code.

D. Preliminary Plat.

Recommended motion: **Approve** the application for a preliminary plat.

ATTACHMENTS

1. Written description and findings submitted by applicant
2. PDR Report
3. Zoning map
4. Plans
5. Bus exhibit
6. Building elevations
7. Renderings
8. Shadow study
9. Plat
10. Photos
11. Correspondence

360 NICOLLET MALL

STATEMENT OF PURPOSE AND DESCRIPTION OF PROJECT

The proposed 30 story building will transform existing surface level parking into a vibrant, transit-oriented, mixed-use hub that will enhance the energy and activity of Nicollet Mall and downtown Minneapolis.

The project includes 368 residential dwelling units and 367 on-site parking stalls. The streetscape and pedestrian experience will be enhanced through active uses including 9,600 SF of retail space and the residential lobby. A skyway connection will be provided to the new Xcel Energy building, and the building will accommodate a future skyway connection to the Minneapolis Public Library. Opus is working with city planners to coordinate the streetscape design with the redevelopment of Nicollet Mall, and the building is set back a minimum of 9 feet along that property line to enhance the Nicollet Mall experience.

The extensive use of glass, combined with the sculptural and creative composition of balcony profiles, will create a building that is visually unique and a new source of identity for the Mall and the City. Residential balconies start at level 3 on Nicollet Mall and continue all the way to the top floor, providing many new eyes on the street and an enhanced sense of community and safety. A predominantly glass elevation is also used on Marquette Avenue, crowned by a trellis which highlights the activity on the 6th floor amenity deck. Along 4th Street, the elevation is conceived as an animated composition of slot windows that complements the lines of the balconies on the tower. The first floor is designed as very open and inviting due to the mostly glass architecture.

COMPREHENSIVE AND SMALL AREA LAND USE PLAN POLICIES APPLICABLE TO THE PROJECT SITE

The project site is guided for Commercial land use in the Minneapolis comprehensive plan, *The Minneapolis Plan for Sustainable Growth* ("MPSG"). Although the Commercial designation is not generally targeted for mixed-use residential development, Downtown is also designated as a Growth Center. Growth Centers are characterized by a concentration of business and employment activity and a wide range of complementary activities, residential, office, retail, entertainment and recreational uses. The *MPSG* encourages the development of high- to very high-density housing within Growth Centers. Furthermore, Nicollet Mall is designated as a Commercial Corridor and Major Retail Center, and the site is within the Nicollet Mall Transit Station Area (TSA). The table below highlights a number of specific policies from the *MPSG* that are applicable to this project and location.

MPSG Policies Applicable to 360 Nicollet Project Site

Land Use

1.3: Ensure that development plans incorporate appropriate transportation access and facilities, particularly for bicycle, pedestrian, and transit.

1.3.1 Require safe, convenient, and direct pedestrian connections between principal building entrances and the public right-of-way in all new development and, where practical, in conjunction

with renovation and expansion of existing buildings.

1.3.3 Encourage above-ground structured parking facilities to incorporate development that provides active uses on the ground floor.

1.4: Develop and maintain strong and successful commercial and mixed use areas with a wide range of character and functions to serve the needs of current and future users.

1.4.1 Support a variety of commercial districts and corridors of varying size, intensity of development, mix of uses, and market served.

1.4.2 Promote standards that help make commercial districts and corridors desirable, viable, and distinctly urban, including: diversity of activity, safety for pedestrians, access to desirable goods and amenities, attractive streetscape elements, density and variety of uses to encourage walking, and architectural elements to add interest at the pedestrian level.

1.4.4 Continue to encourage principles of traditional urban design including site layout that screens off-street parking and loading, buildings that reinforce the street wall, principal entrances that face the public sidewalks, and windows that provide "eyes on the street".

1.10: Support development along Commercial Corridors that enhances the street's character, fosters pedestrian movement, expands the range of goods and services available, and improves the ability to accommodate automobile traffic.

1.10.1 Support a mix of uses – such as retail sales, office, institutional, high-density residential and clean low impact light industrial – where compatible with the existing and desired character.

1.10.2 Encourage commercial development, including active uses on the ground floor, where Commercial Corridors intersect with other designated corridors.

1.13: Support high density development near transit stations in ways that encourage transit use and contribute to interesting and vibrant places.

1.13.5 Concentrate highest densities and mixed use development adjacent to the transit station and along connecting corridors served by bus.

1.13.6 Encourage investment and place making around transit stations through infrastructure changes and the planning and installation of streetscape, public art, and other public amenities.

1.15: Support development of Growth Centers as locations for concentration of jobs and housing, and supporting services.

1.15.3 Encourage the development of high- to very high-density housing within Growth Centers.

1.16: Support a limited number of Major Retail Centers, while promoting their compatibility with the surrounding area and their accessibility to transit, bicycle and foot traffic.

1.16.2 Incorporate principles of traditional urban design in new and phased development, including buildings that reinforce the street wall, have windows that provide "eyes on the street", and principal entrances that face the public sidewalks.

1.16.4 Ensure the provision of high quality transit, bicycle and pedestrian access to Major Retail Centers.

Transportation

2.10: Support the development of a multi-modal Downtown transportation system that encourages an increasingly dense and vibrant regional center.

2.10.4 Improve the pedestrian environment Downtown to ensure it is a safe, enjoyable, and accessible place to walk. Encourage strategies such as wider sidewalks for pedestrian movement, trees, landscaping, street furniture, improved transit facilities, additional bicycle facilities, and on-street parking and other curbside uses.

2.10.5 Improve wayfinding and vertical circulation between the street and skyway system, particularly along primary transit and pedestrian routes.

Housing

3.2: Support housing density in locations that are well connected by transit, and are close to commercial, cultural and natural amenities.

3.2.1 Encourage and support housing development along commercial and community corridors, and in and near growth centers, activity centers, retail centers, transit station areas, and neighborhood commercial nodes.

Economic Development

4.16 Strengthen Downtown's position as a regional cultural, entertainment and commercial center that serves Downtown employees, visitors, and residents.

4.16.1 Maintain a destination Retail district along Nicollet Mall.

4.16.2 Provide a continuous retail presence within the Retail District by requiring active commercial uses on the street level.

Urban Design

10.1: Promote building designs and heights that enhance and complement the image and form of the Downtown skyline

10.1.1 Concentrate the tallest buildings in the Downtown core.

10.1.3 Building placement should allow light and air into the site and surrounding properties.

10.2: Integrate pedestrian scale design features into Downtown site and building designs and infrastructure improvements. Examples include:

- active uses on ground floors with direct connections to the sidewalk
- street level windows with clear views
- incorporation of design elements that eliminate long stretches of blank, inactive building walls such as windows, green walls, architectural details, and murals
- integrate components in building designs that offer protection to pedestrians, such as awnings and canopies, as a means to encourage pedestrian activity along the street
- coordinate site designs and public right-of-way improvements to provide adequate sidewalk space for pedestrian movement, street trees, landscaping, street furniture, sidewalk cafes and other elements of active pedestrian areas

10.3: Use skyways to connect buildings Downtown.

10.9: Support urban design standards that emphasize traditional urban form with pedestrian scale design features at the street level in mixed-use and transit-oriented development.

Policy 10.16: Design streets and sidewalks to ensure safety, pedestrian comfort and aesthetic appeal. Examples include:

- wider sidewalks in Downtown
- streetscape amenities that buffer pedestrians from auto traffic, parking areas, and winter elements
- placement of street furniture and fixtures to serve a function and not obstruct pedestrian pathways and pedestrian flows

10.18: Reduce the visual impact of automobile parking facilities.

10.18.5 Design parking structures so sloping floors do not dominate the appearance of the walls.

10.18.6 The ground floor of parking structures should be designed with active uses along the street walls except where frontage is needed to provide for vehicular and pedestrian access.

360 Nicollet is consistent with the policies of the *MPSG*. The project will replace auto surface parking with a high-density residential, mixed-use, transit-oriented development. Particular focus has been placed on designing the building and streetscape to integrate with and enhance the pedestrian realm. The project will provide extraordinary connectivity between the downtown transit and pedestrian systems.

VARIANCE OF NM OVERLAY BUILDING PLACEMENT STANDARD
REQUIRED FINDINGS

A variance is being requested to the building placement standard of the NM Nicollet Mall Overlay District that requires the first floor of buildings to be located not more than eight feet from Nicollet Mall and, on corners both streets, unless the building is separated from Nicollet Mall by outdoor open space that conforms to the standards for the urban open space premium. The building has been set back from Nicollet Mall by more than eight feet in order to create the more expansive public realm that is part of the vision being developed by the downtown community through the Nicollet Mall redesign project and the Downtown 2025 planning project. The Project meets the required findings for this variance as discussed below:

- 1) *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

Designing the project to support the vision of the Downtown 2025 plan of expanding the public realm along north Nicollet Mall and the Nicollet Mall redesign that is the result of that vision creates a practical difficulty in complying with the Overlay setback standard. The proposed 9' – 22' setback of the ground level of the building along Nicollet Mall is a direct response to the City's goals for the redesign. The location of the bus shelter along 4th Street near the intersection with Nicollet Mall creates practical difficulty in complying with the Overlay setback standard for the portion of the 4th Street-facing facade adjacent to the bus stop. The building is set back 12' from 4th Street in that location to allow for pedestrian travel behind the shelter and at the primary residential entry at the building corner. These are unique circumstances not created by the applicant.

- 2) *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The increased setbacks from Nicollet Mall and 4th Street are reasonable and in keeping with the spirit, intent and purpose of the NM Overlay District, which is to "preserve and encourage the pedestrian character of the Nicollet Mall area and to promote street level activity by creating a pleasant and unique pedestrian environment." The setbacks are also consistent with the policies of the comprehensive plan that seek to enhance the public realm. The design promotes street level activity by placing active uses and skyway and primary building entrances along Nicollet and providing space for retail

seating. The open space between the building and the public sidewalk will be landscaped to complement the redesigned Mall.

- 3) *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

The granting of the variance will not alter the essential character of the area, be injurious to the use or enjoyment of other properties, or be detrimental to the public welfare. The increased setback promotes the pedestrian and open space character that the community desires along Nicollet Mall. New streetscape amenities will enhance the character and enjoyment of the Mall for all, including owners, tenants, customers, employees and residents of other Downtown properties.

VARIANCE OF NM OVERLAY RETAIL AREA STANDARD **REQUIRED FINDINGS**

A variance is being requested to the standard of the NM Nicollet Mall Overlay District that requires the that retail uses occupy at least 60 percent of the gross floor area of the first floor area within the Overlay. Commercial retail/restaurant use will occupy approximately 35 percent of the ground-level gross floor area of the portion of the project in the Overlay. The other 65 percent will include the lobby and leasing office for the residences, a lobby and vertical circulation providing public skyway access from Nicollet Mall, and service areas that serve the residential and commercial uses. The project meets the required findings for this variance as discussed below:

- 1) *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

Practical difficulties existing in complying with the ordinance because of circumstances unique to the property that have not been created by the applicant. The site has frontage along three streets. Ground floor retail use is proposed on Marquette to provide active use along that street, pushing the building service areas closer to Nicollet Mall. Both practical and policy factors also dictate placement of the residential entry and lobby along Nicollet Mall, rather than on the Marquette side of the site, outside of the Overlay area. If the residential or skyway lobbies were moved out of the Overlay, an opportunity to achieve important goals in the *MPSG* and Nicollet Mall redesign would be lost.

- 2) *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The residential and skyway lobbies will have doors facing the Mall, but the most prominent use along the Nicollet Mall frontage will be retail use as called for in the NM Overlay standards. The proposed location of the residential and skyway lobbies is a reasonable use that is also in keeping with the spirit and intent of the ordinance. Both lobbies will be active pedestrian spaces that will promote the purpose of the NM Overlay District to "preserve and encourage the pedestrian character of the Nicollet Mall area and to promote street level activity by creating a pleasant and unique pedestrian environment." The skyway lobby and the connection it provides between the street and skyway realms will be a significant pedestrian amenity. Locating the front door for the building residences on Nicollet will add vibrancy and round-the-clock engagement with the Mall. The project design is also consistent with the policies of the comprehensive plan that call for development of high density housing, mixed-use, and enhanced connectivity with the street and transit.

- 3) *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

The granting of the variance will not alter the essential character of the area, be injurious to the use or enjoyment of other properties, or be detrimental to the public welfare. The project will replace a surface parking lot and vacant building with a high quality, mixed-use building. The variance will enhance the use and enjoyment of Nicollet Mall, the nearby transit facilities and the Downtown by fostering interaction of residents and their guests with the Mall and by providing a new street-to-skyway connection. The retail character of the Mall will be enhanced by the addition of a large retail space fronting Nicollet.

SUBDIVISION
REQUIRED FINDINGS

- 1) *The subdivision is in conformance with these land subdivision regulations, the applicable regulations of the zoning ordinance and policies of the comprehensive plan.*

The subdivision is in conformance with the applicable zoning and land subdivision regulations, including the design requirements of Chapter 598, Article III, of the subdivision ordinance. As discussed in the general land use application, the project is consistent with the policies of comprehensive plan.

- 2) *The subdivision will not be injurious to the use and enjoyment of other property in the immediate vicinity, nor be detrimental to present and potential surrounding land uses, nor add substantially to congestion in the public streets.*

The subdivision will not be injurious to the use and enjoyment of other property in the vicinity, be detrimental to surrounding land uses, or increase congestion in the public

streets. The subdivision will divide a city block that is currently entirely used for surface parking into two lots suitable for redevelopment.

- 3) *All land intended for building sites can be used safely without endangering the residents or users of the subdivision or the surrounding area because of flooding, erosion, high water table, soil conditions, improper drainage, steep slopes, rock formations, utility easements or other hazard.*

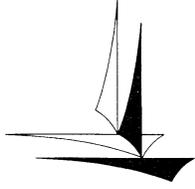
The site is not subject to flooding. Any soil conditions that require environmental or other remediation will be addressed in accordance with applicable regulations and plans. Redevelopment will also comply with all applicable regulations for erosion control, drainage and utilities.

- 4) *The lot arrangement is such that there will be no foreseeable difficulties, for reasons of topography or other conditions, in securing building permits and in providing driveway access to buildings on such lots from an approved street. Each lot created through subdivision is suitable in its natural state for the proposed use with minimal alteration.*

The lot arrangement will pose no difficulties in securing building permits or in providing driveway access to the site. The proposed lots are suitable in their existing state for the proposed development with minimal alteration.

- 5) *The subdivision makes adequate provision for stormwater runoff, and temporary and permanent erosion control in accordance with the rules, regulations and standards of the city engineer and the requirements of these land subdivision regulations. To the extent practicable, the amount of stormwater runoff from the site after development will not exceed the amount occurring prior to development.*

Stormwater management and erosion control plans will be reviewed and approved as part of the final site plan and building permit review process. Subdivision of the project site will not affect implementation of the required stormwater and erosion control measures.



Minneapolis Development Review
250 South 4th Street
Room 300
Minneapolis, MN 55415

Preliminary Development Review Report

Development Coordinator Assigned: **MATTHEW JAMES**
(612) 673-2547
matthew.james@minneapolismn.gov

Status *
RESUBMISSION REQUIRED

Tracking Number:	PDR 1001336
Applicant:	OPUS GROUP 10350 BREN ROAD MTKA, MN 55343
Site Address:	315 NICOLLET MALL
Date Submitted:	14-JUL-2015
Date Reviewed:	22-JUL-2015

Purpose

The purpose of the Preliminary Development Review (PDR) is to provide Customers with comments about their proposed development. City personnel, who specialize in various disciplines, review site plans to identify issues and provide feedback to the Customers to assist them in developing their final site plans.

The City of Minneapolis encourages the use of green building techniques. For additional information please check out our green building web page at: http://www.ci.minneapolis.mn.us/mdr/GreenBuildingOptions_home.asp.

DISCLAIMER: The information in this review is based solely on the preliminary site plan submitted. The comments contained in this report are preliminary ONLY and are subject to modification.

Project Scope

This proposed 30 story building will include 368 residential dwelling unit and 367 on-site parking stalls. The street level will house 9,600 sf of retail space and the residential lobby.

Review Findings (by Discipline)

Zoning - Planning

- The project requires an application for site plan review and variances to the NM, Nicollet Mall Overlay District standards. Additionally, you have elected to plat the site. To pursue the plat, the following items need to be addressed:
 - The plat needs a title at the top

***Approved:** You may continue to the next phase of developing your project.

***Resubmission Required:** You cannot move forward or obtain permits until your plans have been resubmitted and approved.

- The proposed legal descriptions look like they should be: Lot 1, Block 1, Three-Sixty Nicollet Addition to Minneapolis. That needs to be reflected on the application worksheet.
- You cannot have any development on an outlot, including parking. If the intent is for the parking to stay on the north half of the block, that will need to be platted as Lot 2.
- As an alternative to platting you could split the parcel by doing a minor subdivision to create two lots.

□ Addressing

- Per City of Minneapolis Street Naming and Address Standard V1.22, the City of Minneapolis holds authority for assignment of all addresses, verification, change, and/or additions. Each assigned address number uses the street that provides the best/direct access for life safety equipment and best/direct access to the occupants.
- The address for the proposed Nicollet Ave mixed-use building will be 315 Nicollet Ave S. This address meets the City of Minneapolis Street Naming and Address Standard requirements. Additional addresses will be assigned to commercial establishments within the structure as the project progresses.
- When assigning suite sequences the following guidelines are as follows:
 - The first one to two digits of the suite sequence number will designate the floor number of the site.
 - The last two digits of the suite sequence number will designate the unique ID for the unit (condo, suite, unit, or apartment).
 - Suite sequence digit numbers will be assigned to dwelling, commercial and retail units, not common areas. For example, laundry rooms, saunas, workout rooms, etc., would not be assigned numbers.
 - Please provide each condo, suite, unit or apartment number.

□ Parks - Forestry

- Contact Craig Pinkalla (612-499-9233 cpinkalla@minneapolisparks.org) regarding any questions related to planting, removal or the process for protection of trees during construction in the city right of way.
- Effective January 1, 2014, the City of Minneapolis and the Minneapolis Park and Recreation Board adopted an update to the existing Parkland Dedication Ordinance. The adopted City of Minneapolis Parkland Dedication ordinance is located in Section 598.340 of the City's Land Subdivision ordinance:
 - <http://library.municode.com/index.aspx?clientId=11490>
- As adopted, the fee in lieu of dedication for new residential units is \$1,521 per unit (affordable units excluded per ordinance) and for commercial and industrial development it is \$202.80 per development employee (as defined in ordinance). Any dedication fee (if required) must be paid at the time of building permit issuance.
- There is also an administration fee that is 5% of the calculated park dedication fee.
- As proposed, for your PROJECT, the calculated dedication fee is as follows:
 - Park Dedication Fee Calculation =
 - Residential (367 units x \$1,521 per unit) = \$558,207
 - Non-Residential Commercial Space = \$ 2,028
 - 5% of \$XX (Administration Fee) = \$ 1,000
 - Total Park Dedication Administrative Fee: = \$561,235
- This is a preliminary calculation based on your current proposal; a final calculation will be made at the time of building permit submittal.
- For further information, please contact Matthew D. James at (612) 673-2547.

□ Right of Way

- An encroachment permit shall be required for all streetscape elements in the Public right-of-way such as: plants & shrubs, planters, tree grates and other landscaping elements, sidewalk furniture (including bike racks and bollards), and sidewalk elements other than standard concrete walkways such as pavers, stairs, raised landings, retaining walls, access ramps, and railings (NOTE: railings may not extend into the sidewalk pedestrian area). Please contact Bob Boblett at (612) 673-2428 for further information.
- Note to the Applicant: Any elements of an earth retention system and related operations (such as construction crane boom swings) that fall within the Public right-of-way will require an encroachment permit application. If there are to be any earth retention systems which will extend outside the property line of the development

then a plan must be submitted showing details of the system. All such elements shall be removed from the Public right-of-way following construction with the exception of tie-backs which may remain but must be uncoupled and de-tensioned. Please contact Bob Boblett at (612) 673-2428 for further information.

- In addition, any elements of an earth retention system and related excavations that fall within the Public right-of-way will require a "Right-of-Way Excavation Permit". This permit is typically issued to the General Contractor just prior to the start of construction. However, it is the Applicant's responsibility to insure that all required permits have been acquired by its consultants, contractors, sub-contractor's prior to the start of work.
- The Project limits fall within the boundaries of the Downtown Improvement District (DID). Any improvements, modifications, and alterations to the streetscape are subject to the review and approval of the DID. Please contact Ben Shardlow at (612) 656-3830 for further information.

❑ Street Design

- The proposed driveway aprons on 4th St. S. and Marquette Ave are shown incorrectly with 10' radii; the Minneapolis standard driveway apron provides for a 5' radius (typically driveway apron radii are reduced to 2' in Downtown Minneapolis in order to maximize sidewalk pedestrian zone). All driveway aprons shall be designed and constructed to City standards. All driveway aprons shall be shown graphically correct on all related plan sheets. Please refer to the following: http://www.minneapolismn.gov/publicworks/plates/public-works_road.
- All curb & gutter in the Public right-of-way shall be designed and constructed to City standards, curb & gutter to be City standard B624 Curb and Gutter (Modified). Please refer to the following: http://www.minneapolismn.gov/publicworks/plates/public-works_road. Add the appropriate details from the ROAD-1000 Series - Curbs and Gutters (ROAD-1004, and ROAD-1010) to the plans.

❑ Sidewalk

- Planters and trees placement along 4th St. S. shall be considered carefully, shifted as far toward the curb as possible to maximize pedestrian through space to meet ADA guidelines and also achieve appropriate planter sizes for their proposed plantings. A minimum 8'-0" clear zone (un-obstructed) sidewalk shall be maintained for the length of any block in a straight line. For further clarification, site plans shall be fully dimensioned in relation to the property lines, Public right-of-way, sidewalks, street furniture, landscaping, utilities, and other obstructions. Sidewalk layouts and landscaping in the Public right-of-way shall follow the established design standards of Access Minneapolis; refer to the following: <http://www.minneapolismn.gov/publicworks/transplan/index.htm>
- The landscaping plans are confusing as they relate to proposed sidewalk shown elsewhere in the plans; the symbolism for proposed sidewalk depicted on Sheet C3 of the plans is different from the sidewalk pattern depicted on the Landscaping Plans (Sheet L1.10). The Applicant shall clarify the intent for proposed sidewalks, joint patterns, and other amenities, and depict them consistently throughout the plans. Note that minimum joint spacing of 4' is typical for Minneapolis standard sidewalk.
- Tree planting details shall be included in the plans. The Applicant shall provide engineered/structured soil in the form of a tree trench or tree pit for all proposed street trees. Sidewalk layouts and landscaping in the Public right-of-way shall follow established design standards; refer to the following: City of Minneapolis Urban Forest Policy (http://www.minneapolismn.gov/www/groups/public/@cped/documents/webcontent/convert_282934.pdf)
- Note to the Applicant: The current site plan correctly depicts the Nicollet Mall Re-design. The Applicant (and his consultants and contractors) shall continue Project coordination with the Nicollet Mall Project Manager - Rick Kreuser. Please add the following notes to the site plan:
- Prior to starting any work, please contact Rick Kreuser at (612) 673-3624 regarding Nicollet Mall reconstruction and Project Coordination.

❑ Traffic and Parking

- The nature of the proposed development is such that traffic impacts will be an issue; please contact Allan Klugman at (612) 673-2743 to discuss the requirements of a Travel Demand Management Plan (TDMP).
- Current ordinance states that all maneuvers associated with loading, parking or sanitation pick up for a private development shall occur on private property. Please provide a narrative explaining the trash removal operations and show turning maneuvers for all vehicles that will be using the loading dock/parking entrance areas. Per City Ordinance the Applicant shall provide for (and identify) a solid waste collection point (SWCP) on the site plans. The location of the SWCP is subject to the review and approval of the Public Works Department.
- The Applicant shall note the location of any existing Metro Transit "bus stops" on the site plan.
- Do we know if the bus lane on 4th is going to stay? As of right now your development does not have any curb space to be used for pick up/drop off or any sort of loading. These operations will have to be handled within the property lines of your site.
- Note to the Applicant: The construction of this development will likely require the use of Public right-of-way (roadway and sidewalks) for construction purposes. A request for an estimate of street use and obstruction permit fees can be made to the City's Traffic Department; please contact Scott Kramer at (612) 673-2383 for further information.
- Note to the Applicant: Please add the following notes to the site plan:
 - Street lighting installed as part of the Project shall be inspected by the City. Contractors shall arrange for inspections with the Traffic Department, please contact Dave Prehall at (612) 673-5759 for further information. Any lighting installations not meeting City specifications will be required to be reinstalled at Owner expense.
 - An obstruction permit is required anytime construction work is performed in the Public right-of-way. Please contact Scott Kramer at (612) 673-2383 regarding details of sidewalk and lane closures. Log on to <http://minneapolis.mn.roway.net/> for a permit.
 - Contact Allan Klugman at (612) 673-2743 prior to construction for the temporary removal/temporary relocation of any City of Minneapolis signal system that may be in the way of construction.
 - All costs for relocation and/or repair of City Traffic facilities shall be borne by the Contractor and/or Property Owner.
 - Contact Doug Maday at (612) 673-5755 prior to construction for the removal of any City of Minneapolis right of way signs that may be in the way of construction.

❑ Water

- The plan as submitted meets the requirements of the Public Works Water Maintenance & Distribution Division.

❑ Fire Safety

- Provide required fire suppression system throughout building.
- Fire department connection must be located on the address side of building and within 150 feet of a fire hydrant.
- Provide required fire alarm system throughout building.
- Meet all requirements for High-Rise buildings.
- Maintain fire apparatus access at all times.

❑ Business Licensing

- Continue to work with Matthew D. James (612) 673-2547 concerning a Food Plan Review, SAC determination and any Business License application submittal that may be required for this proposed project.

□ Environmental Health

- 315 Nicollet Mall had two 15,000 gallon underground fuel oil tanks removed in 1990. It was reported to the MPCA that the tanks had leaked and Leak Site number 2209 was assigned. Approximately 664 tons of soil was treated and the leak site was closed in 1994. It is not identified if groundwater was impacted or soil contamination remains. It is recommended the developer enroll in the Minnesota Pollution Control Agency Brownfield Remediation program and request a letter of no association for the site.
- In 1884 the Palace Building was built and subsequently demolished in 1961. The Sheraton-Ritz was built on the site and then demolished in 1990. City records indicated several oil burner permits over the life of these buildings. The two tanks removed in 1990 are part of this record. Additional tanks may still exist another structures abandoned during the demolition that may be discovered during this new construction.
- This includes two wells identified on site from City and State Records. The Palace building operated a commercial well site identified by UWN 200622 which was 510 feet deep. Its date of construction is unknown. A 102 foot monitoring well was constructed in 1989. The Minnesota Department of health Well Program and the Minnesota Geological Survey office have been contacted to identify if any sealing records exist. If no documentation has been filed the wells will need to be located a sealed as part of this development project. If the wells cannot be located an unlocatable well sealing variance will need to be obtained from the Minnesota department of health accompanied by documentation on efforts made to locate the abandoned wells.
- If dewatering is required during site construction see below for city permit requirements. Subgrade structures should be designed to prevent infiltration of groundwater without the need for a permanent dewatering system being installed. If a continuously operating permanent dewatering system is needed it must be approved as part of the sanitary sewer and storm drain site plan approval prior to construction beginning.
- No construction, demolition or commercial power maintenance equipment shall be operated within the city between the hours of 6:00 p.m. and 7:00 a.m. on weekdays or during any hours on Saturdays, Sundays and state and federal holidays, except under permit. Contact Environmental Services at (612) 673-3867 for permit information.
- Permits and approval are required from Environmental Services for the following activities: Temporary storage of impacted soils on site prior to disposal or reuse; Reuse of impacted soils on site; Dewatering and discharge of accumulated storm water or ground water, underground or aboveground tank installation or removal, well construction or sealing. Contact Tom Frame at (612) 673-5807 for permit applications and approvals.
- A review of the project, permits issued and an inspection from Environmental Service for identification of equipment and site operations that require annu

□ Historical Preservation Committee

- There is no HPC flag on this property. HPC review is not required at this time.

□ Sewer Design

- Stormwater Management: Please provide stormwater modeling and calculations demonstrating compliance with the stormwater treatment requirements of Chapter 54 of the Minneapolis Code of Ordinances. Please include stormwater models/calculations, BMP maintenance plans, and geotechnical reports.
- Please add the following note to the appropriate plan sheet: The Contractor, property owner or responsible party shall contact Minneapolis Surface Waters and Sewers 48 hours prior to any excavation or construction related to or in the location of the proposed Stormwater Management BMP (Contact Paul Chellsen, 673-2406 or paul.chellsen@minneapolismn.gov).
- Please add the following note to the appropriate plan sheet: Upon the project's completion the General Contractor, Property Owner or Responsible Party shall provide to the Department of Public Works a Final Stormwater Management Report including record drawings. This report will serve as a means of verification that the intent of the approved stormwater management design has been met. This final report shall substantiate that all aspects of the original design have been adequately provided for by the construction of the project.

- Future development of the remaining site would be considered phased or connected actions and also trigger the stormwater treatment requirements of Chapter 54 MCO.
- Utility Connections: The sanitary sewer connection locations should be coordinated with the proposed Nicollet Mall sanitary sewer project. Please continue to work with Jeremy Strehlo, (612) 673-3973, to coordinate connection locations, timing and methods.
- Please provide justification for the sizing of the proposed 12" sanitary connections. The size of the connections should be minimized as much as possible, while providing sufficient capacity based on expected flows.
- The proposed storm sewer connection should be routed within the property instead of within the right-of-way along Nicollet Mall (STMH 1 to the existing City drill hole).
- Additional comments on the proposed storm sewer connection may be provided upon submittal and review of the requested stormwater management report.
- Non Stormwater Discharges: Detail all mechanical and non-stormwater discharges. Non-stormwater discharges are not permitted unless approved by the City of Minneapolis. Non-stormwater discharges not declared and approved will not be permitted. If there currently are none and nothing is proposed declare this status on the plans.
- For comments or questions on Public Works Surface Water & Sewers Division related requirements please contact Jeremy Strehlo, (Professional Engineer) at (612) 673-3973, or jeremy.strehlo@minneapolismn.gov.

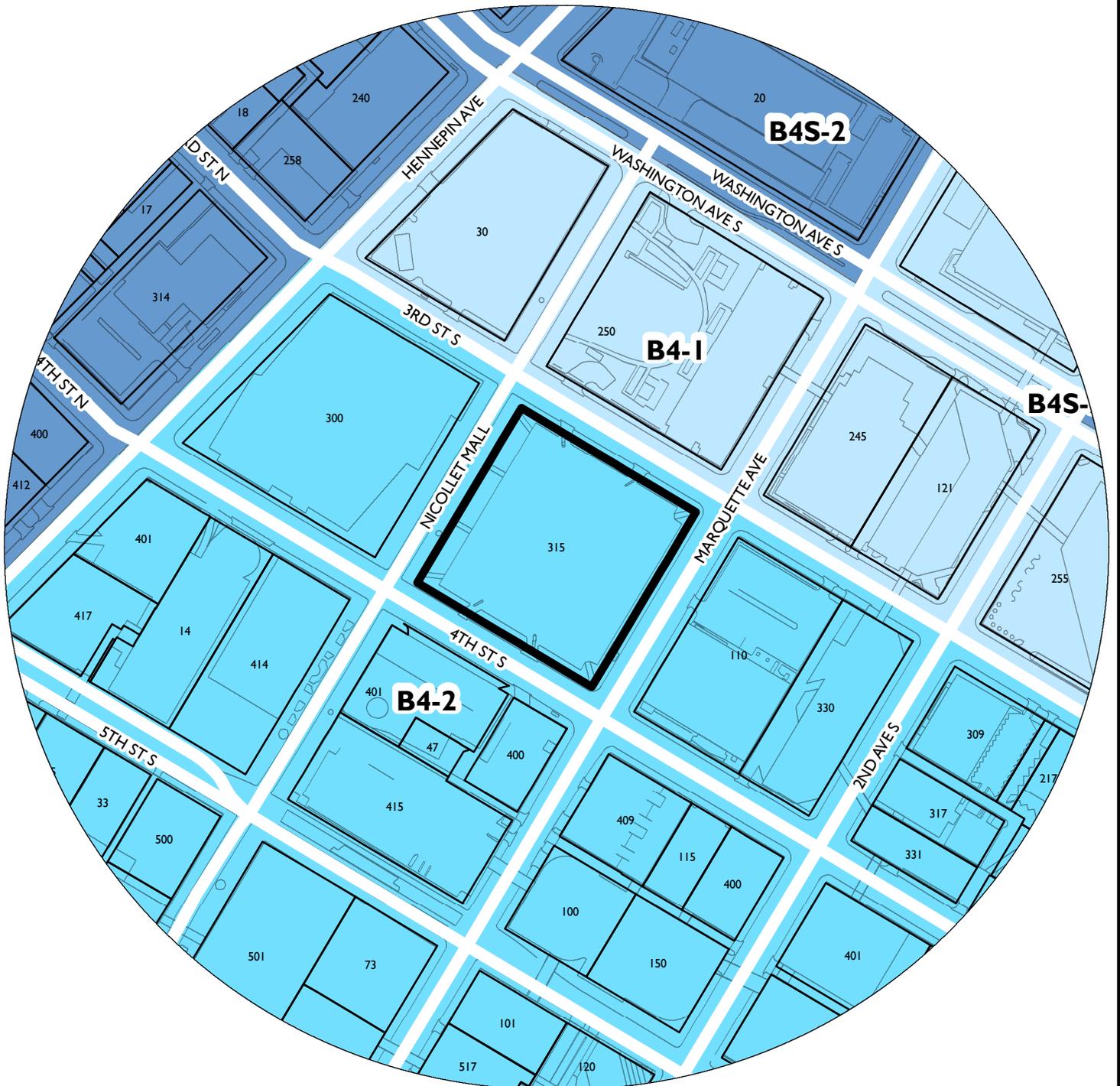
□ Construction Code Services

- Project should schedule a preliminary plan review meeting at such time that a code review and code plans have been developed.
- A Service Availability Charge (SAC) determination will need to be submitted to the Metropolitan Council for the proposed project. Please refer to this link for more information or Contact Karon Cappaert at 651-602-1118 or karon.cappaert@metc.state.mn.us.
http://www.ci.minneapolis.mn.us/mdr/docs/sac_availability_charge.pdf.

END OF REPORT

NAME OF APPLICANT

WARD



PROPERTY ADDRESS
315 Nicollet Mall

FILE NUMBER
BZZ-7308

360 NICOLLET

Minneapolis, Minnesota
10 JULY 2015



Opus AE Group, LLC.
1550 Hennepin Ave. Suite 200
Minneapolis, MN 55402-9119
612-339-4444

Opus Design Build, LLC.
1550 Hennepin Ave. Suite 200
Minneapolis, MN 55402-9119
612-339-4444



Westwood
1550 Hennepin Ave. Suite 200
Minneapolis, MN 55402-9119
612-339-4444



CONFLUENCE
1550 Hennepin Ave. Suite 200
Minneapolis, MN 55402-9119
612-339-4444

PROJECT
360 NICOLLET

LOCATION
MINNEAPOLIS, MN

PROJECT NUMBER
30550

ISSUE RECORD
7/10/15 FOR SUBMITTAL
7/10/15 LIA SUBMITTAL



PROJECT DATA

360 NICOLLET
Minneapolis, Minnesota

Level	Use	Construction GSF	Total GSF	Parking GSF	Retail GSF	Off. GSF	Net (SqFt)	Ex. Deck GSF	Tenant Storage	App. RSH	Common Area	Subarea GSF	Parking (Units)	Green Space	Trucks	1-End	2-End	3-End	Other
At. Penthouse		2,567	2,567			2,567	712												
Level 30	A	33,200	22,875			33,200	1,115			14,348	1,753	2,400				3	3	1	0
Level 29	A	33,200	22,875			33,200	1,115			14,320	1,761	2,393				5	5	1	0
Level 28	A	33,214	22,875			33,214	1,118			14,328	1,764	2,398				2	5	1	0
Level 27	A	33,287	22,875			33,287	1,118			14,328	1,760	2,348				5	5	1	0
Level 26	A	33,977	22,875			33,977	1,118			14,328	1,764	2,348			2	8	6		10
Level 25	A	33,975	22,875			33,962	1,177			14,299	1,773	1,896			2	8	6		10
Level 24	A	33,730	22,875			33,767	1,177			14,299	1,773	1,896			2	8	6		10
Level 23	A	33,948	22,875			33,962	1,177			14,299	1,773	1,897			2	8	6		10
Level 22	A	33,948	22,875			33,967	1,177			14,299	1,773	1,897			2	8	6		10
Level 21	A	33,724	22,875			33,762	1,177			14,299	1,773	1,895			2	8	6		10
Level 20	A	33,975	22,875			33,858	1,196			14,292	1,761	1,896			2	8	6		10
Level 19	A	33,735	22,875			33,753	1,186			14,212	1,741	1,906			2	8	6		10
Level 18	A	33,940	22,875			33,853	1,186			14,252	1,741	1,897			2	8	6		10
Level 17	A	33,940	22,875			33,853	1,186			14,212	1,741	1,897			2	8	6		10
Level 16	A	33,734	22,875			33,803	1,186			14,282	1,741	1,935			2	8	6		10
Level 15	A	33,975	22,875			33,853	1,186			14,252	1,741	1,896			2	8	6		10
Level 14	A	33,735	22,875			33,853	1,186			14,232	1,741	1,906			2	8	6		10
Level 13	A	33,940	22,875			33,853	1,186			14,252	1,741	1,897			2	8	6		10
Level 12	A	33,940	22,875			33,853	1,186			14,252	1,741	1,897			2	8	6		10
Level 11	A	33,734	22,875			33,853	1,186			14,252	1,741	1,935			2	8	6		10
Level 10	A	33,975	22,875			33,840	1,186			14,176	1,771	1,896			2	8	6		10
Level 9	A	33,735	22,875			33,695	1,184			14,176	1,771	1,896			2	8	6		10
Level 8	A	33,940	22,875			33,695	1,184			14,176	1,771	1,897			2	8	6		10
Level 7	A	33,940	22,875			33,680	1,184			14,176	1,771	1,897			2	8	6		10
Level 6	A/R	33,922	18,940			33,832	1,708	18,427		8,965	9,87	2,155		1	4	1	1		6
Level 5	PS, S	30,248	38,857	39,941		1,247	1,912		3,758	81	391	72							2
Level 4	PS, S	30,248	38,857	33,088		1,247	1,912		429	2,376	81	391	90						2
Level 3	PS, S	30,248	38,857	33,088		1,247	1,912		429	2,376	81	391	90						2
Level 2	LS	30,890	30,409	32,971		1,794	2,422		308		5,94	391	80						2
Level #1	F	14,170	13,641	350							30		13						
Level 1	A/R/S	39,302	39,302	11,234	9,939	18,435	2,054				16,115		32						
Total		708,639	942,780	333,682	9,939	438,136	49,794	18,427	6,703	356,194	74,619	47,432	287	1	40	178	147	1	208
A - Amenity	P - Parking	R - Residential	Re - Retail	S - Storage															

SHEET INDEX

SHEET NUMBER	SHEET NAME	FOR	LUA
TL1	TELEPHONES	A	X
ARCHITECTURAL			
AS.1	ARCHITECTURAL SITE PLAN	A	X
AS.1	FLOOR PLAN LEVEL 1	A	X
AS.2	FLOOR PLAN LEVEL 2	A	X
AS.3	FLOOR PLAN LEVEL 3	A	X
AS.4	FLOOR PLAN LEVELS 3A	A	X
AS.5	FLOOR PLAN LEVEL 5	A	X
AS.5	FLOOR PLAN LEVEL 6	A	X
AS.7	FLOOR PLAN LEVELS 3AB	A	X
AS.8	FLOOR PLAN LEVEL 21B	A	X
AS.9	MECHANICAL PENTHOUSE & ROOF PLAN	A	X
AS.1	SCHEMATIC ELEVATION	A	X
AS.2	NORTH ELEVATION	A	X
AS.3	EAST/WEST ELEVATIONS	A	X
AS.4	PERSPECTIVE VIEW	A	X
LANDSCAPE			
LS.1	EXISTING LANDSCAPE	A	X
LS.10	PROPOSED LANDSCAPE PLAN	A	X
OML			
OS	OML COVER SHEET	A	X
OS	BOUNDARY SURVEY & EXISTING CONDITIONS	A	X
OS	REMARKS PLAN	A	X
OS	SITE LAY	A	X
OS	OPENING DRAINAGE & EROSION CONTROL PLAN	A	X
OS	UTILITY PLAN	A	X
OS	DETAILS	A	X
OS	DETAILS	A	X
REFERENCE			
RL1	SITE PHOTOS		X
RL2	SHADOW & CONTEXT STUDIES		X

PROJECT LOCATION



VCINITY



SITE LOCATION

DATE
07/10/15

PROJECT NUMBER
ID

ISSUED BY
PCL, PNL, JF

CREATED BY
SK

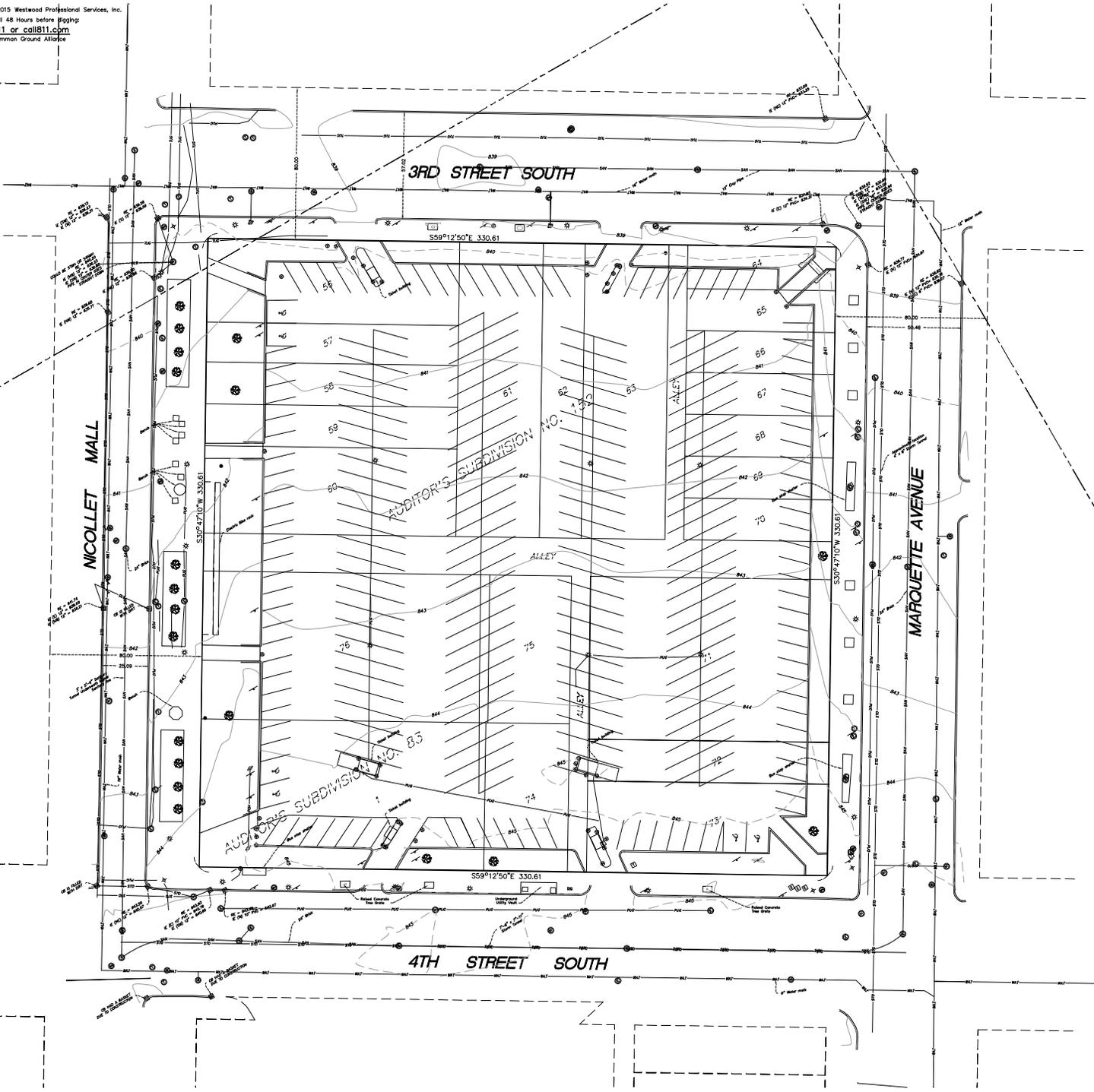
REVISION

SHEET NO.

TITLE SHEET

SHEET NUMBER

©2015 Westwood Professional Services, Inc.
 Call 48 Hours before Piling:
811 or call 811.cpm
 Common Ground Alliance



- Legend**
- | | |
|-----------------------|-------------------------|
| ○ BUSH/SHRUB | ⊗ STORM MANHOLE |
| ⊙ CONIFEROUS TREE | □ TELEPHONE BOX |
| ⊙ DECEADOUS TREE | ⊙ TELEPHONE MANHOLE |
| ⊙ WETLAND | ⊠ TRAFFIC CONTROL BOX |
| — SIZED WOOD POST | ⊠ HAND HOLE |
| — SIGN-TRAFFIC/OTHER | ⊠ TRAFFIC LIGHT |
| — SIGN-TRAFFIC/OTHER | ⊠ GATE VALVE |
| ⊠ MAIL BOX | ⊠ HYDRANT |
| ⊠ HANDICAPPED STALL | ⊠ WATER METER |
| ⊠ PERC REST | ⊠ CURB STOP BOX |
| ⊠ MONITORING WELL | ⊠ WATER MANHOLE |
| ⊠ CABLE TV BOX | ⊠ WELL |
| ⊠ GAS METER | — CABLE TV |
| ⊠ STREET LITE | — GAS LINE |
| — GUY WIRE | — POWER OVERHEAD |
| — POWER POLE | — POWER UNDERGROUND |
| ⊠ ELECTRIC BOX | — SANITARY SEWER |
| ⊠ ELECTRIC METER | — STORM SEWER |
| ⊠ ELECTRIC MANHOLE | — TELEPHONE OVERHEAD |
| ⊠ ELECTRIC TOWER | — TELEPHONE UNDERGROUND |
| ⊠ SANITARY MANHOLE | — WATERMAIN |
| ⊠ SEWER CLEANOUT | — FENCE LINE |
| ⊠ REEDING CATCH BASIN | — DECIDUOUS TREE LINE |
| ⊠ CATCH BASIN | — CONIFEROUS TREE LINE |
| ⊠ FLARED END SECTION | — CURB & GUTTER |
- Denotes 1/2 inch by 14 inch iron monument set and marked by License No. 43533
 ● Denotes found iron monument

Property Description per Hennepin Co. Tax Records

Lots 66 to 76 inclusive, AUDITORS SUBDIVISION NO. 152 and Lot 1, AUDITORS SUBDIVISION NO. 83, including adjacent wooded area.



Opus AE Group, LLC.
 10002 Brinn Road
 Minneapolis, MN
 55438-4444
 Opus Design Build, LLC.
 10002 Brinn Road
 Minneapolis, MN
 55438-4444



PROJECT
360 Nicollet

LOCATION
Minneapolis, Minnesota
 PROJECT NUMBER
 0006276.00

ISSUE RECORD

07/10/15 PDR SUBMITTAL
 07/10/15 LUA SUBMITTAL

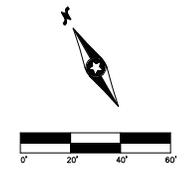
DATE
07/15/15
 PROJECT MANAGER
Chris D. Mead
 DRAWN BY
DMW
 CHECKED BY
MMB

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

SCALE: N. 8/16
 DATE: 07/15/15 Sheet No. 48853

Boundary Survey & Existing Conditions

SHEET NUMBER



GENERAL NOTES:

PRIOR TO STARTING ANY WORK,
PLEASE CONTACT RICK KREUSER
AT (612) 673-3624 REGARDING
NICOLLET MALL RECONSTRUCTION
AND PROJECT COORDINATION

SURFACE PARKING LOT

CANCER SURVIVOR'S PARK

MARQUETTE PLAZA

TCF FINANCIAL

THE CROSSINGS
CONDOMINIUMS

3RD STREET SOUTH

MARQUETTE AVENUE

4TH STREET SOUTH

MINNEAPOLIS
PUBLIC LIBRARY

SURFACE PARKING LOT

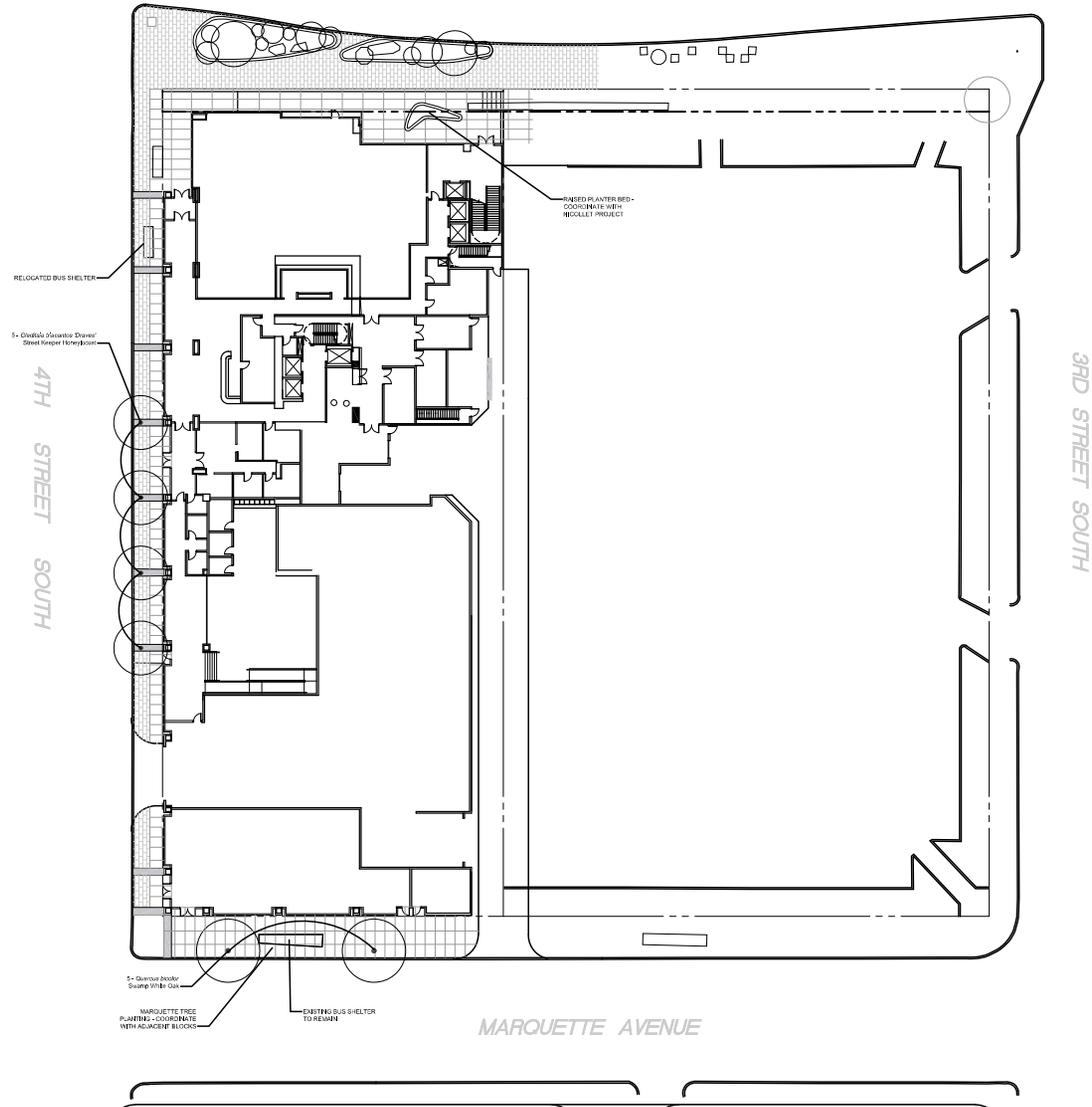
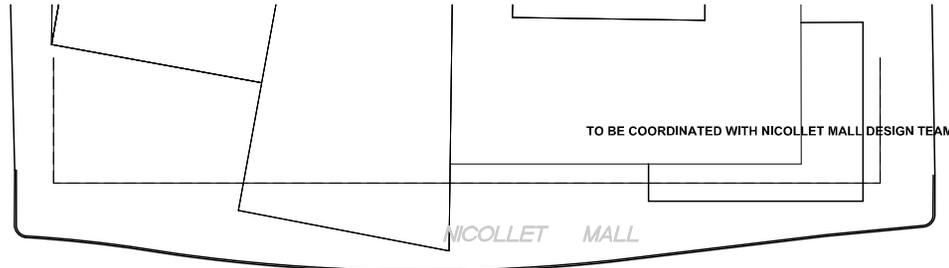
FAMILY JUSTICE
CENTER

EXISTING XCEL
BUILDING

FUTURE XCEL BUILDING

FUTURE TOWER

STRUCTURED
PARKING



TREE PLANTING LEGEND:

PROPOSED TREES:

- 5 - *Gladiolus triacanthos* 'Draves' - Street Keeper Honeylocust
- 3 - *Quercus bicolor* - Swamp White Oak

PLANTING NOTES:

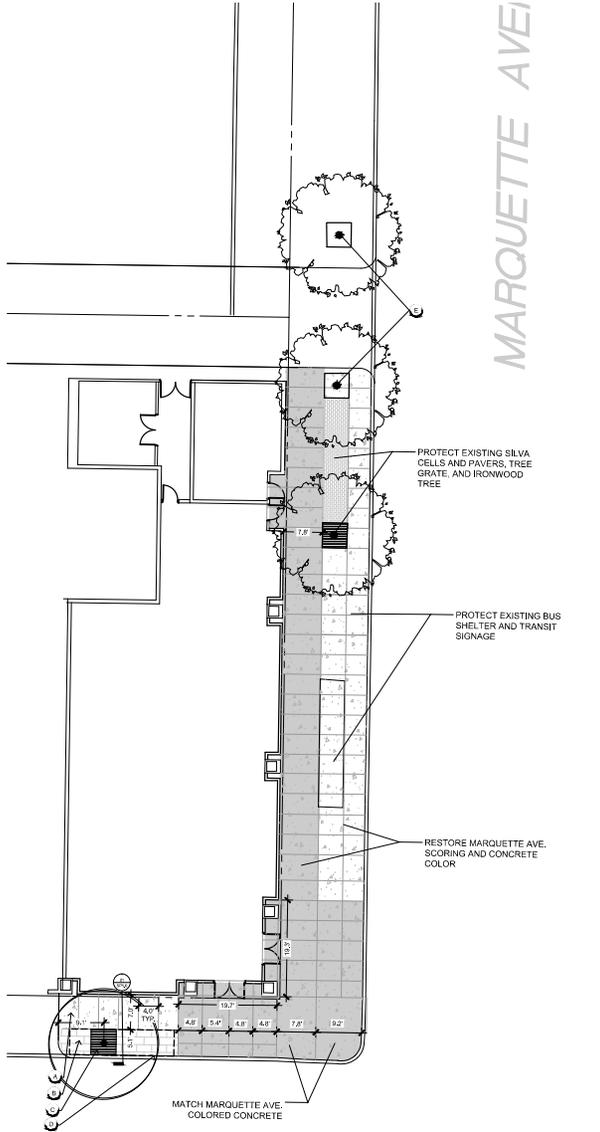
1. SOD ALL AREAS WITHIN CONTRACT LIMITS, NOT COVERED BY PAVING, BUILDINGS, OR PLANTING BEDS, UNLESS OTHERWISE NOTED.
2. PLANT QUANTITIES ARE FOR INFORMATION ONLY; DRAWING SHALL PREVAIL IF CONFLICT OCCURS.
3. NOTIFY LANDSCAPE ARCHITECT AFTER STAKING IS COMPLETED AND BEFORE PLANT PITS ARE EXCAVATED.
4. CONTRACTOR SHALL PLACE SHREDDDED BARK MULCH AROUND ALL TREES AND IN ALL PLANTING BEDS TO A DEPTH OF 3".
5. KIND, SIZE AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO AMERICAN STANDARDS FOR NURSERY STOCK, ANSI Z66-1992, OR MOST RECENT EDITION.
6. THE CONTRACTOR SHALL REPORT SUBSURFACE SOIL OR DRAINAGE PROBLEMS TO THE LANDSCAPE ARCHITECT.
7. THE CONTRACTOR SHALL SHOW PROOF OF PROCUREMENT, SOURCES, QUANTITIES AND VARIETIES FOR ALL SHRUBS, PERENNIALS, ORNAMENTAL GRASSES, AND ANNUALS WITHIN 21 DAYS FOLLOWING THE AWARD OF CONTRACT. TIMELY PROCUREMENT OF ALL PLANT MATERIAL IS ESSENTIAL TO THE SUCCESSFUL COMPLETION AND INITIAL ACCEPTANCE OF THE PROJECT.
8. SUBSTITUTIONS SHALL ONLY BE ALLOWED WHEN THE CONTRACTOR HAS EXHAUSTED ALL SOURCES FOR THE SPECIFIED MATERIAL, AND HAS PROVEN THAT THE SPECIFIED MATERIAL IS NOT AVAILABLE. THE CONTRACTOR MUST PROVIDE NAME AND VARIETY OF SUBSTITUTION TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO TAGGING OR PLANTING. SUBSTITUTIONS SHALL BE NEAREST EQUIVALENT SIZE OR VARIETY OF PLANT HAVING SAME ESSENTIAL CHARACTERISTICS.
9. ALL PLANT MATERIAL SHALL BE NURSERY GROWN, SOUND, HEALTHY, VIGOROUS AND FREE FROM INSECTS, DISEASE AND INJURIES WITH HABIT OF GROWTH THAT IS NORMAL FOR THE SPECIES. SIZES SHALL BE EQUAL TO OR EXCEEDING SIZES INDICATED ON THE PLANT LIST. THE CONTRACTOR SHALL SUPPLY PLANTS IN QUANTITY AS SHOWN ON THE DRAWINGS.
10. STAKE OR PLACE ALL PLANTS IN FIELD AS INDICATED ON THE DRAWINGS OR AS DIRECTED BY THE LANDSCAPE ARCHITECT FOR APPROVAL BY THE OWNER PRIOR TO PLANTING.

GENERAL NOTES:

1. BOUNDARY AND EXISTING TREE INFORMATION TAKEN FROM SURVEY ARE PREPARED BY WESTWOOD, 1620 ANNOGRAM DRIVE, EDEN PRairie, MN 55344.
2. TREE PLANTING AND LANDSCAPING ALONGS NICOLLET AVE. TO BE COORDINATED WITH NICOLLET MALL RENOVATION.
3. ZONING CODE (303.03(B)) STATES THAT ANY BUILDING CONTAINING FIFTY THOUSAND(50,000) S.F. OR MORE OF GROSS FLOOR AREA LOCATED IN THE DOWNTOWN DISTRICTS SHALL BE EXEMPT FROM THE LANDSCAPING AND SCREENING REQUIREMENTS SHALL APPLY.

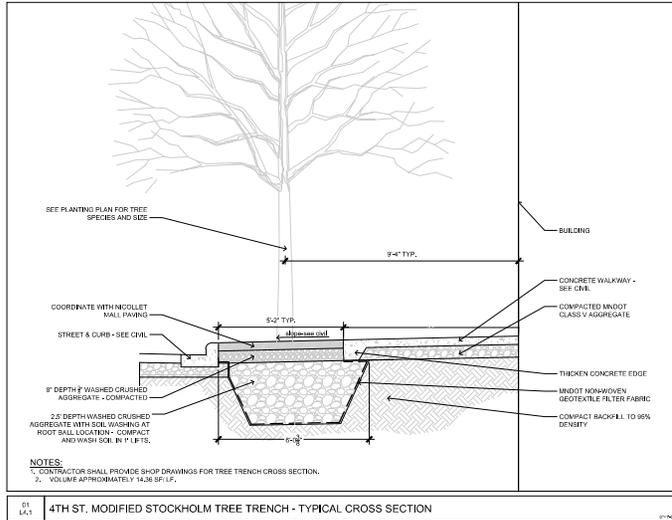
- TREE PLANTING LEGEND:**
- PRESERVE OR REPLACE EXISTING TREES ON MARQUETTE
 - PROPOSED TREES
6 - Girigo 18030 "Princeton Sentry" - Princeton Sentry Girigo
 - NICOLLET MALL PAVING - COORDINATE WITH DESIGN TEAM

- LANDSCAPE ENLARGEMENT KEYNOTE LEGEND:**
- PRIVATE CONCRETE PAVING - TYP.
 - NICOLLET AVE. PAVING - COORDINATE EXTENTS WITH NICOLLET DESIGN TEAM
 - ALUMINUM ADA TREE GRATE - 5/8" TYP. SIDE - SEE DETAIL 04.4.1
 - MODIFIED STOCKHOLM TREE TRENCH - SEE DETAIL 04.4.1
 - REMOVE AND REPLACE MARQUETTE TREES IN SILVA CELLS

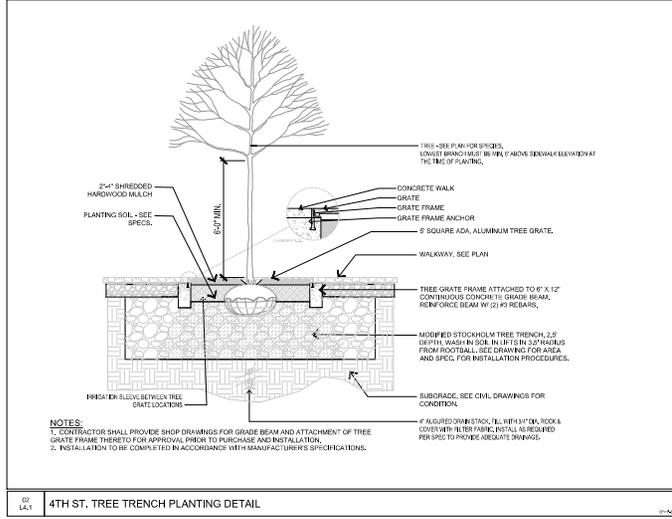


01 LANDSCAPE ENLARGEMENT - MARQUETTE SCALE: 1"=10'

MARQUETTE AVE



01 4TH ST. MODIFIED STOCKHOLM TREE TRENCH - TYPICAL CROSS SECTION



02 4TH ST. TREE TRENCH PLANTING DETAIL



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PROJECT
365 NICOLLET

LOCATION
MINNEAPOLIS, MN

PROJECT NUMBER
30550

ISSUE RECORD
7/10/15 FOR SUBMITTAL
7/10/15 LIA SUBMITTAL
08/03/15 FOR RESUBMITTAL
08/03/15 LIA RESUBMITTAL

DATE
08/03/2015

PROJECT NUMBER
LEITH DOWNS

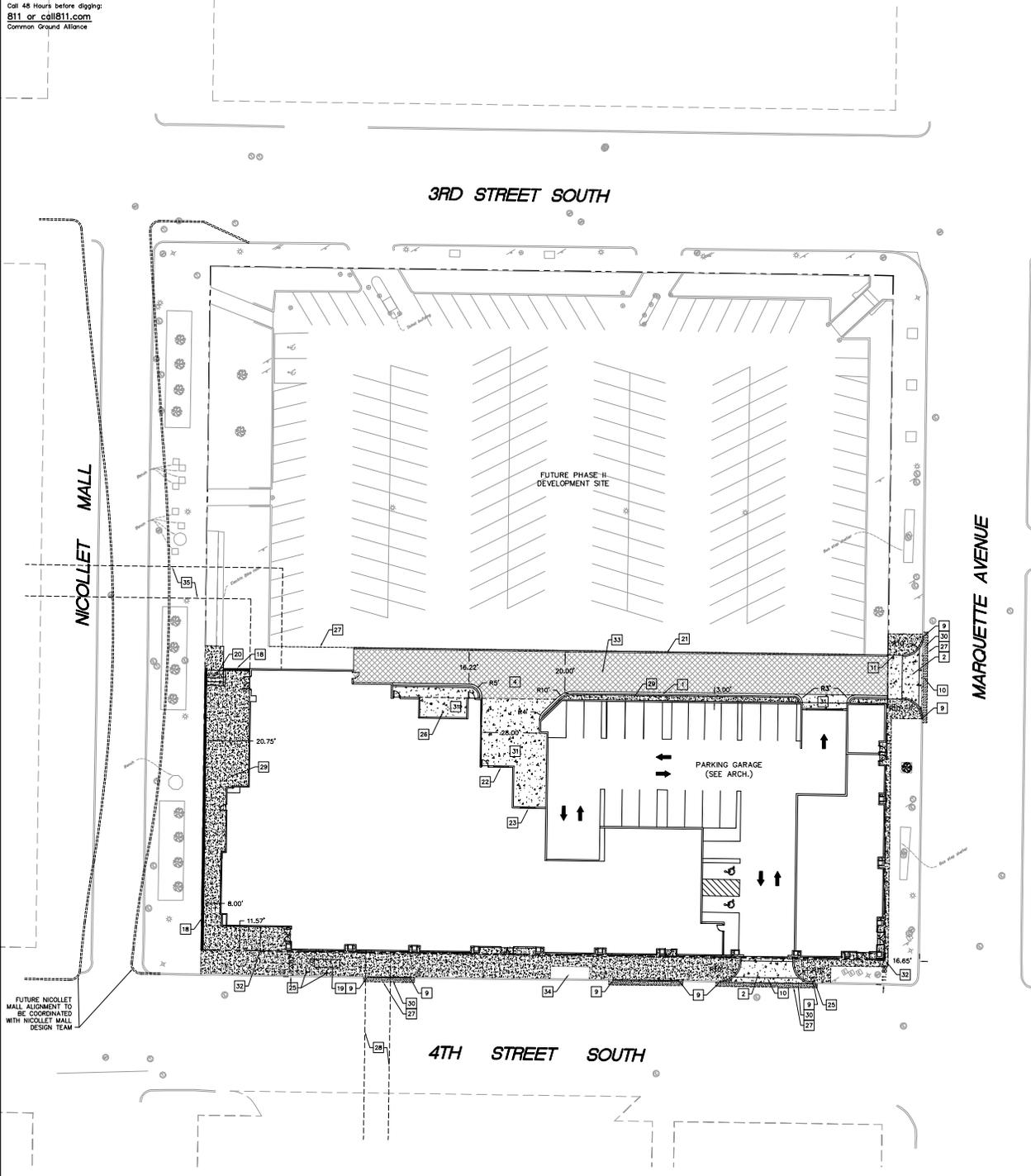
DRAWN BY
SA

CHECKED BY
TM

REGISTRATION

SHEET TITLE
LANDSCAPE ENLARGEMENT AND DETAILS

SHEET NUMBER



General Site Notes

- BACKGROUND INFORMATION FOR THIS PROJECT PROVIDED BY WESTWOOD PROFESSIONAL SERVICES.
- LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. IF ANY DISCREPANCIES ARE FOUND, THE ENGINEER SHOULD BE NOTIFIED IMMEDIATELY.
- REFER TO BOUNDARY SURVEY FOR LOT BEARINGS, DIMENSIONS AND AREAS.
- ALL DIMENSIONS ARE TO FACE OF CURB OR EXTERIOR FACE OF BUILDING UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND LOCATIONS OF EXITS, RAMPS, AND TRUCK DOCKS.
- ALL CURB RADI ARE SHALL BE 3.0 FEET (TO FACE OF CURB) UNLESS OTHERWISE NOTED.
- ALL CURB AND GUTTER SHALL BE B612 UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGGERS AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE CITY AND ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MNDOT STANDARDS.
- BITUMINOUS PAVEMENT AND CONCRETE SECTIONS TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
- CONTRACTOR SHALL MAINTAIN FULL ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES.
- SITE LIGHTING SHOWN ON PLAN IS FOR REFERENCE ONLY. REFER TO LIGHTING PLAN PREPARED BY OTHERS FOR SITE LIGHTING DETAILS AND PHOTOMETRICS.
- SNOW TO BE REMOVED OFF SITE.

Signage and Striping Notes

- PARKING LOT STRIPING SHALL BE 4" WIDE COLOR WHITE, TWO COATS OF PAINT. CONTRACTOR SHALL PAINT ANY/ALL DIRECTIONAL TRAFFIC ARROWS AS SHOWN IN WHITE (TWO COATS).
- ACCESSIBLE PARKING PROVIDED PER ADA CODE. CONTRACTOR SHALL PAINT ALL ACCESSIBLE STALLS, ACCESSIBLE LOGOS AND CROSS HATCH ACCESSIBLE LOADING AISLES WITH BLUE PAVEMENT MARKING PAINT (TWO COATS).
- ALL SIGNS SHALL INCLUDE POST, CONCRETE FOOTING AND CASING WHERE REQUIRED. CONCRETE CASING REQUIRED IN LOCATIONS WHERE POST IS NOT PROTECTED BY CURB.
- ALL STOP SIGNS SHALL INCLUDE A 24" WIDE PAINTED STOP BAR IN WHITE PAINT (TWO COATS) PLACED AT THE STOP SIGN LOCATION, A MINIMUM OF 4' FROM CROSSWALK. ALL STOP BARS SHALL EXTEND FROM DIRECTIONAL TRANSITION BETWEEN LANES TO THE CURB.
- ALL SIGNS SHALL BE PLACED 18" BEHIND THE BACK OF CURB UNLESS OTHERWISE NOTED.

Site Development Summary

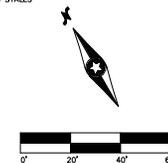
PROPERTY AREA:	2.510 AC
PERVIOUS SURFACE:	0.299 AC (INCLUDES GREEN ROOF)
IMPERVIOUS SURFACE(RATIO):	2.210 AC

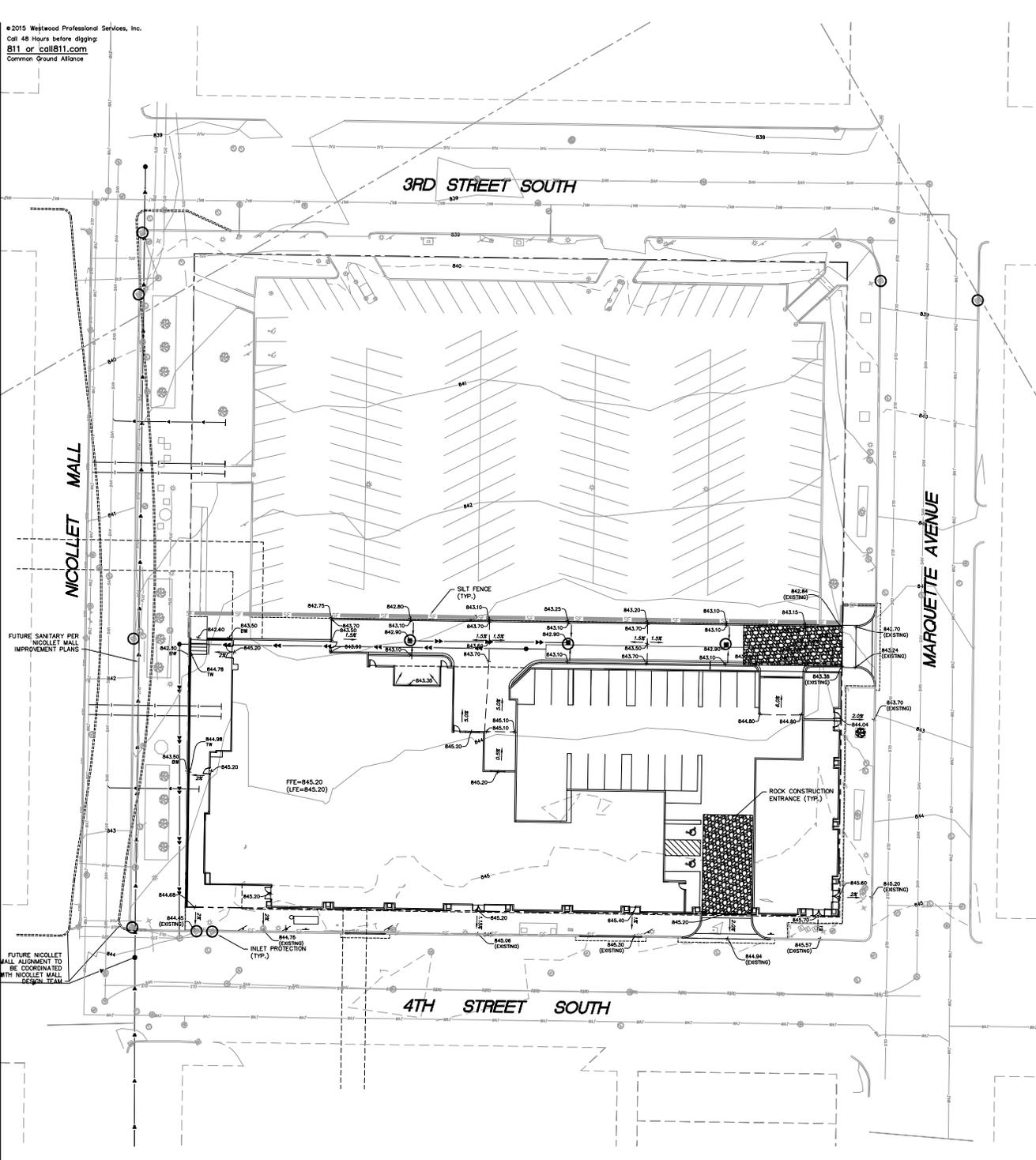
1) Site Notes

- B612 CURB & GUTTER
- TYPICAL DRIVEWAY (SEE ROAD-2001)
- ACCESSIBLE PARKING LOGO, STRIPING, & SIGNAGE (TYP)
- HEAVY DUTY BITUMINOUS PAVEMENT
- TYPICAL PUBLIC SIDEWALK (SEE ROAD-2003)
- TREE GRATE (TYP - SEE LANDSCAPE PLAN)
- 4" WHITE STROPE (TYP)
- 4" WHITE DIAGONAL STRIPE
- MATCH INTO EXISTING CURB & GUTTER
- MATCH INTO EXISTING PAVEMENT
- MATCH INTO EXISTING CONCRETE (WALK OR DRIVE)
- SAWCUT & MATCH INTO EXISTING BITUMINOUS
- STOP SIGN
- PRIVATE SIDEWALK
- PUBLIC PEDESTRIAN CURB RAMP
- RETAINING WALL AND HANDRAIL (SEE ARCH.)
- RELOCATED BUS STOP AND SOLAR PANEL (COORDINATE WITH METRO TRANSIT AND THE CITY)
- STARS (SEE ARCH.)
- BITUMINOUS CURB (TEMPORARY)
- TRASH ENTRANCE
- SERVICE ENTRANCE
- RELOCATED LIGHT PER CITY STANDARDS
- INSTALL SALVAGED SIGN
- GENERATOR PAD
- SAW CUT LINE (TYP.)
- PROPOSED SKYWAY (SEE ARCH.)
- PRIVATE SIDEWALK (TYP.)
- BITUMINOUS (MATCH EXISTING)
- HEAVY DUTY CONCRETE (TYP.)
- BUILDING OVERHANG (TYP.)
- PROPOSED LOT LINE
- EXCEL ENERGY VAULT
- FUTURE SKYWAY (SEE ARCH.)

Site Legend

EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	LOT LINE
---	---	SETBACK LINE
---	---	EASEMENT LINE
---	---	CURB AND GUTTER
---	---	POND NORMAL WATER LEVEL
---	---	RETAINING WALL
---	---	FENCE
---	---	SAW CUT LINE
---	---	CONCRETE PAVEMENT
---	---	CONCRETE SIDEWALK
---	---	HEAVY DUTY BITUMINOUS PAVEMENT
---	---	STANDARD DUTY BITUMINOUS PAVEMENT
---	---	NUMBER OF PARKING STALLS
---	---	TRANSFORMER
---	---	SITE LIGHTING
---	---	TRAFFIC SIGN
---	---	POWER POLE
---	---	BOLLARD / POST





Grading Notes

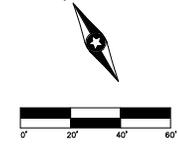
1. LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
2. CONTRACTORS SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULE, SLOPED PAVEMENT, EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY ENTRANCE LOCATIONS, AND EXACT LOCATIONS AND NUMBER OF DOWNPOUTS.
3. ALL EXCAVATION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR TRENCH EXCAVATION AND BACKFILL/SURFACE RESTORATION" BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA.
4. ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL AND SOO OR SEED. THESE AREAS SHALL BE WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. SEE LANDSCAPE PLAN FOR PLANTING AND TURF ESTABLISHMENT.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN, AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROVED MINISTO STANDARDS.
6. ALL SLOPES SHALL BE GRADED TO 3:1 OR FLATTER, UNLESS OTHERWISE INDICATED ON THIS SHEET.
7. CONTRACTOR SHALL UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING AND PROVIDE A SMOOTH FINISHED SURFACE WITH UNIFORM SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE SHOWN OR BETWEEN SUCH POINTS AND EXISTING GRADES.
8. SPOT ELEVATIONS SHOWN INDICATE FINISHED PAVEMENT ELEVATIONS & GUTTER FLOW LINE UNLESS OTHERWISE NOTED. PROPOSED CONTOURS ARE TO FINISHED SURFACE GRADE.
9. SEE SOILS REPORT FOR PAVEMENT THICKNESSES AND HOLD DOINGS.
10. CONTRACTOR SHALL DISPOSE OF ANY EXCESS SOIL MATERIAL THAT EXISTS AFTER THE SITE GRADING AND UTILITY CONSTRUCTION IS COMPLETED. THE CONTRACTOR SHALL DISPOSE OF ALL EXCESS SOIL MATERIAL IN A MANNER ACCEPTABLE TO THE OWNER AND THE REGULATING AGENCIES.
11. CONTRACTOR SHALL PROVIDE A STRUCTURAL RETAINING WALL DESIGN CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER.
12. ALL CONSTRUCTION SHALL CONFORM TO LOCAL, STATE AND FEDERAL RULES INCLUDING THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS.
13. PRIOR TO PLACEMENT OF ANY STRUCTURE OR PAVEMENT, A PROOF ROLL, AT MINIMUM, WILL BE REQUIRED ON THE SUBGRADE. PROOF ROLLING SHALL BE ACCOMPLISHED BY MAKING MINIMUM OF 2 COMPLETE PASSES WITH FULLY-LOADED TANDER-AXE BUMP TRUCK, OR APPROVED EQUAL, IN EACH OF 2 PERPENDICULAR DIRECTIONS WHILE UNDER SUPERVISION AND DIRECTION OF THE INDEPENDENT TESTING LABORATORY. AREAS OF FAILURE SHALL BE EXCAVATED AND RECOMPACTED AS SPECIFIED HEREIN.
14. EMBANKMENT MATERIAL PLACED BENEATH BUILDINGS AND STREET OR PARKING AREAS SHALL BE COMPACTED IN ACCORDANCE WITH THE SPECIFIED DENSITY METHOD AS OUTLINED IN MINOT 2100.3F1 AND THE REQUIREMENTS OF THE GEOTECHNICAL ENGINEER.
15. EMBANKMENT MATERIAL NOT PLACED IN THE BUILDING PAD, STREETS OR PARKING AREA, SHALL BE COMPACTED IN ACCORDANCE WITH REQUIREMENTS OF THE ORDINARY COMPACTION METHOD AS OUTLINED IN MINOT 2100.3F2.
16. ALL SOILS AND MATERIALS TESTING SHALL BE COMPLETED BY AN INDEPENDENT GEOTECHNICAL ENGINEER. EXCAVATION FOR THE PURPOSE OF REMOVING UNSTABLE OR UNSATISFACTORY SOILS SHALL BE COMPLETED AS REQUIRED BY THE GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOILS TESTS AND INSPECTIONS WITH THE GEOTECHNICAL ENGINEER.

Erosion Control Notes

1. SILT FENCE WILL BE INSTALLED AROUND SITE IN ALL FILL AREAS AND LOCATIONS WHERE STORM WATER RUNOFF MAY LEAVE THE SITE PRIOR TO ANY EXCAVATION/CONSTRUCTION ACTIVITIES.
2. ROCK CONSTRUCTION ENTRANCE WILL BE INSTALLED AT ALL CONSTRUCTION ENTRANCES.
3. SILTATION AND EROSION CONTROL - THE CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY FOR CONTROLLING ALL SILTATION AND EROSION OF THE PROJECT AREA. THE CONTRACTOR SHALL USE WHATEVER MEANS NECESSARY TO CONTROL THE EROSION AND SILTATION INCLUDING BUT NOT LIMITED TO CATCH BASIN, INSERTS, ROCK CONSTRUCTION ENTRANCES, EROSION CONTROL BLANKET, AND SILT FENCE. CONTROL SHALL COMMENCE WITH GRADING AND CONTINUE THROUGHOUT THE PROJECT UNTIL ACCEPTANCE OF THE WORK BY THE OWNER. THE CONTRACTOR'S RESPONSIBILITY INCLUDES ALL IMPLEMENTATION AS REQUIRED TO PREVENT EROSION AND THE DEPOSITING OF SILT. THE OWNER MAY DIRECT THE CONTRACTOR'S METHODS AS DEEMED FIT TO PROTECT PROPERTY AND IMPROVEMENTS. ANY DEPOSITION OF SILT OR MUD ON NEW OR EXISTING PAVEMENT OR IN EXISTING STORM SEWERS OR SWALES SHALL BE REMOVED AFTER EACH RAIN AFFECTED AREAS SHALL BE CLEANED TO THE SATISFACTION OF THE OWNER, ALL AT THE EXPENSE OF THE CONTRACTOR. ALL TEMPORARY EROSION CONTROL SHALL BE REMOVED BY THE CONTRACTOR AFTER THE TURF IS ESTABLISHED.
4. CONTRACTOR SHALL INSTALL TEMPORARY INLET PROTECTION (RMCO OR EQUIVALENT) AROUND ALL CATCH BASIN GRATE INLETS, AFFECTED BY THIS CONSTRUCTION.
5. ALL DISTURBED AREAS SHALL HAVE TEMPORARY PROTECTION OR PERMANENT COVER OVER EXPOSED SOIL AREAS IF NOT BEING ACTIVELY GRADED WITHIN SEVEN (7) DAYS.
6. FOR AREAS WITH SLOPE OF 3:1 OR GREATER, RESTORATION WITH SOO OR WOOD FIBER BLANKET IS REQUIRED.
7. PUBLIC STREETS USED FOR HAULING SHALL BE KEPT FREE OF SOIL AND DEBRIS. STREET SWEEPING SHALL BE COMPLETED DAILY.

Grading Legend

EXISTING	PROPOSED	
		PROPERTY LINE
		LOT LINE
		INDEX CONTOUR
		INTERVAL CONTOUR
		CURB AND GUTTER
		POND NORMAL WATER LEVEL
		SILT FENCE
		STORM SEWER
		RETAINING WALL
		DRAIN TILE
		GRADING LIMITS
		ROCK CONSTRUCTION ENTRANCE
		EROSION CONTROL BLANKET
		TURF REINFORCEMENT MAT
		SPOT ELEVATION
		FLOW DIRECTION
		EMERGENCY OVERFLOW
		INLET PROTECTION



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PROJECT
360 Nicollet

LOCATION
Minneapolis, Minnesota

PROJECT NUMBER
0006276.00

ISSUE RECORD

07/10/15 PDR SUBMITTAL
 07/10/15 LUA SUBMITTAL

DATE
07/15/15

PROJECT MANAGER
Chris D. Meas

DRAWN BY
M. G. Meas

CHECKED BY
CMR

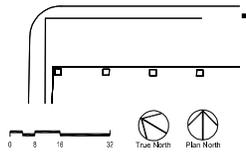
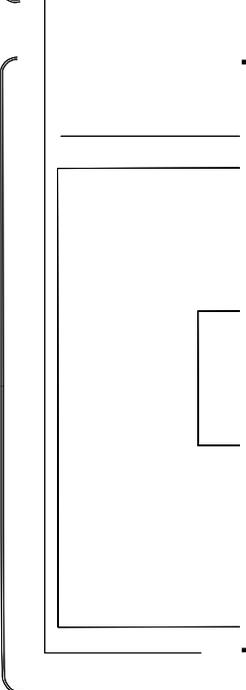
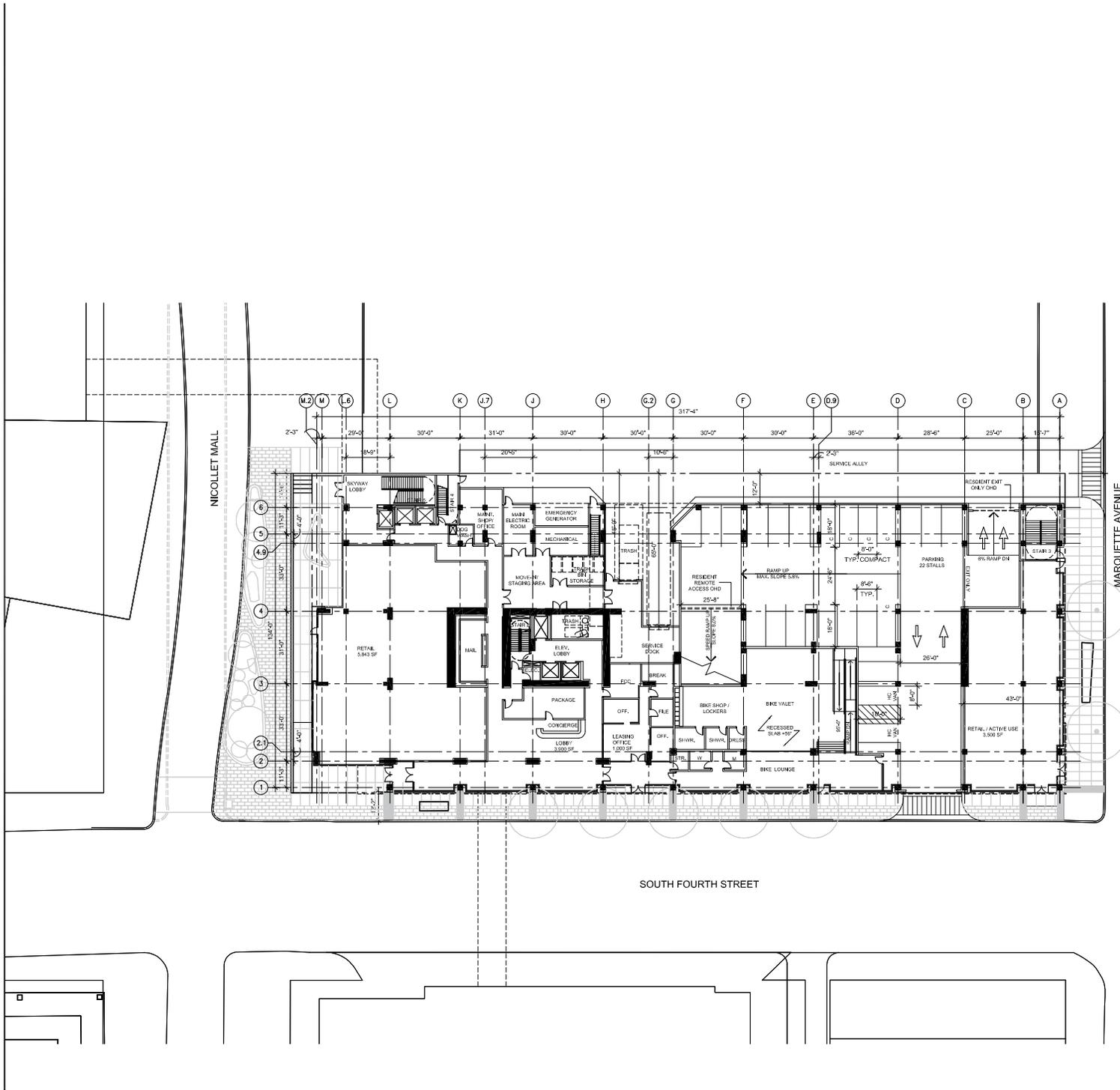
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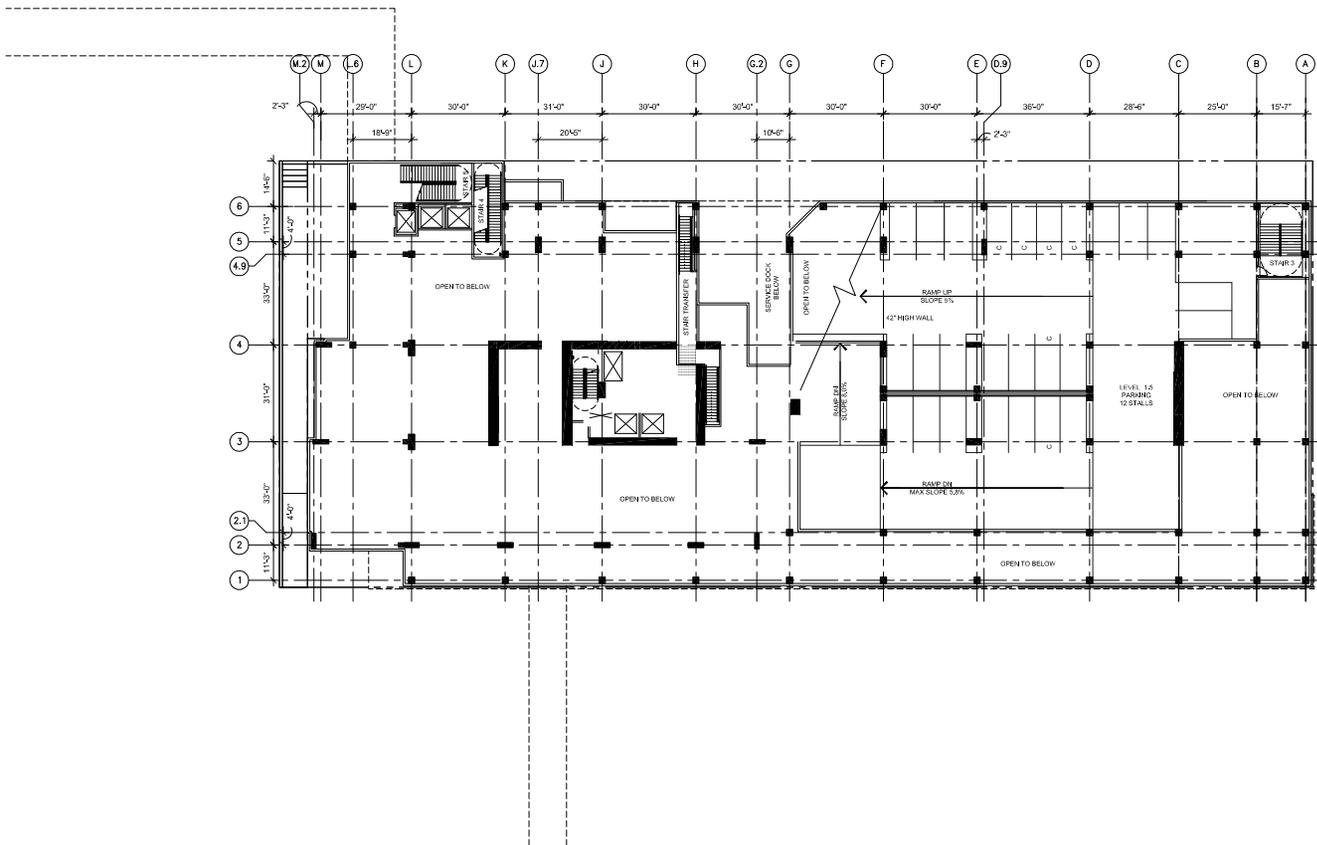
Chris D. Meas

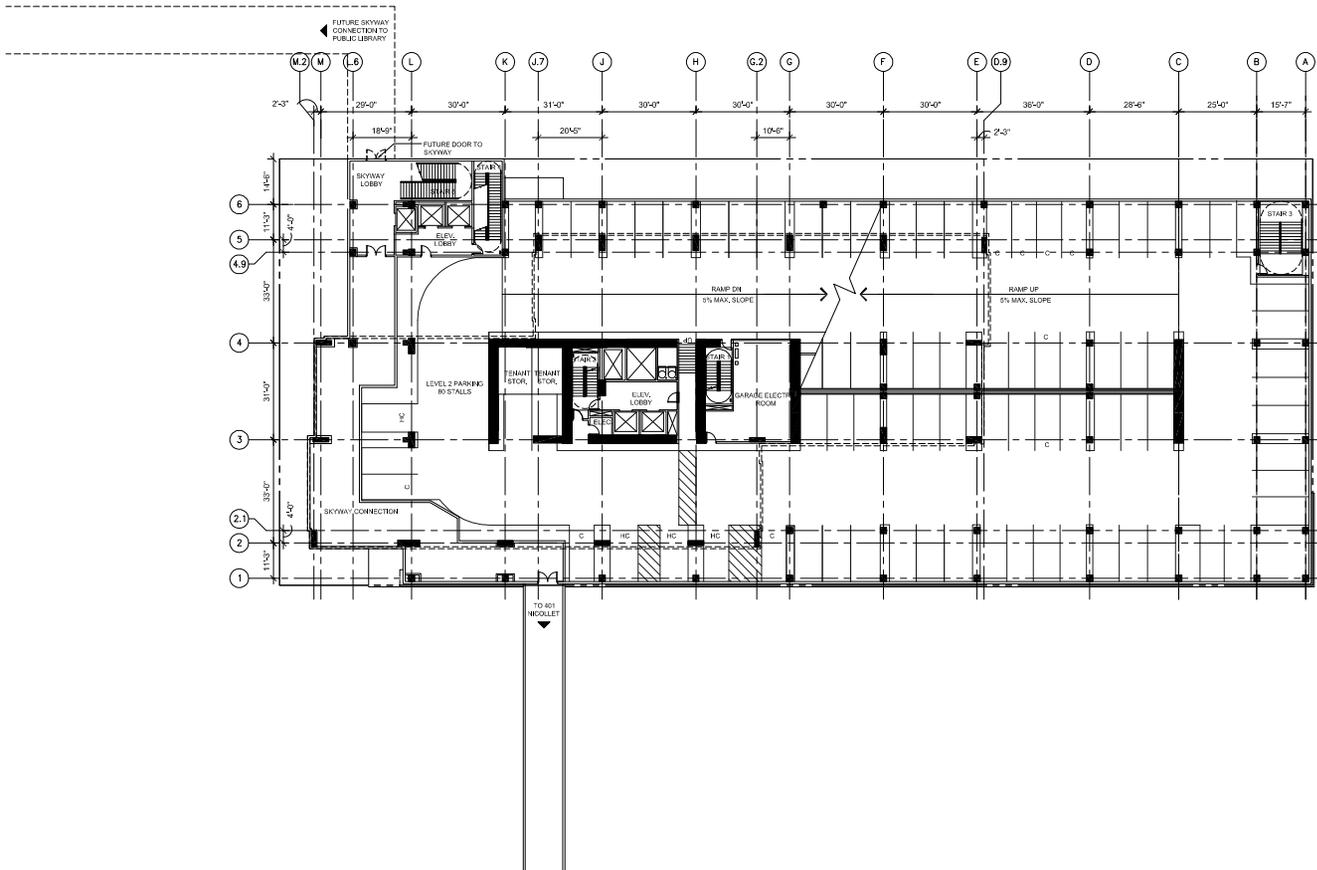
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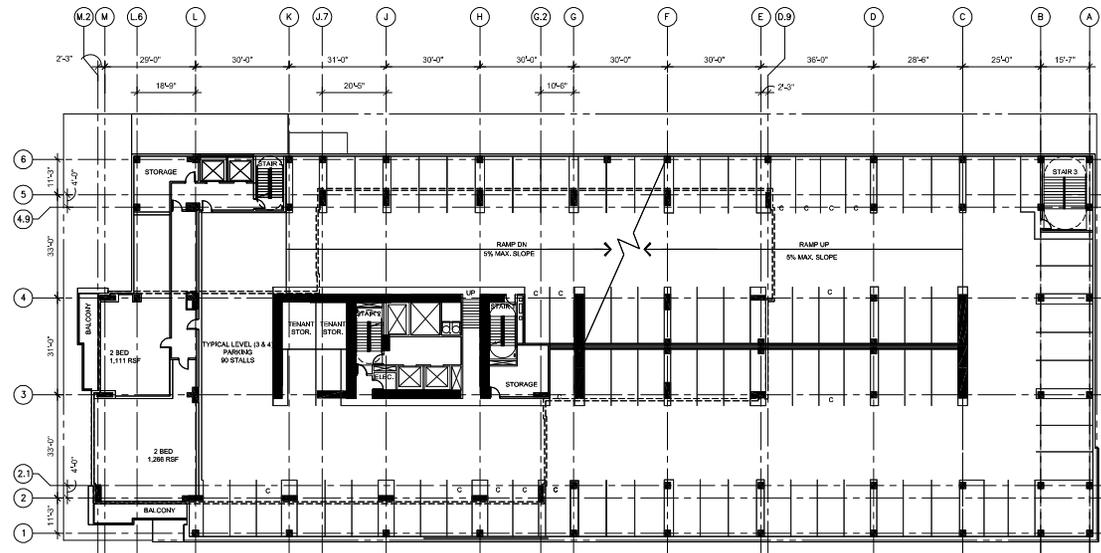
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Grading, Drainage, & Erosion Control Plan

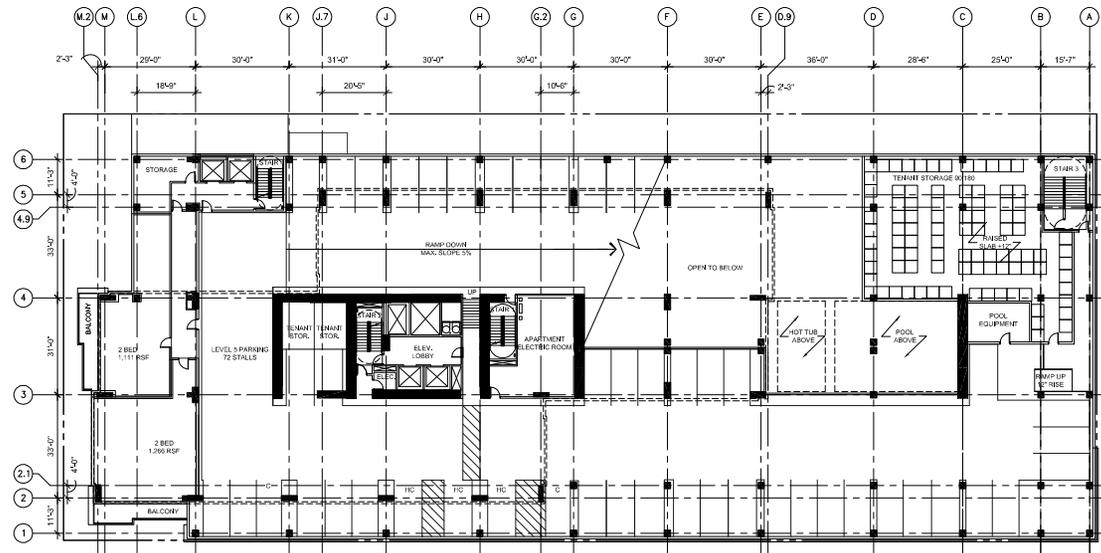
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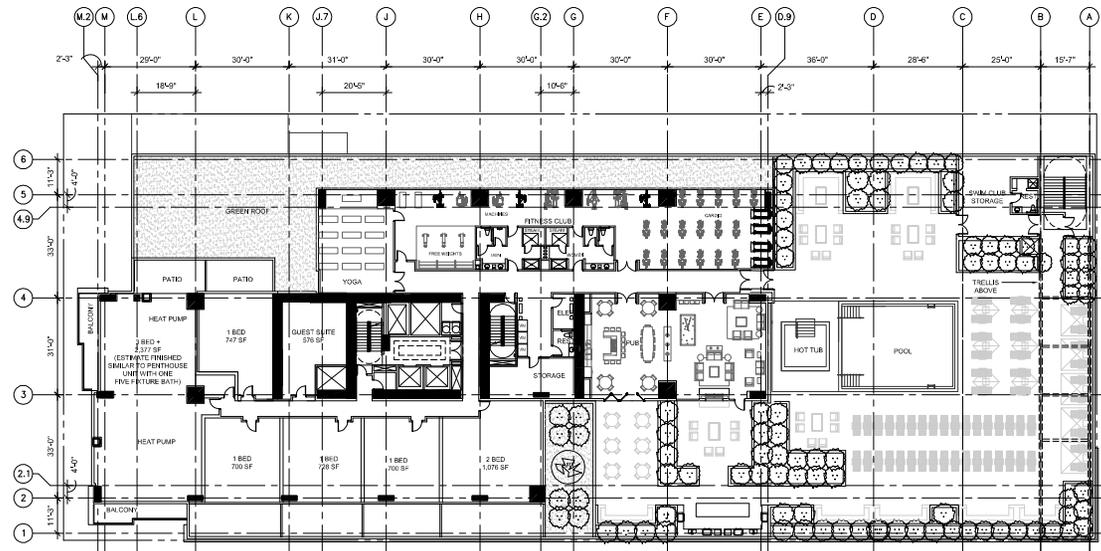


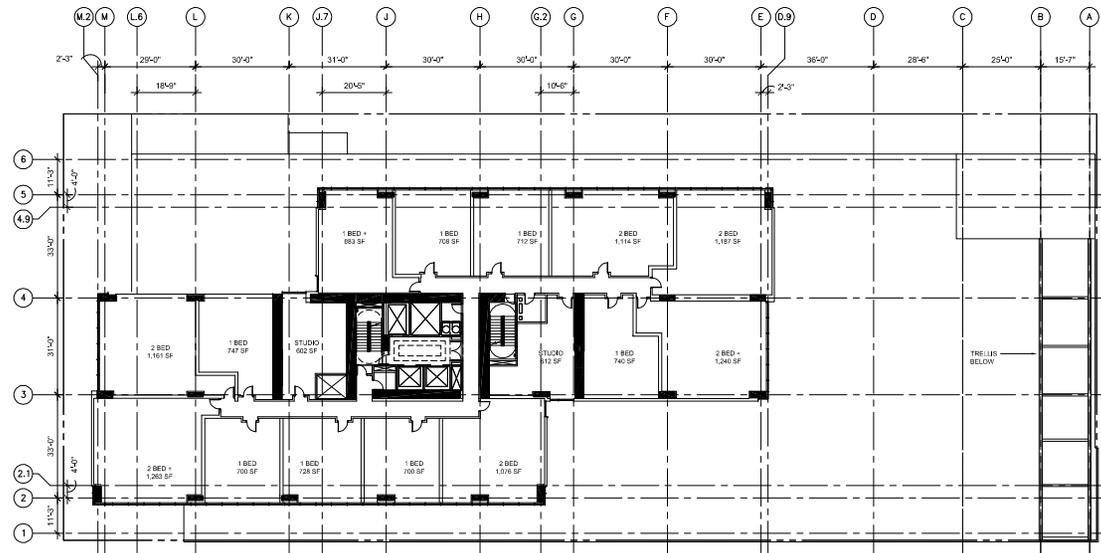


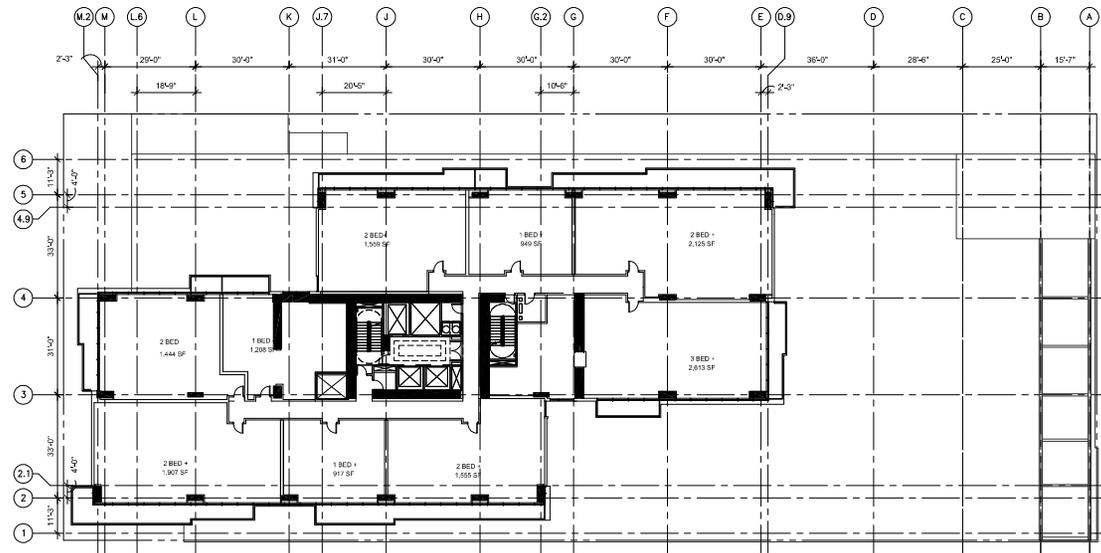


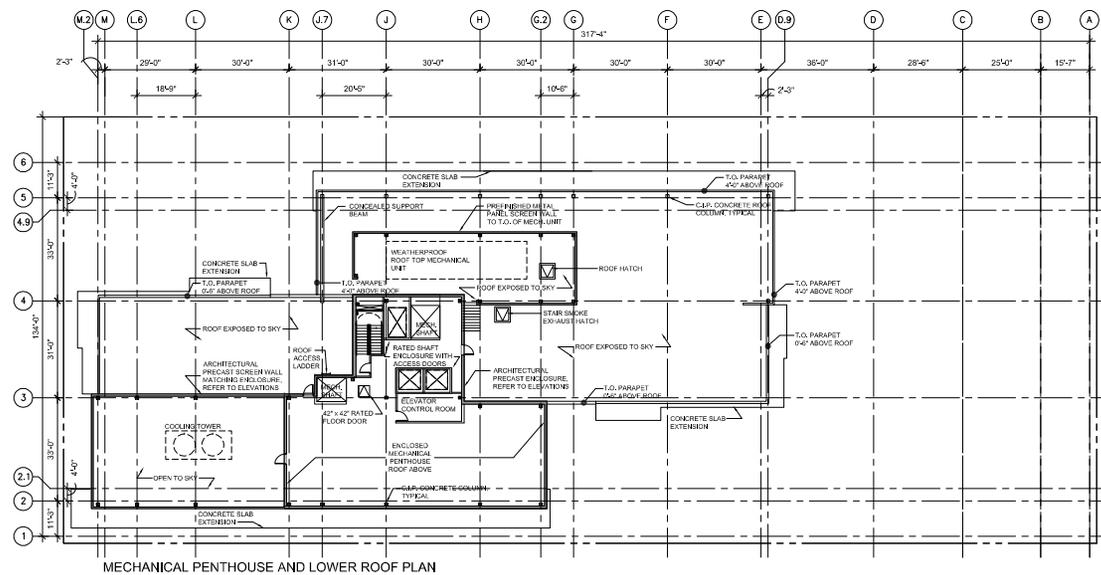
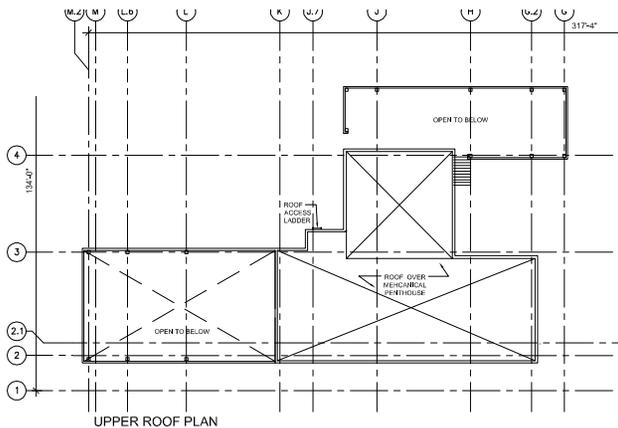












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PROJECT
360 NICOLLET

LOCATION
MINNEAPOLIS, MN

PROJECT NUMBER
30550

ISSUE RECORD
07/10/15 LUA SUBMITTAL

DATE
07/10/15
PROJECT MANAGER
LD
DRAWN BY
HC, JF, KH
CHECKED BY
SK

REGISTRATION

SHEET TITLE
ROOF PLAN

SHEET NUMBER



A2.9



0006276SK.dwg

Date: 08/05/15 Sheet: 1 OF 1

365 Nicollet

Minneapolis, Minnesota

Bus Exhibit

Westwood

Phone (952) 937-5150 7699 Anagram Drive
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 Westwood Professional Services, Inc.

Revisions	Designed

Checked:	SJM
Drawn:	RAH
Record Drawing by/date:	

Prepared for:



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SOUTH ELEVATION

EXTERIOR ELEVATION KEY NOTES	
NUMBER	DESCRIPTION
2A	ARCH PRECAST CONC - COLOR #1
2B	ARCH PRECAST CONC - COLOR #2
2C	ARCH PRECAST CONC - COLOR #3
2D	INSULATED CONCRETE PANELS - COLOR #2
2E	INSULATED CONCRETE PANELS - COLOR #3
2F	
2G	ALUMINUM CURTAINWALL SYSTEM
2H	ALUMINUM STOREFRONT SYSTEM
2I	ALUMINUM WINDOW WALL SYSTEM
2J	ALUM WINDOW
2K	VISION GLASS IN ALUMINUM FRAME
2L	INSULATED SPANDREL GLASS
2M	
2N	
2O	
2P	
2Q	
2R	
2S	
2T	
2U	
2V	
2W	
2X	
2Y	
2Z	
3A	ALUM RAILING SYSTEM
3B	ALUMINUM FRAME TRELLIS WITH FABRIC CANOPY
3C	STEEL CHANNEL
3D	
3E	
3F	
3G	
3H	
3I	
3J	
3K	
3L	
3M	
3N	
3O	
3P	
3Q	
3R	
3S	
3T	
3U	
3V	
3W	
3X	
3Y	
3Z	
4A	
4B	
4C	



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PROJECT
360 NICOLLET

LOCATION
MINNEAPOLIS, MN

PROJECT NUMBER
30550

ISSUE RECORD
7/10/15 FOR SUBMITTAL
7/10/15 LIA SUBMITTAL

DATE
07/10/15

PROJECT MANAGER
LD

DRAWN BY
HC, JF, KH

CHECKED BY
SK

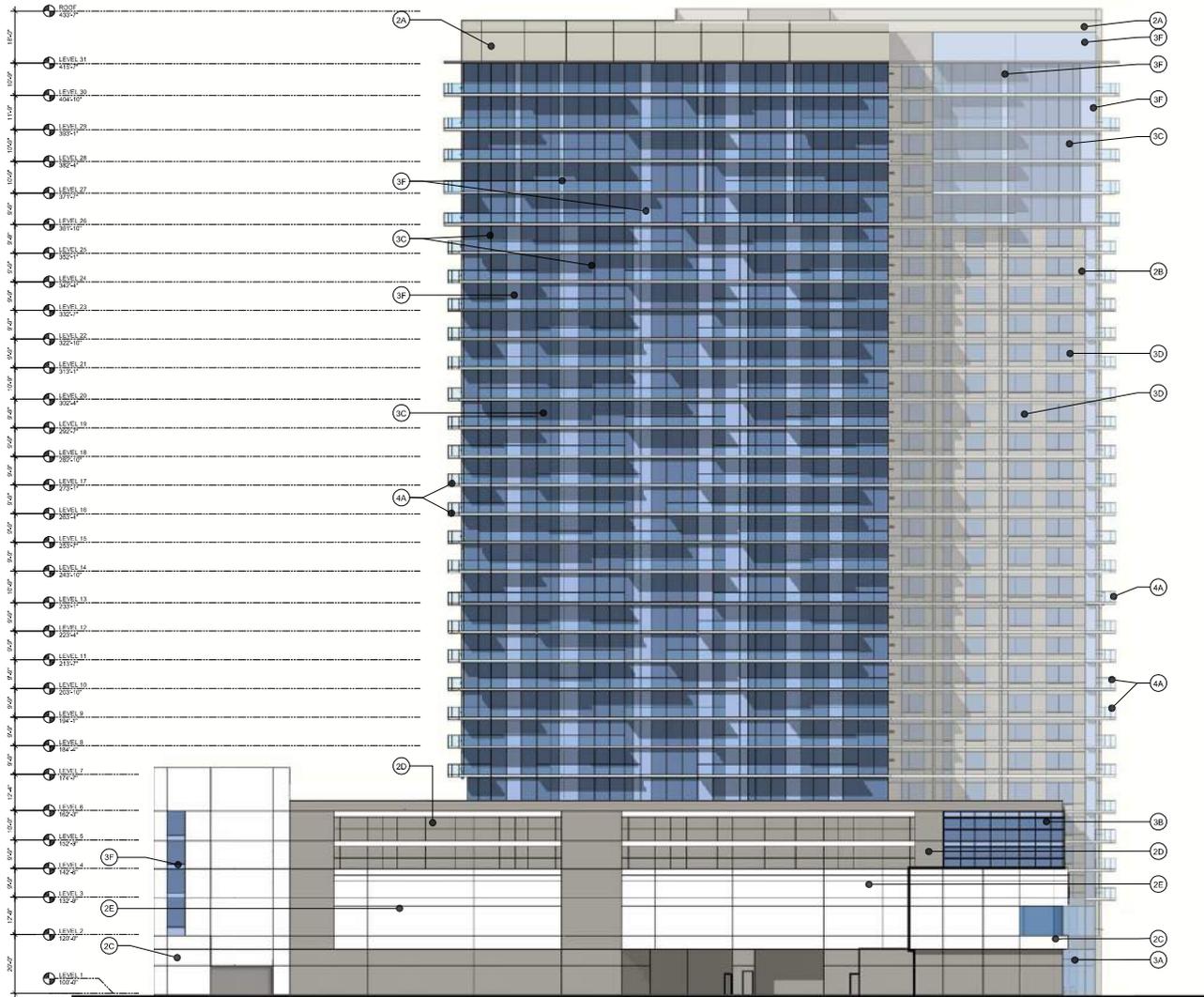
REGISTRATION

SHEET TITLE
SOUTH ELEVATION

SHEET NUMBER



A3.1



NORTH ELEVATION

EXTERIOR ELEVATION KEY NOTES	
NUMBER	DESCRIPTION
2A	ARCH PRECAST CONC - COLOR #1
2B	ARCH PRECAST CONC - COLOR #2
2C	ARCH PRECAST CONC - COLOR #3
2D	INSULATED CONCRETE PANEL S - COLOR #2
2E	INSULATED CONCRETE PANEL S - COLOR #3
3A	ALUMINUM CURTAINWALL SYSTEM
3B	ALUMINUM STOREFRONT SYSTEM
3C	ALUMINUM WINDOW WALL SYSTEM
3D	ALUM WINDOW
3E	VISION GLASS IN ALUMINUM FRAME
3F	INSULATED SPANDEL GLASS
4A	ALUM RAILING SYSTEM
4B	ALUMINUM FRAME TRELLIS WITH FABRIC CANOPY
4C	STEEL CHANNEL



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PROJECT
360 NICOLLET

LOCATION
MINNEAPOLIS, MN

PROJECT NUMBER
30550

ISSUE RECORD
7/10/15 FOR SUBMITTAL
7/10/15 LIA SUBMITTAL

DATE
07/10/15

PROJECT MANAGER
LD

DRAWN BY
HC, JF, KH

CREATED BY
SK

REGISTRATION

SHEET TITLE
NORTH
ELEVATION

SHEET NUMBER



A3.2



EAST ELEVATION



WEST ELEVATION

EXTERIOR ELEVATION KEY NOTES	
NUMBER	DESCRIPTION
2A	ARCH PRECAST CONC - COLOR #1
2B	ARCH PRECAST CONC - COLOR #2
2C	ARCH PRECAST CONC - COLOR #3
2D	INSULATED CONCRETE PANELS - COLOR #2
2E	INSULATED CONCRETE PANELS - COLOR #3
3A	ALUMINUM CURTAINWALL SYSTEM
3B	ALUMINUM STOREFRONT SYSTEM
3C	ALUMINUM WINDOW WALL SYSTEM
3D	ALUM WINDOW
3E	VISION GLASS IN ALUMINUM FRAME
3F	INSULATED SPANDREL GLASS
4A	ALUM RAILING SYSTEM
4B	ALUMINUM FRAME TRELLIS WITH FABRIC CANOPY
4C	STEEL CHANNEL



Opus AE Group, L.L.C.
 10200 Ave Road East
 Minneapolis, MN 55431-4110
 612-432-2444

Opus Design Build, L.L.C.
 10200 Ave Road East
 Minneapolis, MN 55431-4110
 612-432-2444



PROJECT
360 NICOLLET

LOCATION
MINNEAPOLIS, MN

PROJECT NUMBER
30550

ISSUE RECORD
 7/10/15 FOR SUBMITAL
 7/10/15 LIA SUBMITAL

DATE
 07/10/15

PROJECT MANAGER
 LD

DRAWN BY
 HC, JF, KH

CHECKED BY
 SK

REGISTRATION

SHEET TITLE
EAST & WEST ELEVATIONS

SHEET NUMBER



A3.3



NICOLLET MALL STREET VIEW



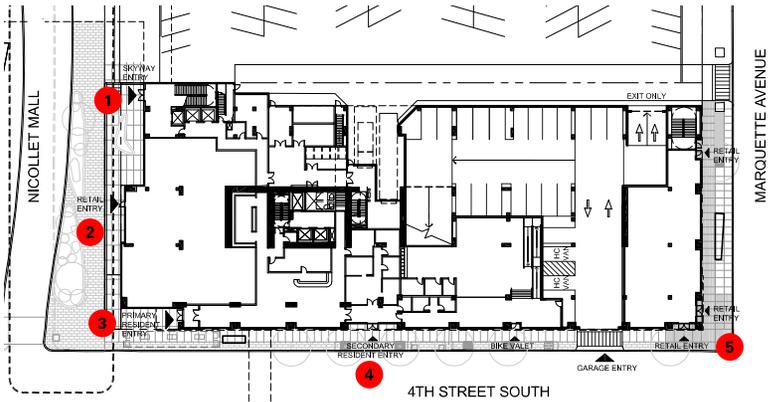
NICOLLET MALL AND MARQUETTE AVENUE



MARQUETTE AVENUE & 4TH STREET



AERIAL PERSPECTIVE



3 RESIDENT ENTRANCE OFF NICOLLET MALL



1 SKYWAY ENTRANCE ON NICOLLET MALL



4 RESIDENT ENTRANCE ON 4TH STREET



2 RETAIL ENTRANCE ON NICOLLET MALL



5 RETAIL ENTRANCES ON 4TH STREET & MARQUETTE AVENUE



Nicollet Mall

THREE SIXTY FIVE NICOLLET ADDITION

R.T. DOC. NO. _____
C.R. DOC. NO. _____

KNOW ALL PERSONS BY THESE PRESENTS: That Olaf Limited Partnership, a Minnesota limited partnership, fee owner of the following described property situated in the County of Hennepin, State of Minnesota, to wit:

Lots 56 through 76 inclusive;
Together with all of the adjoining vacated northeasterly-southwesterly alley lying between the northeasterly extensions across it of the northwest line of Lot 76 and the southeast line of Lot 71; Together with all of the adjoining vacated northeasterly-southwesterly alley lying between the southeasterly extensions across it of the northeast line of Lot 75 and the southwest line of Lot 74; Together with all of the adjoining northeasterly-southwesterly alley lying between the southeasterly extensions across it of the northeast and the southwest lines of Lot 63, all in AUDITOR'S SUBDIVISION NO. 152, according to the plat thereof on file and of record in the office of the County Recorder and in the office of the Registrar of Titles, Hennepin County, Minnesota.

Part of the land is registered property as evidenced by Certificate of Title No. 770327, being more particularly described as follows:

Lot 59;
Lot 60, also the Northeasterly 1/2 of the adjoining vacated alley lying between the extensions across it of the northwesterly and southeasterly lines of said Lot 60. (See Order Doc. No. 670862); Lots 62 and 63, also the Northeasterly 1/2 of the vacated alley adjoining said lots to the Southwest (line between extensions across it of the northwesterly line of Lot 62 and the southeasterly line of Lot 63. (See Order Doc. No. 670862).

Lot 72, and that part of the Southeasterly 1/2 of the vacated alley lying between extensions Northwesterly across said alley of the southwesterly and northeasterly lines of said Lot 72, the size of which lot varies from the plotted dimensions thereof, in that both the rear and front lines of said lot at 22.2 feet in length; Lots 74 and 75, also that part of the Northwesterly 1/2 of the vacated alley adjoining the Southeasterly lines of said Lots 74 and 75. (See Order Doc. No. 685251); also the Southwesterly 1/2 of the adjoining vacated alley to the Northeast lying between extensions across it of the northwesterly line of said Lot 75 and the center line of the alley adjoining the Southeasterly line of Lot 75. (See Order Doc. No. 670862), all in Auditor's Subdivision No. 152, Hennepin County, Minn.

Abstract and Torrens property, Certificate of Title No. 770327.

All of AUDITOR'S SUBDIVISION NO. 83, according to the plat thereof on file and of record in the office of the County Recorder, Hennepin County, Minnesota.

Abstract property.

Has caused the same to be surveyed and platted as THREE SIXTY FIVE NICOLLET ADDITION.

In witness whereof said Olaf Limited Partnership, has caused these presents to be signed by its proper officers this _____ day of _____, 20____.

OLAF LIMITED PARTNERSHIP

By _____
Name, Title

STATE OF MINNESOTA
COUNTY OF _____

The foregoing instrument was acknowledged before me this _____ day of _____, 20____, by _____ of Olaf Limited Partnership, a Minnesota limited partnership, on behalf of the partnership.

(Signature) (Name/Printed)

Notary Public, _____ County, Minnesota
My Commission Expires _____

I, Mark R. Solo do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this _____ day of _____, 20____.

Mark R. Solo, Land Surveyor
Minnesota License No. 43933

STATE OF MINNESOTA
COUNTY OF HENNEPIN

This instrument was acknowledged before me on this _____ day of _____, 20____, by Mark R. Solo.

(Signature) (Name/Printed)

Notary Public, _____ County, Minnesota
My Commission Expires _____

MINNEAPOLIS, MINNESOTA

I, the Secretary of the Planning Commission of the City of Minneapolis, Minnesota, do hereby certify that on this _____ day of _____, 20____, the City of Minneapolis acting by and through its City Planning Commission duly approved the plat of THREE SIXTY FIVE NICOLLET ADDITION and duly authorized each action of the Commission by its Secretary. The prescribed ten-day period for appeal has elapsed without receipt of an appeal, as provided by Title 22, Section 598.320 of the Minneapolis Code of Ordinances.

Secretary of Planning Commission

MINNEAPOLIS, MINNESOTA

I hereby certify that this plat of THREE SIXTY FIVE NICOLLET ADDITION was approved by the City Planning Commission of the City of Minneapolis at a meeting thereof held this _____ day of _____, 20____. If applicable, the written comments and recommendations of the Commissioner of Transportation and the County Highway Engineer have been resolved by the City or the prescribed 30 day period has elapsed without receipt of such comments and recommendations, as provided by Minnesota Statutes, Section 505.03, Subdivision 2.

CITY CLERK OF MINNEAPOLIS, MINNESOTA

Assistant City Clerk

RESIDENT AND REAL ESTATE SERVICES, Hennepin County, Minnesota

I hereby certify that taxes payable in 20____ and prior years have been paid for land described on this plat, dated this _____ day of _____, 20____.

Mark V. Chapin, County Auditor By _____
Deputy

SURVEY DIVISION, Hennepin County, Minnesota

Pursuant to MINN. STAT. Sec. 383B.565 (1989) this plat has been approved this _____ day of _____, 20____.

Chris F. Mavis, County Surveyor By _____

COUNTY RECORDER, Hennepin County, Minnesota

I hereby certify that the within plat of THREE SIXTY FIVE NICOLLET ADDITION recorded in this office this _____ day of _____, 20____, at _____ o'clock _____ M.

Martin McCormick, County Recorder By _____
Deputy

REGISTRAR OF TITLES, Hennepin County, Minnesota

I hereby certify that the within plat of THREE SIXTY FIVE NICOLLET ADDITION was filed in this office this _____ day of _____, 20____, at _____ o'clock _____ M.

Martin McCormick, Registrar of Titles By _____
Deputy

THREE SIXTY FIVE NICOLLET ADDITION

Parent Parcel Description per Hennepin Co. Tax Records

Lots 56 to 76 inclusive, AUDITORS SUBDIVISION NO. 152 and Lot 1, AUDITORS SUBDIVISION NO. 83, including adjacent vacated alleys.



Opus AE Group, L.L.C.
 10350 Bren Road
 West
 Minnetonka, MN
 55343-0110
 952-656-4444

Opus Design Build, L.L.C.
 10350 Bren Road
 West
 Minnetonka, MN
 55343-0110
 952-656-4444

Developer

The Opus Group
 10350 Bren Road
 Minnetonka, MN 55343-0110
 952-656-4444

Planner/Engineer/Surveyor

Westwood Professional Services, Inc.
 7699 Anagram Drive
 Eden Prairie, MN 55344
 (952) 937-5150

Westwood

Phone (952) 837-5150 7699 Anagram Drive
 Fax (952) 837-5150 7699 Anagram Drive
 Email info@westwood.com westwood.com
 Westwood Professional Services, Inc.



Development Summary

Total Site Area: 109,303 Sq.Ft. or 2.51 ac.
Lot 1: 45,046 Sq.Ft. or 1.03 ac.
Lot 2: 64,257 Sq.Ft. or 1.48 ac.
Existing Zoning: B4-2 with Nicollet Mall and Downtown Parking overlays
Proposed Zoning: B4-2 with Nicollet Mall and Downtown Parking overlays

- Denotes 1/2 inch by 14 inch iron monument set and marked by License No. 43933
- Denotes found iron monument

PROJECT

365 Nicollet

LOCATION

Minneapolis, Minnesota

PROJECT NUMBER

0006276.00

ISSUE RECORD

07/10/15 PDR SUBMITTAL
 07/10/15 LUA SUBMITTAL

DATE

07/13/15

PROJECT MANAGER

Chris D. Hus

DRAWN BY

DCW

CHECKED BY

MRS

REGISTRATION

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed PROFESSIONAL ENGINEER under the laws of the State of Minnesota.

Mark R. Salo
 Mark R. Salo

Date

7/29/15

License No.

43933

SHEET TITLE

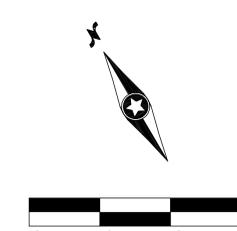
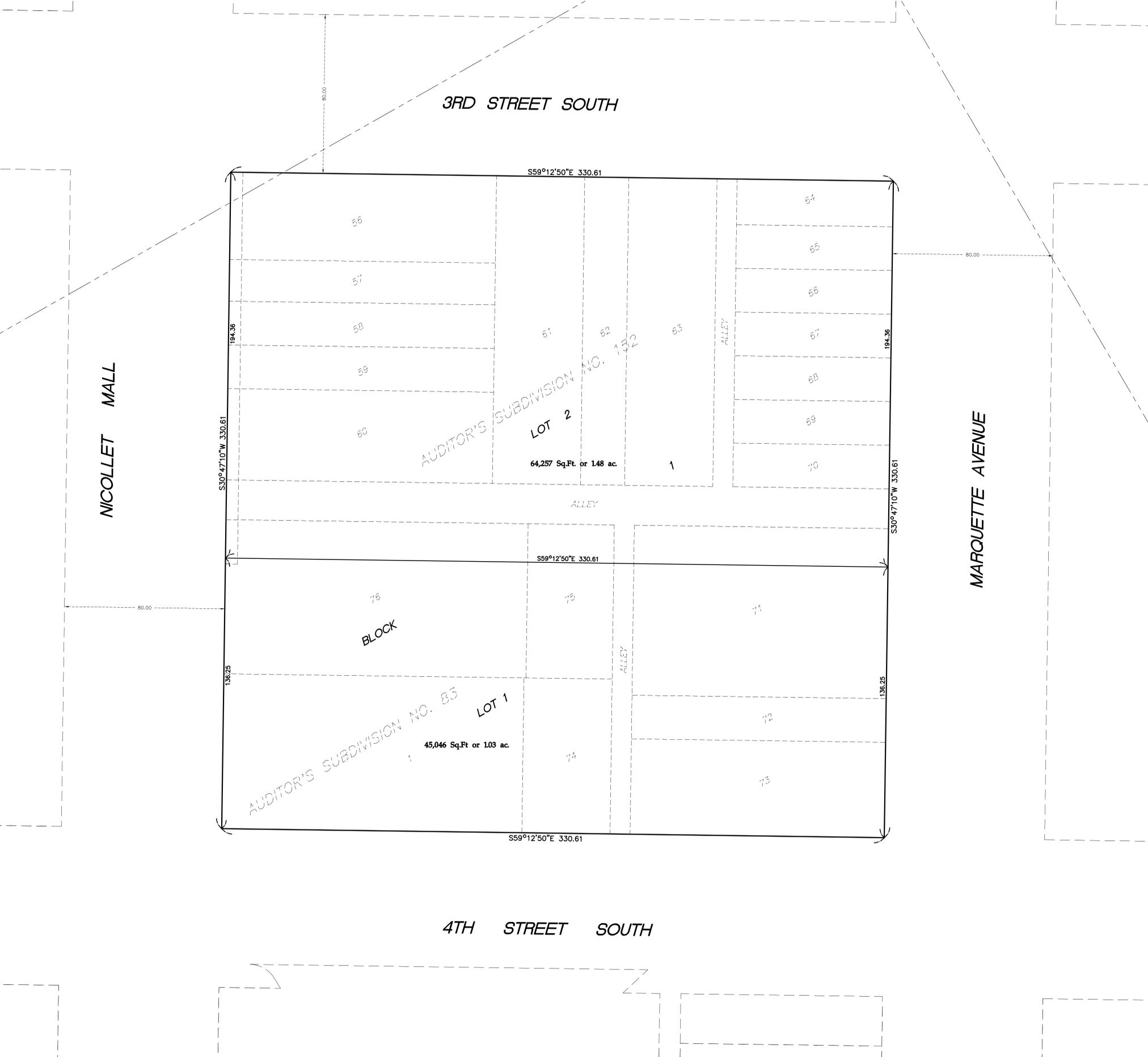
**Preliminary Plat
 Three Sixty Five
 Nicollet Addition**

SHEET NUMBER

1

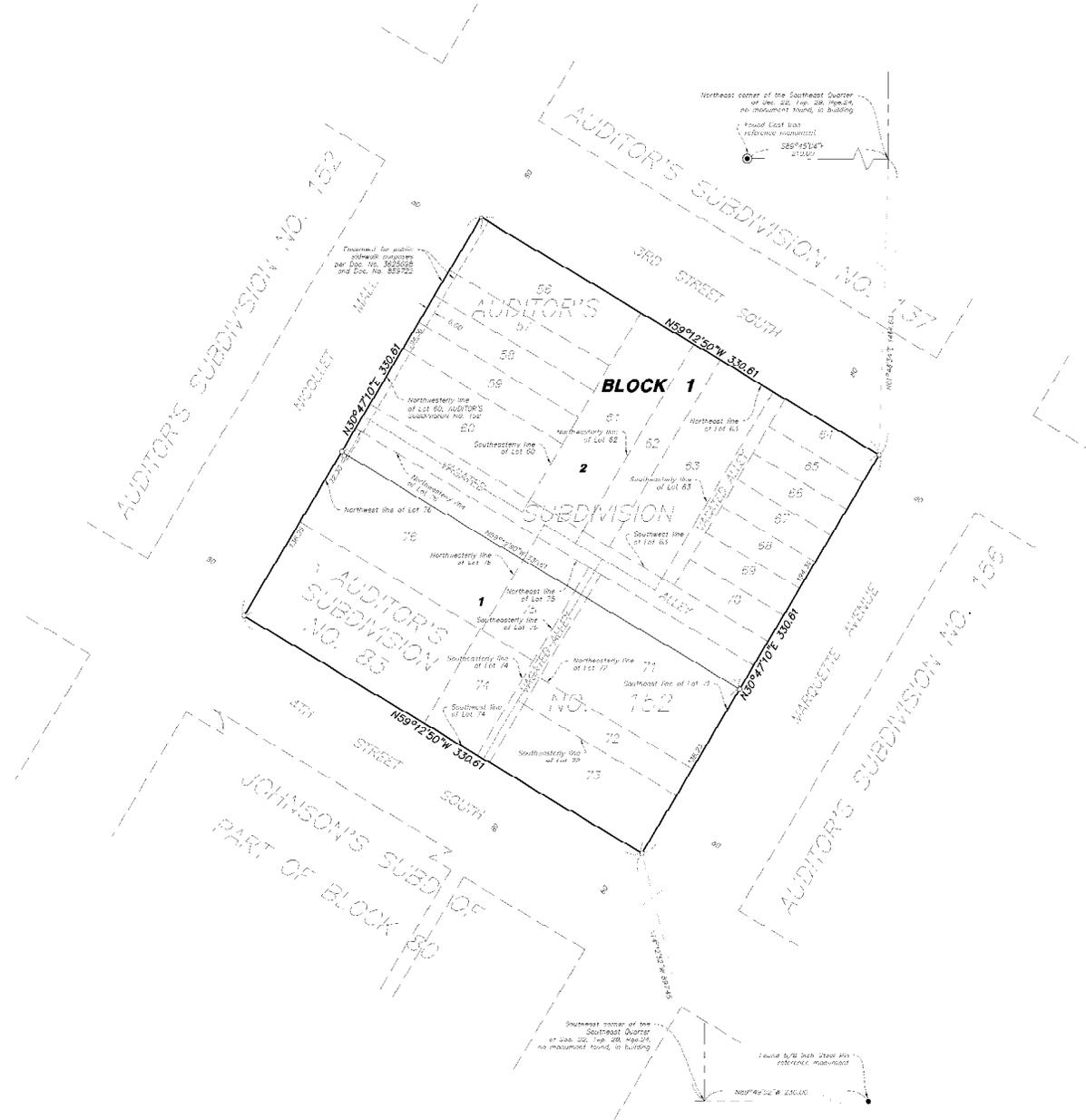
Plot Date: July 29, 2015 - 4:53pm

Plot Date: July 29, 2015 - 4:53pm



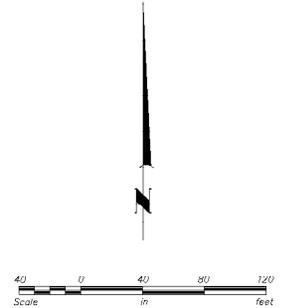
THREE SIXTY FIVE NICOLLET ADDITION

R.T. DOC. NO.
C.R. DOC. NO.



Northeast corner of the Southeast Quarter of Sec. 22, T4N, R9E, 2nd Meridian, no monument found, in building
Found East line reference monument
S85°45'14\"/>

Treatment for public through easement per Doc. No. 345408 and Doc. No. 857902



The Northwestern line of Lot 60, AUDITOR'S SUBDIVISION NO. 152 is assumed to bear N30°42'10\"/>

- Denotes 1/2 inch by 14 inch iron rebar set and marked by License No. 43933
- Denotes iron monument found and marked as shown.

SITE PHOTOS



VIEWS



AERIAL VIEW LOOKING NORTHWEST



AERIAL VIEW LOOKING SOUTHEAST



1. LOOKING WEST TOWARDS NICOLLET MALL



2. LOOKING NORTHEAST FROM NICOLLET MALL & 4TH STREET



3. LOOKING SOUTH TOWARDS 4TH STREET



4. LOOKING NORTHWEST FROM MARQUETTE AVENUE & 4TH STREET



5. LOOKING EAST TOWARDS MARQUETTE AVENUE



6. LOOKING NORTH TOWARDS 3RD STREET



Opus AE Group, LLC.
1000 Dow Road West
Minneapolis, MN 55415-4110
952-955-2444

Opus Design Build, L.L.C.
1000 Dow Road West
Minneapolis, MN 55415-4110
952-955-2444



PROJECT
360 NICOLLET

LOCATION
MINNEAPOLIS, MN

PROJECT NUMBER
30550

ISSUE RECORD
7/10/15 LIA SUBMITTAL

DATE
07/10/15

PROJECT MANAGER
LD

DRAWN BY
JCS, JCF, KH

CHECKED BY
SK

REGISTRATION

SHEET TITLE
SITE PHOTOS

SHEET NUMBER

SPRING EQUINOX - MARCH 20



9 AM



12 PM



3 PM

SUMMER SOLSTICE - JUNE 21



9 AM



12 PM



3 PM

FALL EQUINOX - SEPTEMBER 22



9 AM



12 PM



3 PM

WINTER SOLSTICE - DECEMBER 22



9 AM



12 PM



3 PM



Opus AE Group, L.L.C.
1000 Dow Road West
Minneapolis, MN 55415-4110
612-339-2444

Opus Design Build, L.L.C.
1000 Dow Road West
Minneapolis, MN 55415-4110
612-339-2444

Westwood

1000 Dow Road West
Minneapolis, MN 55415-4110
612-339-2444

CONFLUENCE

PROJECT
360 NICOLLET

LOCATION
MINNEAPOLIS, MN

PROJECT NUMBER
30550

ISSUE RECORD
7/10/15 LIA SUBMITTAL

DATE
07/10/15

PROJECT MANAGER
JD

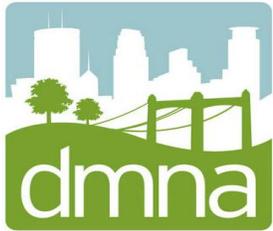
DRAWN BY
HJC, JF, KH

CREATED BY
SK

REGISTRATION

SHEET TITLE
SHADOW &
CONTEXT STUDIES

SHEET NUMBER



**DOWNTOWN
MINNEAPOLIS
NEIGHBORHOOD
ASSOCIATION**

**40 S. 7th Street, STE 212 PMB 172
Minneapolis, Minnesota 55402
Phone: (612) 659-1279
Online: www.thedmna.org**

April 28th, 2015

Matthew G. Rauenhorst
Vice President, Real Estate Development
Opus Development Company, L.L.C.
10350 Bren Road West
Minnetonka, MN 55343

RE: Ritz Block Redevelopment Project Phase 1

Dear Matthew:

The DMNA Board would like to thank you and members of your project team for presenting plans for the proposed Opus redevelopment of the former Ritz Hotel block.

The DMNA Board voted to support the project as presented on April 20th, 2015. Your investment in architectural quality coupled with the project's ability to adapt to changes in residential demand and the early success of Nic on 5th engenders strong confidence from the board. Further, the proposed retail along Nicollet and full glass coverage along 3rd and 4th Streets will serve to improve the pedestrian experience and perception of safety.

If significant changes are made to the design or proposed use of the project, the board requests notification and the opportunity to amend its support. Significant changes to, or the elimination of, elements identified below would also require board notification:

- Glass coverage at the ground level
- Artistic screening of the parking structure
- Skyway connections or skyway readiness
- Ground level, exterior-facing retail along Nicollet Avenue

The DMNA Board looks forward to supporting Opus in its successful execution of this important project.

Sincerely,

Chad DiDonato
DMNA Board Chair

cc.