

LAND USE APPLICATION SUMMARY

Property Location: 2809, 2815, 2817, 2821 Girard Avenue South
Project Name: Girard Avenue Apartments
Prepared By: Mei-Ling Smith, City Planner, (612) 673-5342
Applicant: 2817 Girard, LLC
Project Contact: Michael Stoddard, DJR Architecture
Request: To construct a new, four-story building with 40 dwelling units.
Required Applications:

Variance	To reduce the required 15-foot front yard setback to allow two ground floor patios and four fourth-floor balconies exceeding 50 square feet in area.
Variance	To reduce the required 11-foot north interior side yard setback to 8 feet allow an area well.
Variance	To reduce the required 11-foot south interior side yard setback to 3 feet to allow a transformer.
Variance	To reduce the required 11-foot rear setback to 0 feet to allow a loading area and to 8 feet to allow an area well.
Site Plan Review	For a new, four-story building with 40 dwelling units.

SITE DATA

Existing Zoning	R5 Multiple-Family District
Lot Area	22,203 square feet / 0.51 acres
Ward(s)	10
Neighborhood(s)	Lowry Hill East Neighborhood Association
Designated Future Land Use	Urban Neighborhood
Land Use Features	None, but approximately 200 feet to the east of the Uptown Activity Center and one block east of a Commercial Corridor (Hennepin Avenue)
Small Area Plan(s)	<u>Midtown Greenway Land Use and Development Plan (2007)</u> ; <u>Uptown Small Area Plan (2008)</u>

Date Application Deemed Complete	June 26, 2015	Date Extension Letter Sent	Not applicable
End of 60-Day Decision Period	August 25, 2015	End of 120-Day Decision Period	Not applicable

BACKGROUND

SITE DESCRIPTION AND PRESENT USE. The subject site spans four parcels that are located midblock on Girard Avenue South, between the Midtown Greenway and West 28th Street. Girard Avenue South is a dead end on the Midtown Greenway side of the block. The lot area of the site is 22,203 square feet, and there are currently three single-family homes that would be demolished for the project. There is a residential alley adjacent to the site, along the east (rear) property line.

SURROUNDING PROPERTIES AND NEIGHBORHOOD. The block on which the site is located contains low, medium, and high-density residential uses, including a 216-unit apartment building which is located directly to the south. The surrounding neighborhood contains a range of residential densities as well as commercial uses, with the Uptown Activity Center and the Hennepin Avenue Commercial Corridor located a block to the west of the subject site.

PROJECT DESCRIPTION. The applicant is proposing to construct a four-story residential building with 40 dwelling units, with a mixture of studios, one-bedroom units, and two-bedroom units. There would be six, two-story walk-up units facing Girard Avenue South, with landscaping, pavers, and a three-foot ornamental fence located between the building and the public walkway. The primary façade facing Girard Avenue S features a stepped back fourth floor, awnings over the majority of the first and second floor window openings, and balconies on the second and fourth floors. The second, third, and fourth-floor units on the rear portion of the building would face a square courtyard. The applicant has also designed the rooftop so that many of the fourth-floor units would have individual access to the rooftop. The primary exterior materials of the building are brick, stucco, metal panel, cementitious panel, and metal balconies and awnings.

There would be a total of 53 parking spaces enclosed within the building, with 16 spaces on the ground level and 37 located below grade. The applicant is also proposing 20 long-term bicycle parking spaces.

The applicant is requesting variances of the minimum required yards along the north, south, east, and west property lines. A variance of the front yard requirement is needed to allow for ground floor patios and four balconies exceeding 50 square feet in area, which exceeds the allowable permitted encroachment into a required yard. The applicant is also requesting variances to allow placing two area wells, a transformer, and a loading space within the required yards. Finally, site plan review is required for the development of the new multiple-family residential structure.

PUBLIC COMMENTS. Staff has not received any public comments as of the printing of this report. Any correspondence received prior to the public meeting will be forwarded on to the Planning Commission for consideration.

ANALYSIS

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for variances to a) allow two ground floor patios exceeding 50 square feet in area in the required front yard and b) to allow four fourth-floor balconies exceeding 50 square feet in area, based on the following findings:

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

Both variances: The zoning code allows balconies, decks, and ground level patios not exceeding 50 square feet in area to project up to four feet into a required yard. Such balconies, decks, and ground level patios may project into the required interior side yard of a multiple-family dwelling of four or more stories, provided that such balcony, deck or ground level patio shall be located no closer than ten feet from the interior side lot line. The applicant is proposing two ground level patios that exceed 50 feet and four fourth-floor balconies exceeding 50 square feet in area within the 15-foot front required yard.

The site is zoned R5 Multiple-Family District and is located one block from a Commercial Corridor (Hennepin Avenue) and from the Uptown Activity Center. The applicant is trying to balance the policies that support increased residential density on the site with the need to provide outdoor space for the residents. The applicant is proposing a mixture of balconies, walk-out patios, and resident rooftop terraces throughout the building to accommodate outdoor space for the residents. In addition, Chapter 530 of the zoning code encourages new construction to be located near the front lot line, and the Uptown Small Area Plan encourages active street frontages. The ground floor patios would provide an active use along Girard Avenue South, while the front building wall's location adjacent to the front property line along Girard Avenue South would meet the intent of the zoning code and applicable small area plan guidance. The applicant states that the fourth-floor balconies would each be five feet deep, which would provide usable outdoor space for those units, but results in the balconies exceeding 50 square feet in area. CPED staff believes that practical difficulties exist in complying with the ordinance because of the circumstances unique to the property.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

Both variances: The applicant's request to accommodate ground level patios and fourth floor balconies exceeding 50 square feet is reasonable and is in keeping with the spirit and intent of the ordinance and comprehensive plan. The intent of having yard controls is to provide for the orderly development and use of land, and to minimize conflicts between adjacent land uses by regulating the dimension and use of yards by providing adequate light, air, open space, and separation of uses. The proposed patios and balconies will not diminish light, air, or open space for the adjacent properties. The patios and balconies would be oriented toward the public street and walkway, and both adjacent properties are multiple-family residential buildings, and the patios and balconies would maintain the required 11 foot side yard setbacks and would be approximately 19.5 feet from the nearest residential structure at the closest point.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

Both variances: Granting the variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. There are multiple-family buildings directly to the north and south of the site, as well as across the street from the site and proposed patios and balconies. The proposed variances would not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties, and they will increase opportunities for natural surveillance of the public street. The patios and balconies would maintain the required 11 foot side yard setbacks and would be approximately 19.5 feet from the nearest residential structure at the closest point.

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance to a) reduce the required 11-foot north interior side yard setback to 8 feet allow an area well b) reduce the required 11-foot rear setback to 8 feet to allow an area well and c) to reduce the required 11-foot south interior side yard setback to 3 feet to allow a transformer, based on the following findings:

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

All variances: The applicant is requesting two area wells, which are not permitted encroachments in required yards as listed in Chapter 535, Regulations of General Applicability. One area well would be located eight feet from the north interior side yard lot line, and the other area well would be located 8 feet from the rear lot line. The applicant has provided two levels of enclosed parking, one below-grade and one at ground level. The applicant states that the area wells are needed to provide air circulation throughout the parking garage. The alternative would be providing large chases and louvers on the exterior walls instead of windows. The applicant has stated that the north area well, which would be approximately 16 from the neighboring residential building, would be for air intake into the garage, while the area well next to the alley would provide the output for the air. The applicant is also proposing to locate a transformer in the southeast corner of the site, three feet from the south interior side lot line. There are required yards on all sides of the building, which would contain 40 dwelling units and which would be consistent with the comprehensive plan. The applicant is trying to balance the policies that support increased residential density on the site, encourage window area, and discourage surface parking lots, thus limiting the available locations for the proposed area wells and transformer. CPED finds that practical difficulties exist in complying with the ordinance because of circumstances unique to the property, and are not based on economic considerations alone.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

All variances: The applicant's proposal to locate area wells within the north side yard setback and rear setbacks, and to locate a transformer within the south side yard setback, is reasonable. The applicant is proposing to screen both area wells with a mixture of perennials and shrubs. As conditioned, the north area well would be used for air intake only, and both area wells would extend no taller than 8 inches above grade. The transformer would be screened with a solid fence and landscape materials. The applicant has proposed the least obtrusive locations for the area wells

and transformers given the constraints described above, and would mitigate any negative effects through landscaping and screening. The proposal would be in keeping with the spirit and intent of the ordinance and comprehensive plan.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

All variances: The applicant's proposal to locate the area wells and transformer within the side and rear yards will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. The proposed area wells and transformers are not expected to be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties, given their location, function, and the surrounding landscaping, screening, and protective metal grates.

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance to reduce the required 11-foot rear setback to 0 feet to allow a loading area, based on the following findings:

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

The applicant is proposing to locate a 10-foot by 25-foot loading area between the building and the rear property line that is adjacent to a residential alley. Girard Avenue South is a dead end street and does not provide sufficient maneuvering area for trucks to turn around and park in front of the proposed building, and loading trucks may not park within the alley that is adjacent to the rear of the site. While the applicant is proposing to enclose all accessory vehicle parking spaces, the ceiling heights that would be needed to accommodate a moving truck within the ground level parking area would cause the building to exceed the R5 district height limitations. The dead-end street which abuts the Midtown Greenway limits the available options to provide a loading area without disrupting or encroaching on surrounding properties. CPED finds that practical difficulties exist in complying with the ordinance due to these circumstances which are unique to the property.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The applicant's proposal to locate a loading zone within the required eleven-foot rear yard is reasonable and is in keeping with the spirit and intent of the ordinance and comprehensive plan. The purpose of yard controls is to provide for orderly development and use of land, and to minimize conflicts between adjacent land uses by regulating the dimension and use of yards by providing adequate light, air, open space, and separation of uses. The proposed loading area will not diminish light, air, or open space for the adjacent properties.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

The proposed variance to allow a loading zone in the rear yard will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. By providing an off-street loading area, the residents of the proposed building would be able to move in and out

of the building in a designated location without encroaching on the public alley, the public street, or nearby properties. However, staff does have some concern that the location of the proposed loading area would lead to the deterioration of the adjacent landscaping, and that an alternate location could provide a safer and shorter means of access to the building's elevator as well as preserve the on-site landscaping. Therefore, staff is recommending a condition that would require the applicant to provide an unobstructed route between the loading area and elevator lobby for residents who are moving or out of the building. As conditioned, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

SITE PLAN REVIEW

The Department of Community Planning and Economic Development has analyzed the application based on the required [findings](#) and [applicable standards](#) in the site plan review chapter:

I. Conformance to all applicable standards of Chapter 530, Site Plan Review.

Building Placement and Design – Requires alternative compliance

- The principal entrance to the building is oriented toward Girard Avenue South.
- The first floor of the building is located 15 feet from the front lot line, as required in the R5 zoning district. The area between the building and public street would contain ground level patios, landscaping, an ornamental fence, trees (subject to Public Works' approval), and sidewalk area.
- All accessory parking would be provided within the building, to the rear of the site on the first floor, and in a below-grade parking garage.
- The building wall along Girard Avenue South is approximately 150 feet in length. The applicant is proposing a variety of materials, recesses in the building wall, awnings, and balconies to break up the façade into smaller sections.
- On the south elevation facing the interior lot line, there is a section of the ground floor wall that is 42 feet in length that is void of windows, entries, recesses, and projections. There is also a 26-foot long blank wall on the north elevation. Both blank walls require alternative compliance.
- The exterior materials of the building will include brick, stucco, metal panel, and glass. No single elevation contains more than three primary materials. The side and rear of the building are similar to and compatible with the front of the building. Plain face concrete block is not proposed as an exterior material.
- The windows are vertical in nature and are evenly distributed along the building walls.
- The minimum window requirement applies to the building façade along Girard Avenue South. Twenty percent of the walls of the first floor must be windows, and ten percent of each floor above must be windows. The project is in compliance with the minimum window requirement (see **Table I**).
- The ground floor along Girard Avenue South contains 100 percent active functions, meaning that it does not contain parking, loading, storage, or mechanical equipment.
- The principal roof line of the building will be flat, as is consistent with the other multiple-family buildings in the area. The majority of the single-family homes in the area have pitched roofs.
- The proposed parking areas are located within the building structure and below grade, and would be fully screened from view.
- The building reinforces the street wall, facilitates pedestrian access, and maximized natural surveillance. The building entrances at street level can be accessed by residents and on-site staff. There are large windows facing Girard Avenue South that maximize the opportunities for people to observe adjacent spaces and the public sidewalks.

Table I. Percentage of Windows Required for Elevations Facing a Public Street, Sidewalk, Pathway, or On-Site Parking

	Code Requirement		Proposed	
Residential Use – West Elevation				
1st Floor	20% minimum	240 sq. ft.	39%	464 sq. ft.
2nd Floor	10% minimum	165 sq. ft.	19%	320 sq. ft.
3 rd Floor	10% minimum	165 sq. ft.	19%	320 sq. ft.
4 th Floor	10% minimum	186 sq. ft.	26%	490 sq. ft.

Access and Circulation – Meets requirements

- All of the principal entrances leading into and out of the building are connected to the public sidewalk either directly or via a walkway.
- No transit shelters are proposed as part of this development.
- All proposed parking for would be located within the building and would be accessed via the public alley to the rear of the site, which is allowed for residential uses by Chapter 530 of the zoning code. Vehicular access has been designed to minimize conflicts with pedestrians and surrounding residential uses.
- According to the materials submitted by the applicant, approximately 82.8 percent of the site would be impervious, which is below the 85 percent maximum in the R5 zoning district.

Landscaping and Screening – Requires alternative compliance

- The composition and location of landscaped areas complement the scale of the development and its surroundings.
- The zoning code requires that at least 20 percent of the site not occupied by buildings be landscaped. The lot area of the site is 22,203 square feet and the building footprint is 15,200 square feet. The difference is 7,003 square feet, and 20 percent of this number is 1,401 square feet. The applicant is proposing approximately 3,813 square feet of landscaping on the site, or approximately 54 percent of the site not occupied by the building.
- The zoning code requires that the site contain at least one canopy tree per 500 square feet of required green space and at least 1 shrub for each 100 square feet of required green space (see **Table 2**). The tree requirement for this site is three and the shrub requirement is fifteen. The applicant is providing a total of four canopy trees and 117 shrubs on-site, as well as a variety of perennials, grasses, and vines. The applicant is also proposing five new canopy trees and several perennials that would be located in the public the right-of-way along Girard Avenue South.
- All areas not occupied by buildings contain landscaping.
- There is no surface parking proposed for the site, however, the applicant is proposing a surface loading area between the rear of the building and the public alley, which is subject to the screening and landscaping requirements for parking areas per Chapter 530. The applicant is not proposing any screening for the loading area, so this item requires alternative compliance.

Table 2. Landscaping and Screening Requirements

	Code Requirement	Proposed
Lot Area	--	22,203 sq. ft.
Building footprint	--	15,200 sq. ft.
Remaining Lot Area	--	7,003 sq. ft.
Landscaping Required	1,401 sq. ft.	3,813 sq. ft.
Canopy Trees (1: 500 sq. ft.)	3 trees	4 trees
Shrubs (1: 100 sq. ft.)	15 shrubs	117 shrubs

Additional Standards – Meets requirements

- There are no surface parking spaces proposed on the site.
- There are no important elements of the city near the site that will be obstructed by the proposed building.
- This building should have minimal shadowing effects on public spaces and adjacent properties.
- This building should have minimal wind effects on the surrounding area.
- The site plan complies with crime prevention design elements as the building entrances are located up to the front property lines, there are windows where people can see in and out along all levels of the building, and there are lights located near all of the entrances and throughout the grounds.
- This site is neither historically designated nor is it located in a historic district.

2. Conformance with all applicable regulations of the zoning ordinance.

The proposed use is *permitted* in the R5 District.

Off-street Parking and Loading – Meets requirements

- As if the writing of this staff report, the minimum parking requirement for the development is 40 spaces, or one per dwelling unit. The off-street parking requirement for this project will be zero once the recently adopted changes to Chapter 541, Off-Street Parking and Loading, are in effect. There will be a total of 53 accessory parking spaces provided, as shown in **Table 3**. The applicant is proposing 41 standard spaces, 10 compact spaces, and two accessible spaces.
- The minimum bicycle parking requirement for multiple-family dwellings with five or more units is one space per two dwelling units. The development contains 40 dwelling units and the minimum number of required bicycle parking spaces for the residential uses is 20, of which at least 18 (90 percent) must meet the standards for long-term bicycle parking per section 541.180 of the zoning code. The applicant is proposing to provide 20 long-term bicycle parking spaces within the building for residents, as shown in **Table 4**.
- The development is not subject to a minimum loading requirement. However, the applicant has designated an at-grade loading area to the rear of the building, behind the building and public alley.

Table 3. Vehicle Parking Requirements Per Use (Chapter 54I)

	Minimum Vehicle Parking	Maximum Parking Allowed	Proposed
Residential dwellings	40	--	53

Table 4. Bicycle Parking and Loading Requirements (Chapter 54I)

	Minimum Bicycle Parking	Minimum Short-Term	Minimum Long-Term	Proposed	Loading Requirement	Proposed
Residential dwellings	20	--	18 (not less than 90%)	20	0	1

Building Bulk and Height – Meets requirements

- The maximum floor area ratio (F.A.R.) in the R5 zoning district is 2.0. The development qualifies for the enclosed parking density bonus, for a maximum of 2.40 in allowed F.A.R.
- The lot in question is 22,203 square feet in area. The applicant is proposing 51,072 square feet in gross floor area, for a total F.A.R. of 2.28.
- The proposed structure would be 4 stories tall, or 46 feet, 9 inches. The applicant is proposing to construct six rooftop enclosures that would be exclusively used as individual stairways leading from fourth floor units to the private rooftop terraces, and one elevator and one stairway enclosure that would be accessible to all residents of the building. The proposed building height is within the 4 stories or 56-foot maximum that is permitted in the R5 district, based on the assumption that the enclosures are less than fourteen feet tall and are set back from the exterior building walls by one foot for each foot that they project above the roof surface, and therefore do not constitute additional height.

Table 5. Building Bulk and Height Requirements

	Code Requirement	Proposed
Lot Area	--	22,203 sq. ft. / 0.51 acres
Gross Floor Area (GFA)	--	51,072 sq. ft.
Minimum Floor Area Ratio (GFA/Lot Area)	--	--
Maximum Floor Area Ratio (GFA/Lot Area)	2.40	2.28
Maximum Building Height	4 stories or 56 feet, whichever is less	4 stories, 46 feet, 9 inches

Lot Requirements – Meets requirements

- The proposed development is within the required minimum and maximum lot requirements for the R5 district.

Table 5. Lot Requirements Summary

	Code Requirement	Proposed
Dwelling Units (DU)	--	40 DUs
Density (DU/acre)	--	78 DU/acre
Minimum Lot Area	Not less than 5,000 sq. ft.	22,203 sq. ft.
Maximum Impervious Surface Area	85%	82.8%
Maximum Lot Coverage	70%	68%
Minimum Lot Width	40 ft.	172 ft.

Yard Requirements – Requires variance(s)

- The west, front yard setback along Girard Avenue South is 15 feet. The applicant is requesting a variance to allow two ground floor patios and four fourth-story balconies exceeding 50 square feet in height within the required front yard.
- The required interior side yard and rear yard requirement is 5+2x, where x equals the number of stories above the first floor. The resulting setback along the north, south, and east property lines is 11 feet. The applicant has applied for variances to allow a transformer, area wells, and a loading area within the required interior side yards and rear yards, as described in detail in the Analysis section of this report, and as demonstrated in **Table 6**.

Table 6. Minimum Yard Requirements

	Zoning District	Proposed
Front (West)	15 ft.	15 ft. – building wall Ground level patios and balconies exceeding 50 square feet in area require variances.
Interior Side (North)	11 ft.	11 ft. – building wall 8 ft. – area well
Interior Side (South)	11 ft.	11 ft. – building wall 3 ft. - transformer
Rear (East)	11 ft.	11 ft. – building wall 8 ft. – area well 0 ft. – loading area

Signs – Meets requirements

- Signs are subject to Chapter 543 of the Zoning Code. All new signs are required to meet the requirements in Chapter 543. The applicant is proposing one attached sign that would be mounted above the primary entrance facing Girard. The proposed development would be allowed to have up to one, non-illuminated flat wall identification sign not exceeding 32 square feet in area and 14 feet in height.
- The proposed sign would be approximately 14 feet wide and 1.5 feet tall, for a total of 21 feet. The proposed height would be 12 feet above grade, and it would not be illuminated.

Table 7. Signage Summary

	Number Allowed/Lot	Proposed Number	Maximum Size Allocation	Maximum Area Per Sign	Proposed Area	Maximum Allowed Height	Proposed Height
Attached	1	1	--	32 sq. ft.	21 sq. ft.	14 ft.	12 ft.

Refuse Screening – Meets requirements

- There will be trash and recycling rooms located within the building on the first floor.

Screening of Mechanical Equipment – Meets requirements

- The transformer along the south side of the building would be fully screened with a six-foot wood fence on all four sides.

Lighting – Meets requirements with Conditions of Approval

- A lighting plan showing footcandles shall be submitted to show compliance with the requirements of Chapter 535, Regulations of General Applicability.

Specific Development Standards – Meets requirements

The proposed development is exempt from the specific development standard that multiple-family dwellings with at least one unit with three or more bedrooms must provide an outdoor children’s play area, as none of the units contain more than two bedrooms.

3. Conformance with the applicable policies of The Minneapolis Plan for Sustainable Growth.

The Minneapolis Plan for Sustainable Growth identifies the site as Urban Neighborhood on the future land use map. The proposed development is consistent with the following principles and policies outlined in the comprehensive plan:

Land Use Policy 1.2: Ensure appropriate transitions between uses with different size, scale, and intensity.

- 1.2.1 Promote quality design in new development, as well as building orientation, scale, massing, buffering, and setbacks that are appropriate with the context of the surrounding area.

Land Use Policy 1.3: Ensure that development plans incorporate appropriate transportation access and facilities, particularly for bicycle, pedestrian, and transit.

- 1.3.1 Require safe, convenient, and direct pedestrian connections between principal building entrances and the public right-of-way in all new development and, where practical, in conjunction with renovation and expansion of existing buildings.

Land Use Policy 1.8: Preserve the stability and diversity of the city’s neighborhoods while allowing for increased density in order to attract and retain long-term residents and businesses.

- 1.8.1 Promote a range of housing types and residential densities, with highest density development concentrated in and along appropriate land use features.

Urban Design Policy 10.4: Support the development of residential dwellings that are of high quality design and compatible with surrounding development.

- 10.4.1 Maintain and strengthen the architectural character of the city’s various residential neighborhoods.

- 10.4.2 Promote the development of new housing that is compatible with existing development in the area and the best of the city's existing housing stock.

Urban Design Policy 10.5: Support the development of multi-family residential dwellings of appropriate form and scale.

- 10.5.2 Medium-scale, multi-family residential development is more appropriate along Commercial Corridors, Activity Centers, Transit Station Areas and Growth Centers outside of Downtown Minneapolis.

Urban Design Policy 10.6: New multi-family development or renovation should be designed in terms of traditional urban building form with pedestrian scale design features at the street level.

- 10.6.1 Design buildings to fulfill light, privacy, and view requirements for the subject building as well as for adjacent properties by building within required setbacks.
- 10.6.3 Provide appropriate physical transition and separation using green space, setbacks or orientation, stepped down height, or ornamental fencing to improve the compatibility between higher density and lower density residential uses.
- 10.6.4 Orient buildings and building entrances to the street with pedestrian amenities like wider sidewalks and green spaces.
- 10.6.5 Street-level building walls should include an adequate distribution of windows and architectural features in order to create visual interest at the pedestrian level.

Urban Design Policy 10.8: Strengthen the character and desirability of the city's urban neighborhood residential areas while accommodating reinvestment through infill development.

- 10.8.1 Infill development shall reflect the setbacks, orientation, pattern, materials, height and scale of surrounding dwellings.

Urban Design Policy 10.14: Encourage development that provides functional and attractive gathering spaces.

Urban Design Policy 10.16: Design streets and sidewalks to ensure safety, pedestrian comfort and aesthetic appeal.

- 10.16.2 Provide streetscape amenities, including street furniture, trees, and landscaping, that buffer pedestrians from auto traffic, parking areas, and winter elements.

Urban Design Policy 10.18: Reduce the visual impact of automobile parking facilities.

Urban Design Policy 10.22 Use Crime Prevention Through Environmental Design (CPTED) principles when designing all projects that impact the public realm, including open spaces and parks, on publicly owned and private land.

- 10.22.2 Orient new housing to the street to foster safe neighborhoods.
- 10.22.3 Design the site, landscaping, and buildings to promote natural observation and maximize the opportunities for people to observe adjacent spaces and public sidewalks.

- 10.22.5 Locate landscaping, sidewalks, lighting, fencing and building features to clearly guide pedestrian movement on or through the site and to control and restrict people to appropriate locations.
- 10.22.7 Locate entrances, exits, signs, fencing, landscaping, and lighting to distinguish between public and private areas, control access, and to guide people coming to and going from the site.

CPED believes that the proposed development is in conformance with the above policies of *The Minneapolis Plan for Sustainable Growth*.

4. Conformance with applicable development plans or objectives adopted by the City Council.

The site is located within the boundaries of the Midtown Greenway Land Use and Development Plan, adopted by the City Council in 2007, and the Upton Small Area Plan, adopted in 2008.

The Midtown Greenway Land Use and Development Plan identifies the site as high-density housing (40-120 dwelling units per acre) in its future land use map. The proposed project would be 78 dwelling units per acre, as consistent with the future land use map in the plan. Page 42 cites additional support for the project, which says that new housing developments “should be generally located in areas that have good transit access, and that are close to commercial goods and services and in other high-amenity areas.” The subject site is located a block away from the Uptown Area Activity Center and the Hennepin Avenue Commercial Corridor. The project is also overlaps the transit-oriented and urban-oriented development districts, which both include apartment buildings as an appropriate type of development.

The subject site is within the Urban Village North Sub Area in the Uptown Small Area Plan. The recommended uses for the Urban Village are primarily mixed-use/residential and primarily 3-5 stories in height, with some opportunities for taller buildings (page 10). The proposed four-story residential building would be appropriate for the Urban Village. The future land use map in the Uptown Small Area Plan calls for high density housing (50 to 120 dwelling units per acre) in this location, while page 57 of the plan calls for “[n]ew high-density housing should line the north side of the greenway and extend to approximately mid-block between 28th Street and the Greenway. Buildings north of the Greenway should be of a smaller scale than those south of the Greenway in order to provide transitions into the lower density residential areas.” The guidance from the small area plan supports the density, height, and character of the proposed project.

5. Alternative compliance.

The Planning Commission or zoning administrator may approve alternatives to any site plan review requirement upon finding that the project meets one of three criteria required for alternative compliance. Alternative compliance is requested for the following requirements:

- **Blank walls.** On the south elevation facing the interior lot line, there is a section of the ground floor wall that is 42 feet in length that is void of windows, entries, recesses, and projections. There is also a 26-foot long blank wall on the north elevation. Both blank walls require alternative compliance. The walls cover the first floor parking areas. As an alternative, the applicant is proposing more than the required amount of on-site landscaped area and shrubs to offset the blank walls on the north and south elevations. While additional year-round shrubs or ornamental trees would assist in mitigating the blank walls on the north and south elevations, staff finds that it would be reasonable to require the applicant to comply with the ordinance and remove all blank walls exceeding 25 feet.
- **Screening of loading areas.** There is no surface parking proposed for the site, however, the applicant is proposing a surface loading area to the rear of the building, which is subject to the screening and landscaping requirements for parking areas per Chapter 530. The applicant is not

proposing any screening for the loading area, so this item requires alternative compliance. Staff is recommending that the City Planning Commission grant alternative compliance for the loading area, as it would not be practical to install a sufficient landscaped area between the building wall and alley while allowing for the a high-density residential development and an off-street loading space for residents of the proposed building, given the Analysis provided in the previous section. As an alternative, staff recommends a condition that requires the applicant to provide additional landscaped area between the building and the alley.

RECOMMENDATIONS

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt staff findings for the applications by Michael Stoddard for the properties located at 2809, 2815, 2817, and 2821 Girard Avenue South:

A. Variance of the minimum required front yard setback.

Recommended motion: **Approve** the application for a variance to reduce the required 15-foot front yard setback to allow two ground floor patios and four fourth-floor balconies exceeding 50 square feet in area.

B. Variance of the minimum required north interior side yard setback.

Recommended motion: **Approve** the application for a variance to reduce the required 11-foot north interior side yard setback to 8 feet to allow an area well, subject to the following conditions:

1. The area well facing the north interior lot line shall be used for air intake only.

C. Variance of the minimum required south interior side yard setback.

Recommended motion: **Approve** the application for a variance to reduce the minimum 11-foot south interior side yard setback to three feet to allow for a transformer.

D. Variance of the minimum required rear yard setback.

Recommended motion: **Approve** the application for a variance to reduce the required 11-foot rear yard setback to 0 feet to allow a loading area, and 8 feet to allow an area well, subject to the following conditions:

1. The applicant shall revise the first floor plan to provide an unobstructed route between the loading area and elevator lobby.

E. Site Plan Review for a new, four-story residential building with 40 dwelling units.

Recommended motion: **Approve** the application for a new, four-story residential building with 40 dwelling units, subject to the following conditions:

1. Approval of the final site, landscaping, elevation, and lighting plans by the Department of Community Planning and Economic Development.
2. All site improvements shall be completed by July 20, 2017, unless extended by the Zoning Administrator, or the permit may be revoked for non-compliance.
3. The applicant shall revise the landscape plan to provide landscaping in all areas that are not used for the designated loading area or driveways between the rear building wall and public alley.
4. As required by section 530.120, the applicant shall eliminate walls exceeding 25 feet in length that are void of windows, entries, recesses, and projections.

ATTACHMENTS

1. PDR report
2. Written description and findings submitted by applicant
3. Zoning map
4. Survey
5. Plans
6. Elevations
7. Renderings
8. Photos
9. Truck turning scenario on Girard

Girard Avenue Apartments

2817 Girard Avenue South

Statement of Purpose and Project Description

June 25, 2015

The Proposed Girard Avenue Apartments Project is located on Girard Avenue North between 28th street and the Midtown greenway. The site includes 4 lots (2809, 2815, 2817, 2821 Girard Ave) and are a combined area of 22,203 sf (0.51 acres). The Lots are zoned R5, Multiple-family district, with no overlay districts. Located in the Lowry Hill East Neighborhood, the project site lies within the North Sub Area of the Urban Village as described in the Uptown Small Area Plan. Directly to the south is the new Flux Apartment building, and 3 story apartment building adjoins the north property line.

The project will replace 3 residential houses and vacant lot with a 40 unit, 4 story apartment building. The total building height is 46'-9" to the top of the parapet and 55'-0" to the top of the rooftop deck access stairs. The south rooftop deck access stair is set back approximately 15 feet from the parapet edge. The North stair is flush with the exterior wall. The building is set back 15 feet from the property line along Girard Avenue and 11 feet from the side and rear property lines. The façade along Girard Avenue steps back 2'-8" at the 4th floor and an additional 4 feet at the corners.

The building design provides active street fronts and a sculpted building envelope through multiple design strategies. The ground floor units are walk up units with personal porch entries and 15 foot deep landscaped individual front yards. The Girard Avenue façade is articulated with large areas of glass and metal awnings at the unit living rooms on the first floor and corner fourth floor units. The façade materials emphasize a strong first and third floor, and individual unit character. The building façade steps back at the 3rd floor and is articulated with large balconies and a change in façade material. The building materials are brick, stucco, metal panel, cementitious panel and facades that are embellished with metal balconies and metal awnings.

The building will have a total of 53 enclosed parking stalls in one level of underground garage and in part of the ground floor level. The garages are accessed from the public alley. 20 bike racks will be provided within the parking garage. Bike racks will be installed on the walls of the individual parking stalls and floor mounted bike racks will be provided for residents without automobiles. The site has convenient access to transit options. The Uptown transit center is one block away from the site. The Midtown Greenway is a convenient block away which provides both a transit and recreational amenity for the residents.

Required Zoning Applications:

1. Site Plan Review
2. Variance to allow 2 ground level patios exceeding 50 square feet, and four (4) fourth floor balconies exceeding 50 square feet to extend into the required front yard.
3. Variance to allow a loading area in the rear yard.
4. Variance to allow Area wells in the side and rear yards
5. Variance to allow a transformer in the side yard

Variance for Yard Setbacks Required Findings

Variances are being requested to allow the following projections into the required yards:

- Two ground level patios exceeding 50 square feet in area to project into the required front yard
- Four (4) fourth-floor balconies exceeding 50 square feet in area to project into the required front yard.

The Project meets the required findings for a variance under § 525.500 of the Zoning Code.

1) Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.

The ground floor patios and projecting balconies are provided as an effort to address the goals established in the Uptown Small Area Plan, which are to provide active street fronts along the front yard and sculpted facades. To achieve these goals, the building steps back at the corners to provide a sculpted façade and as a result these patios are larger than 50 square feet. The larger patios are intended to provide usable patio space that in turn will promote active uses at the front yard. The fourth floor steps back 2-8". Four of the fourth floor balconies are 5 feet deep, which results in these balconies projecting 2'-4" into the front yard setback. This has been done to ensure that the balconies will be useable. The combination of the building step-back and projecting balconies provide another sculpted façade element that addresses the goals of the Uptown Small Area Plan.

2) The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.

The proposed projections into the front yard are reasonable and consistent with the intent of the ordinances and the Uptown Small Area Plan. The intent of the ground floor patios and fourth floor balconies that project into the front yard is to establish active uses and sculpted building facades along the street facing façade. The purpose of yard controls is to provide for orderly development and use of land to minimize conflicts among land uses by regulating the dimensions of yards in order to provide adequate light, air, open space and separation of uses. The proposed setbacks allow for redevelopment with high density housing in keeping with the City's land use guidance for the site. The setbacks are also reasonable because they are consistent with the established setbacks of existing developments in the area.

3) The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

The granting of the variances will not alter the essential character of the area, be injurious to the use or enjoyment of other properties, or be detrimental to the public welfare. The ground floor patios and 4th floor decks provide an active use on the street, which in turn, promote a presence by building residents providing added public safety with "eyes on the street."

Variance for Yard Setbacks Required Findings

Variations are being requested to allow a loading area in the rear yard.

The Project meets the required findings for a variance under § 525.500 of the Zoning Code.

1) Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.

Girard Avenue is a dead end street that ends at the Midtown Greenway. Trucks entering Girard Avenue from 28th street do not have maneuvering clearances to turn around and park in front of Girard Avenue Apartments. The alley to the west of Girard Avenue is not available for access to the property as this alley is not intended for through traffic. These unique circumstances create practical difficulties in providing a loading area on the west side of Girard Avenue.

2) The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.

The proposed loading area in the rear yard is reasonable and consistent with the intent of the ordinances and the comprehensive plan. The purpose of yard controls is to provide for orderly development and use of land to minimize conflicts among land uses by regulating the dimensions of yards in order to provide adequate light, air, open space and separation of uses. The proposed loading area will provide a designated location for tenants to move in and out of the building. Signage will be provided to ensure that this area will be used for loading only and will be monitored by building management.

3) The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

The granting of the variance will not alter the essential character of the area, be injurious to the use or enjoyment of other properties. The loading area will provide a location for tenants to move in and out of the building that is otherwise not feasible on Girard Avenue and is located to not impede traffic on the alley. The proposed variance will not be detrimental to the health safety or welfare of the general public or of those utilizing the property or nearby properties.

Variance for Yard Setbacks Required Findings

Variations are being requested to allow area wells in the side yard and rear yards.

The Project meets the required findings for a variance under § 525.500 of the Zoning Code.

1) *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

Area wells are necessary to provide fresh air and exhaust air for the lower level garage. The supply and exhaust locations need to be at opposite ends of the garage to provide the recommended air circulation throughout the garage. As a result, area wells are located adjacent to the 1st floor unit that faces Girard Avenue and the exercise room that faces the alley. The area wells provide direct access to outside air that would otherwise require large chases and louvers on the exterior wall instead of windows at these two locations. The area wells will be unobtrusive as they will extend approximately 8" above grade and will be surrounded with decorative landscaping.

2) *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The proposed area wells within the side and rear yard are reasonable and consistent with the intent of the ordinances and the comprehensive plan. The purpose of yard controls is to provide for orderly development and use of land to minimize conflicts among land uses by regulating the dimensions of yards in order to provide adequate light, air, open space and separation of uses. The proposed area wells will not infringe on adequate light, air and open space of adjacent properties, and they will be screened by decorative landscaping. The proposed use of area wells will be significantly more aesthetically appealing than louvers on the exterior wall.

3) *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

The granting of the variance will not alter the essential character of the area, be injurious to the use or enjoyment of other properties. The area wells are constructed to be unobtrusive and will have a protective metal grate and landscape screening. The proposed variance will not be detrimental to the health safety or welfare of the general public or of those utilizing the property or nearby properties.

Variance for Yard Setbacks Required Findings

Variations are being requested to allow a transformer in the side yard.

The Project meets the required findings for a variance under § 525.500 of the Zoning Code.

1) Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.

We are requesting a variance to place the transformer in the southwest corner of the site within the south side yard. The size of the proposed apartment footprint is consistent with the cities policies encouraging development of high density housing at this location, and as a result, limits the opportunities to locate the transformer within the setbacks. The transformer will be screened with a 6' high wood fence that is additionally screened with landscaping. The location of the transformer will be unobtrusive to the neighboring property to the south as it fully screened buy their privacy fence and surrounding landscaping.

2) The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.

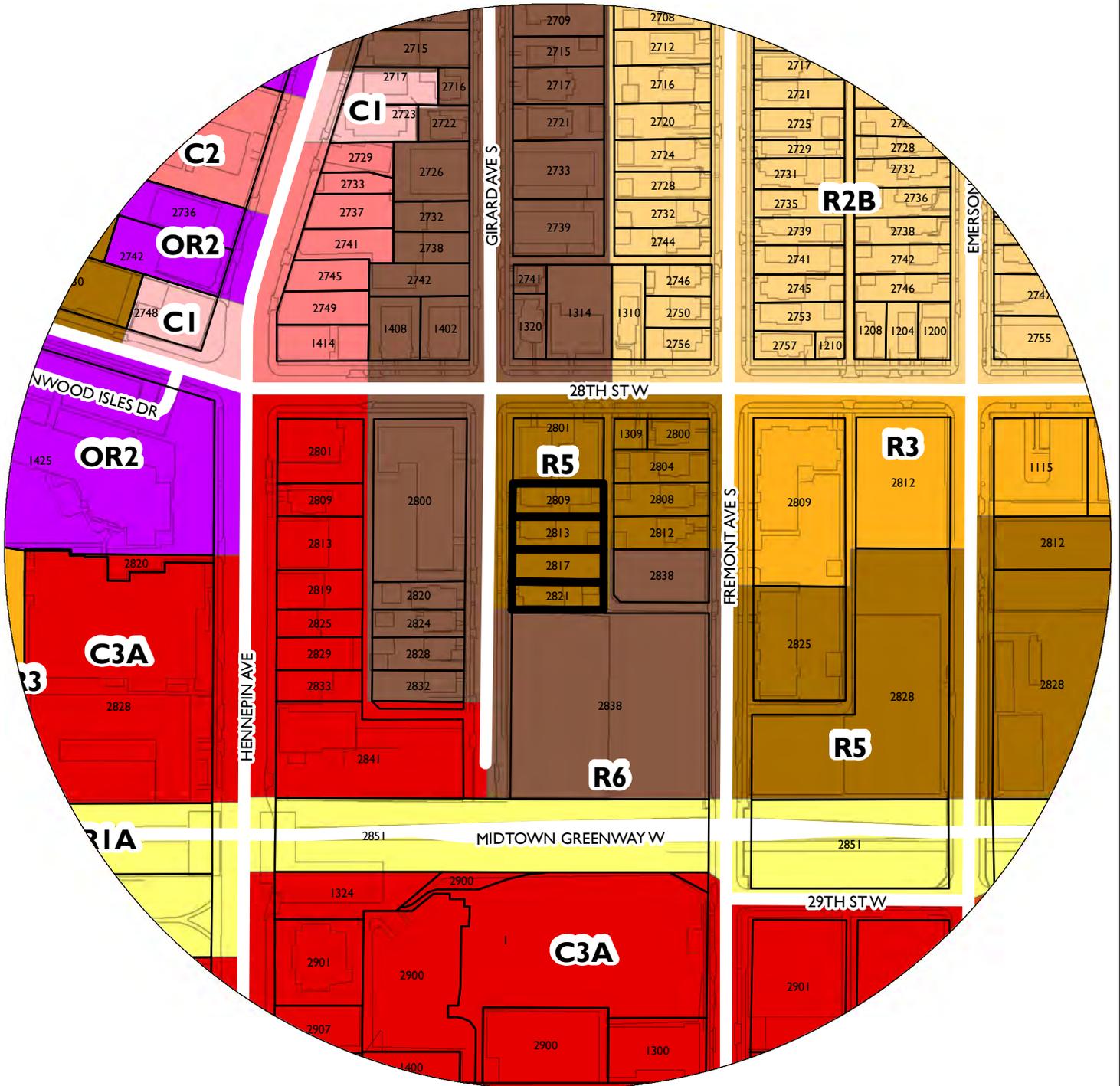
The proposed transformer within the side and rear yard is reasonable and consistent with the intent of the ordinances and the comprehensive plan. The purpose of yard controls is to provide for orderly development and use of land to minimize conflicts among land uses by regulating the dimensions of yards in order to provide adequate light, air, open space and separation of uses. The proposed transformers will not infringe on adequate light, air and open space of adjacent properties, and the will be screened by decorative landscaping.

3) The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

The granting of the variance will not alter the essential character of the area, be injurious to the use or enjoyment of other properties. The transformer is placed in a allocation that is least visible from Girard Avenue, and is fully screened. The proposed variance will not be detrimental to the health safety or welfare of the general public or of those utilizing the property or nearby properties.

NAME OF APPLICANT

WARD



PROPERTY ADDRESS

2809-2821 Girard Ave S

FILE NUMBER

BZZ-7248

ALTA/ACSM Land Title Survey for: CNC CONSTRUCTION, LLC

Property Described As:

Lot 7, Block 7, Windom's Addition to Minneapolis, according to the recorded plat thereof, Hennepin County, Minnesota.

AND

Lot 8, Block 7, Windom's Addition to Minneapolis, according to the recorded plat thereof, Hennepin County, Minnesota.

AND

Lot 9, Block 7, Windom's Addition to Minneapolis, according to the recorded plat thereof, Hennepin County, Minnesota.

AND

Lot 10, Block 7, Windom's Addition to Minneapolis, according to the recorded plat thereof, Hennepin County, Minnesota.

Site Address:

Site Address: 2821 Girard Avenue South, Minneapolis, Minnesota 55408

Site Address: 2817 Girard Avenue South, Minneapolis, Minnesota 55408

Site Address: 2813 Girard Avenue South, Minneapolis, Minnesota 55408

Site Address: 2809 Girard Avenue South, Minneapolis, Minnesota 55408

Cemeteries and Burial Grounds:

No observed evidence of cemeteries and burial grounds on site or adjacent properties.

Water Features:

No observed water features on this site. No wetland delineation provided and is not in the scope of work.

Right of Way Widths

Right of way width from Half Section Maps as shown on plat map.

Observed Evidence of Current Earth Moving Work, Building Construction or Building Additions

No observed evidence of current earth moving work, building construction or building additions.

Proposed Changes in Street Right-of-Way Lines and Observed Evidence of recent Street or Sidewalk Construction or Repairs

No proposed Changes in Street Right-of-Way Lines as per Mr. Scott Graykowski, City of Minneapolis Public Works and no observed evidence of recent Street or Sidewalk Construction or Repairs.

Observed Evidence together with plans from Utility Companies:

Gopher State One Call was contacted, Ticket Numbers 150470264, 150470265, 150470270 and 150470272 to mark all underground utilities or supply maps by 1:00 pm on Friday, February 20, 2015. The utility locations are shown on the drawing as per Record Drawings provided. The following utility companies were contacted by Gopher State One Call to mark the utilities:

US Internet Corp, Center Point Energy, City of Minneapolis, Comcast, MCI, Level 3 Communications, Minneapolis Park and Rec, Metro Transit, Metro Waste Commission, Centurylink, and Xcel Energy.

Record Drawings were provided by:

1) City of Minneapolis water mains, sanitary sewer mains, and storm sewer.
City of Minneapolis Public Works Water Treatment and Distribution Services has no water service tap information for 2809 AND 2813 Girard Avenue South as per Mr. Anthony Lambert, Engineering Technician.

Centurylink, City of Minneapolis Traffic, Comcast, Level 3 Communications, Metro Transit, Metro Waste Commission, Minneapolis Park and Rec, and US Internet Corp reported Clear No Conflict.

City of Minneapolis Water reported 2 marked. No markings in the field were observed.

Center Point Energy Gas and MCI did not respond.

Other

All mineral rights were reserved by State of Minnesota, in an instrument filed as Document No. 741260, on Lot 8, Block 7, Windom's Addition to Minneapolis, according to the recorded plat thereof, Hennepin County, Minnesota.

Title Commitment:

In locating or identifying recorded easements or other recorded documents I have relied upon Commitment for Title Insurance by the following:

Stewart Title Guaranty Company issued by its Agent Guaranty Commercial Title, Inc., having a commitment effective date of March 04, 2014, at 7:00 a.m. and an issue date of March 21, 2014, and bearing File No. 60139.

Old Republic National Title Insurance Company issued by its Agent Guaranty Commercial Title, Inc., having a commitment effective date of May 14, 2013, at 7:00 a.m. and an issue date of June 17, 2013, and bearing File No. 59334.

Stewart Title Guaranty Company issued by its Agent Guaranty Commercial Title, Inc., having a commitment effective date of June 05, 2014, at 7:00 a.m. and an issue date of June 24, 2014, and bearing File No. 60410.

Stewart Title Guaranty Company issued by its Agent Guaranty Commercial Title, Inc., having a commitment effective date of December 02, 2014, at 7:00 a.m. and an issue date of December 18, 2014, and bearing File No. 61009.

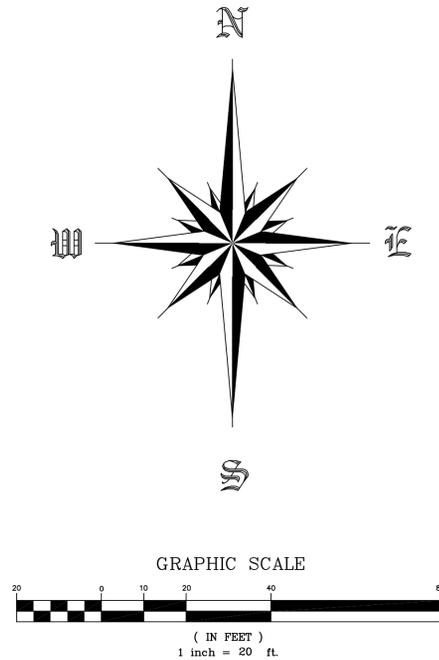
To KLP Real Estate, LLC, a Minnesota limited liability company, and Guaranty Commercial Title, Inc and Stewart Title Guaranty Company and Old Republic National Title Insurance Company as per their Title Commitments as outlined above:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 7(a), 8, 11(b), 16, 17, and 20 of Table A thereof. The field work was completed on September 25, 2013.

Date of Plat or Map: February 25, 2015

Jonathan L. Faraci

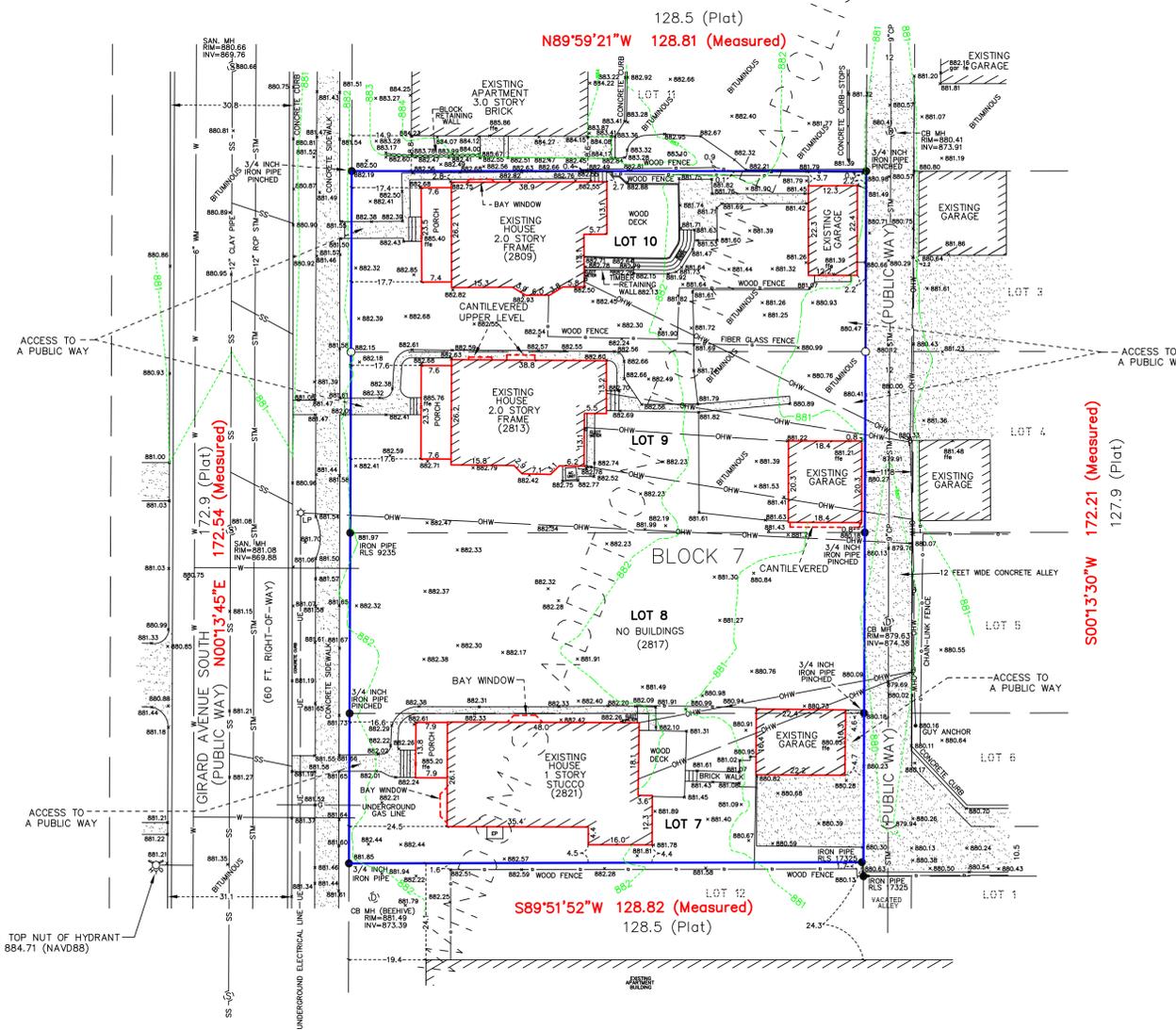
Lake & Land Surveying, Inc.
Jonathan L. Faraci, Registered Land Surveyor
Minnesota Registration Number 16464



LEGEND

- DENOTES IRON MONUMENT FOUND
- DENOTES 12 INCH COMMON SPIKE SET AND MARKED BY LIC. NO. 16363
- ⊕ DENOTES STORM SEWER CATCH BASIN/MANHOLE
- ⊙ DENOTES SANITARY MANHOLE
- ⊞ DENOTES CATCH BASIN
- ⊞ DENOTES GAS METER
- ⊞ DENOTES ELECTRIC METER
- ⊞ DENOTES UTILITY POLE
- G DENOTES GAS LINE
- OHW DENOTES OVERHEAD UTILITY WIRES
- STM DENOTES STORM SEWER
- W DENOTES WATER MAIN AND SERVICE
- SS DENOTES SEWER MAIN AND SERVICE
- ⊞ DENOTES RETAINING WALL
- ⊞ DENOTES FIRE HYDRANT
- ⊞ DENOTES LIGHT POLE
- DENOTES CHAIN LINK FENCE
- DENOTES WOOD FENCE
- DENOTES CONCRETE SURFACE
- x886.54 DENOTES EXISTING SPOT ELEVATION
- 882--- DENOTES EXISTING CONTOUR

BENCHMARK: TOP NUT OF HYDRANT
ELEVATION= 884.71 (NAVD88)



Client CNC CONSTRUCTION, LLC 4540 210TH LANE NE EAST BETHEL, MN 55011 PHONE: 612-789-2155	Design by	Original date 2-25-15	I hereby certify that this plan, specification or report was prepared by me or under my direct supervision, and that I am a duly Registered Surveyor under the laws of the State of Minnesota. <i>Jonathan L. Faraci</i> Date: 2-25-15 Minnesota Reg. No. 16464
	Drawn by JF/KK	Revisions 6-5-15 add bid to adjacent south property, and setback distances to north and south adjacent properties.	
LAKE AND LAND SURVEYING, INC. LAND SURVEYING/CIVIL ENGINEERING 1200 CENTRE POINTE CURVE, STE 275 MENOTA HEIGHTS, MN 55120 PHONE (651) 776-6211 E-MAIL: DEVENGP@KQUEST.NET	Survey book No.	S.A.P. number 2014.177	Page title ALTA/ACSM LAND TITLE SURVEY Sheet number 1 of 1



CALL BEFORE YOU DIG!
Gopher State One Call
 TWIN CITY AREA: 651-454-0002
 TOLL FREE: 1-800-252-1166

Project Name:

GIRARD APARTMENTS

Minneapolis, MN

Owner/Developer:

Professional Services:

LOUCKS ASSOCIATES

Planning • Civil Engineering • Land Surveying
 Landscape Architecture • Environmental
 7200 Hennepin Lane, Suite 300
 Maple Grove, MN 55369
 Telephone: (763) 424-5505
 www.LoucksAssociates.com

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CADD Qualification:

CADD files prepared by the Consultant for this project are instruments of the Consultant professional services for use solely with respect to this project. These CADD files shall not be used on other projects, for additions to this project, or for completion of this project by others without written approval by the Consultant. With the Consultant's approval, others may be permitted to obtain copies of the CADD drawing files for information and reference only. All intentional or unintentional revisions, additions, or deletions to these CADD files shall be made at the full risk of that party making such revisions, additions or deletions and that party shall hold harmless and indemnify the Consultant from any & all responsibilities, claims, and liabilities.

C2-1.DWG/24x36

Submital:

03/11/15	CHECK SET
03/16/15	PDR SUBMITTAL
06/15/15	LAND USE APPLICATION
06/25/15	LAND USE APPLICATION RESUBMITTAL

Professional Signature:

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Minnesota.
NO FOR CONSTRUCTION
 License No. _____ Date _____

Quality Control:

Project Lead:	VJV	Drawn By:	WBS
Checked By:	VJV	Review Date:	06/25/15

Sheet Index:

1 of 1	ALTA/ACSM LAND TITLE SURVEY
C1-1	DEMOLITION PLAN
C2-1	SITE PLAN
C3-1	GRADING PLAN
C4-1	UTILITY PLAN
C8-1	CIVIL DETAILS
C8-2	CIVIL DETAILS
L1-1	LANDSCAPE PLAN

Sheet Title:

SITE PLAN

Project No.:

15028

Sheet No.:

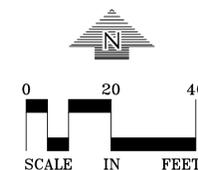
C2-1

SITE PLAN GENERAL NOTES

- SETBACKS:**
 FRONT BUILDING SETBACK = 15 FT
 SIDE BUILDING SETBACK = 11 FT.
 REAR BUILDING SETBACK = 11 FT.
- ZONING:**
 EXISTING ZONING = R5 PROPOSED ZONING = R5
- PARKING SUMMARY**
 UNDERGROUND REGULAR STALLS = 37 STALLS
 UNDERGROUND HANDICAPPED STALLS = 0 STALLS
 FIRST FLOOR ENCLOSED REGULAR STALLS = 14 STALLS
 FIRST FLOOR ENCLOSED HANDICAPPED STALLS = 2 STALLS
 TOTAL STALLS = 53 STALLS
- AREA**
 TOTAL SITE AREA = 22,203 SF
 EXISTING IMPERVIOUS SURFACE AREA = 9,304 SF = 41.9%
 EXISTING PERVIOUS SURFACE AREA = 12,899 SF = 58.1%
 PROPOSED BUILDING AREA = 15,200 SF
 PROPOSED IMPERVIOUS SURFACE AREA (INCLUDING BLDG.) = 18,390 AC. = 82.8%
 PROPOSED PERVIOUS SURFACE AREA = 3,813 SF OR AC. = 17.2%
- ALL PAVING, CONCRETE CURB, GUTTER AND SIDEWALK SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH THE DETAILS SHOWN PER SHEET C8-1 AND THE REQUIREMENTS OF THE CITY. SEE LANDSCAPE AND ARCHITECTURAL PLANS FOR ANY ADDITIONAL HARDSCAPE APPLICATIONS.**
- THE CITY DEPARTMENT OF ENGINEERING AND BUILDING INSPECTIONS DEPT. AND THE CONSTRUCTION ENGINEER SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO ANY WORK WITHIN THE STREET RIGHT OF WAY (SIDEWALK, STREET OR DRIVEWAYS)**
- MINNESOTA STATE STATUTE REQUIRES NOTIFICATION PER "GOPHER STATE ONE CALL" PRIOR TO COMMENCING ANY GRADING, EXCAVATION OR UNDERGROUND WORK.**
- SEE CONTRACT SPECIFICATIONS FOR ANY REMOVAL DETAILS.**
- ANY SIGN OR FIXTURES REMOVED WITHIN THE RIGHT OF WAY OR AS PART OF THE SITE WORK SHALL BE REPLACED BY THE CONTRACTOR IN ACCORDANCE WITH THE CITY REQUIREMENTS. THE CONTRACTOR SHALL PRESERVE AND MAINTAIN ANY EXISTING STREET LIGHTS AND TRAFFIC SIGNS PER THE REQUIREMENTS OF THE CITY. CLEAR AND GRUB AND REMOVE ALL TREES, VEGETATION AND SITE DEBRIS PRIOR TO GRADING. ALL REMOVED MATERIAL SHALL BE HAULED FROM THE SITE DAILY. ALL CLEARING AND GRUBBING AND REMOVALS SHALL BE PERFORMED PER THE CONTRACT SPECIFICATIONS. EROSION CONTROL MEASURES SHALL BE IMMEDIATELY ESTABLISHED UPON REMOVAL. (SEE SHEET C3-2)**
- THE CONTRACTOR SHALL BE REQUIRED TO OBTAIN ALL PERMITS FROM THE CITY AS REQUIRED FOR ALL WORK WITHIN THE STREET AND PUBLIC RIGHT OF WAY.**
- A SIGNIFICANT PORTION OF SITE IMPROVEMENTS NOT SHOWN ON THIS SHEET ARE DESCRIBED AND PROVIDED IN FURTHER DETAIL ON THE ARCHITECTURAL AND LANDSCAPE PLANS. THIS INCLUDES LANDSCAPING, LIGHTING AND OTHER FIXTURES.**
- B612 CONCRETE CURB AND GUTTER SHALL BE INSTALLED AT THE EDGE OF ALL COMMON DRIVES AND PARKING LOTS. THE CURB SHALL BE TAPERED AND DROPPED TO A RIBBON CURB ACROSS INDIVIDUAL DRIVEWAY ENTRANCES.**
- CONSTRUCTION NOTES:**
 A. PEDESTRIAN RAMPS SHALL BE PROVIDED AT THE LOCATIONS SHOWN AND AS SHOWN PER THE LANDSCAPE SITE PLANS.
 B. THE CONTRACTOR SHALL SAW-CUT BITUMINOUS AND CONCRETE PAVEMENTS AS REQUIRED PER THE SPECIFICATIONS. REMOVE EXISTING CURB AND GUTTER AND INSTALL B618 CONCRETE CURB AND GUTTER.
 C. SEE SHEETS C3-1 AND C4-1 FOR GRADING AND UTILITIES.
 D. ALL CONCRETE CURB AND GUTTER B612, CITY'S STANDARD PLATES. (SEE DETAIL SHEET).
 E. THE INTENT OF THE PROPOSED CONSTRUCTION IS TO PRESERVE AS MUCH OF THE EXISTING STREET PAVEMENT AS POSSIBLE, AND TO MILL AND OVERLAY. REMOVED PAVEMENT AREAS AND PATCHING SHALL BE INSTALLED PER PAVEMENT SECTION PROVIDED PER DETAIL SHEET.
- AN ENCROACHMENT PERMIT IS REQUIRED FOR ALL ELEMENTS IN THE PUBLIC RIGHT-OF-WAY. CONTACT BOB BOBLETT @ 612-673-2428 FOR PERMIT INFO.**
- PLACEMENT OF CITY STREET LIGHTING TO BE COORDINATED WITH BILL PRINCE AND IN ACCORDANCE WITH THE CITY'S LIGHTING POLICY. LIGHTS TO BE PLACED APPROXIMATELY 130' ON CENTER AS NEEDED.**

GENERAL NOTES

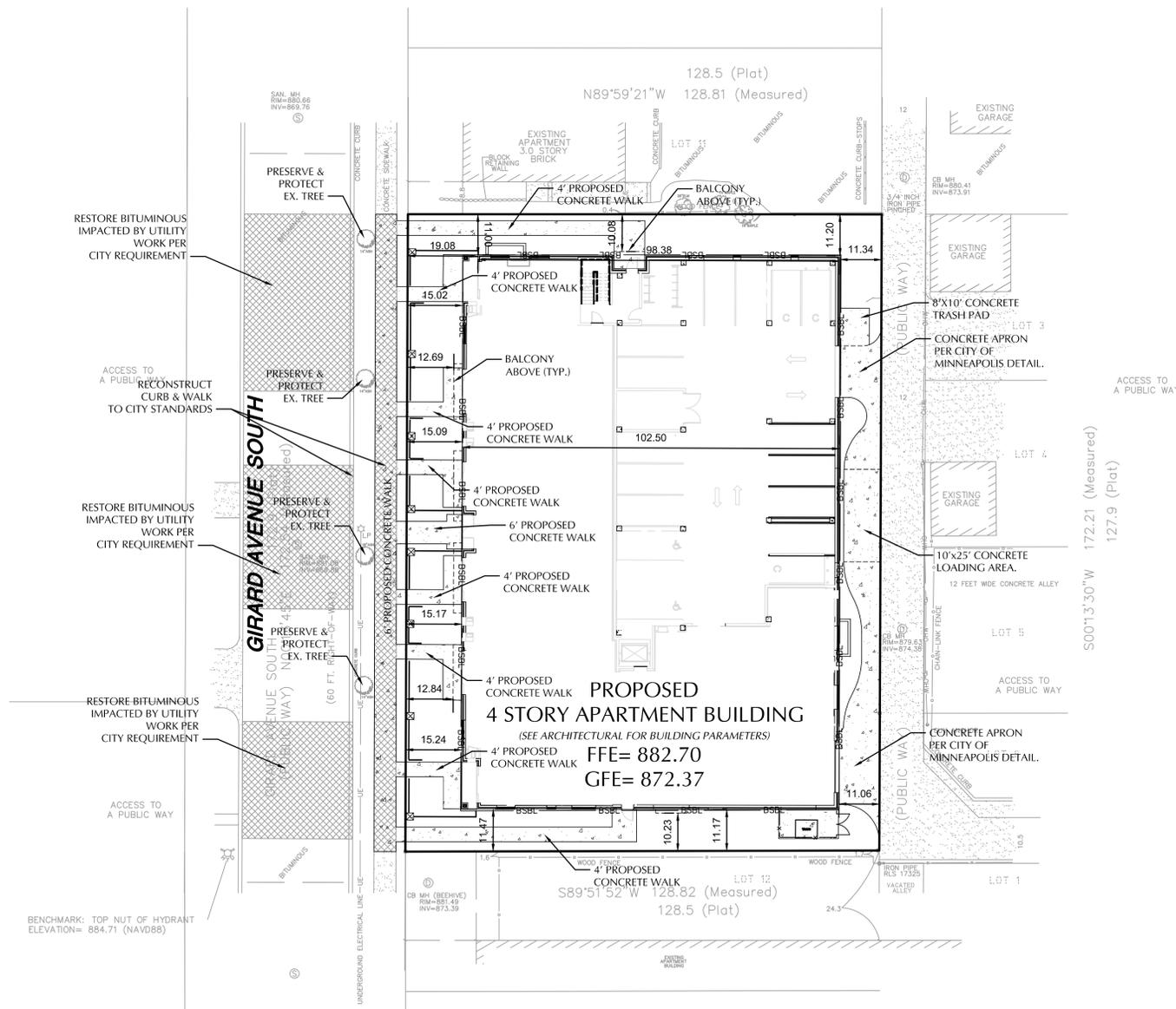
- REFER TO SHEET C8-1 FOR SHEET SPECIFIC NOTES AND SPECIFICATIONS**
- BENCH MARK**
 TOP NUT OF HYDRANT LOCATED ON WEST SIDE OF GIRARD AVENUE S. (SHOWN ON PLAN)
 ELEVATION = 884.71 (NAVD88)
- STREET LIGHTING**
 PLACEMENT OF CITY STREET LIGHTING TO BE COORDINATED WITH BILL PRINCE AND IN ACCORDANCE WITH CITY LIGHTING POLICY. LIGHTS TO BE PLACED APPROXIMATELY 130' ON CENTER AS NEEDED.



WARNING:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND /OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.





CALL BEFORE YOU DIG!
Gopher State One Call
 TWIN CITY AREA: 651-454-0002
 TOLL FREE: 1-800-252-1166

Project Name:

GIRARD APARTMENTS

Minneapolis, MN

Owner/Developer:

Professional Services:

LOUCKS ASSOCIATES

Planning • Civil Engineering • Land Surveying
 Landscape Architecture • Environmental
 7200 Hemlock Lane - Suite 300
 Maple Grove, MN 55369
 Telephone: (763) 424-5505
 www.LoucksAssociates.com

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C4-1.DWG/24x36

Submittal:

03/11/15	CHECK SET
03/16/15	PDR SUBMITTAL
06/15/15	LAND USE APPLICATION
06/25/15	LAND USE APPLICATION RESUBMITTAL

Professional Signature:

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Minnesota.
NO FOR CONSTRUCTION
 License No. _____ Date _____

Quality Control:

Project Lead:	VJV	Drawn By:	BBS
Checked By:	VJV	Review Date:	06/25/15

Sheet Index:

1 of 1	ALTA/ACSM LAND TITLE SURVEY
C1-2	DEMOLITION PLAN
C2-1	SITE PLAN
C3-1	GRADING PLAN
C4-1	UTILITY PLAN
C8-1	CIVIL DETAILS
C8-2	CIVIL DETAILS
L1-1	LANDSCAPE PLAN

Sheet Title:

UTILITY PLAN

Project No.:

15028

Sheet No.:

C4-1

EXISTING	CIVIL LEGEND	PROPOSED
	SANTARY MANHOLE	
	STORM MANHOLE	
	CATCH BASIN	
	CULVERT	
	HYDRANT	
	GATE VALVE	
	POST INDICATOR VALVE	
	LIGHT POLE	
	POWER POLE	
	SIGN	
	BENCHMARK	
	SOIL BORINGS	
	WATER MANHOLE	
	TELEPHONE MANHOLE	
	UTILITY MANHOLE	
	ELECTRIC MANHOLE	
	WATER SERVICE	
	SANTARY SERVICE	
	HANDICAP PARKING	
	DIRECTION OF FLOW	
	SPOT ELEVATION	
	CONTOURS	
	SANTARY SEWER	
	STORM SEWER	
	WATERMAIN	
	FIREMAN	
	DRIVELINE	
	SILT FENCE	
	CURB & GUTTER	
	RETAINING WALL	
	TREELINE	
	EASEMENT LINE	
	SETBACK LINE	
	FENCE LINE	
	UNDERGROUND TELE	
	UNDERGROUND GAS	
	OVERHEAD UTILITY	

UTILITY PLAN GENERAL NOTES

- All sanitary sewer, storm sewer and watermain utilities shall be furnished and installed per the requirements of the specifications, the City and the standard utilities specification of the City Engineers Association of Minnesota (CEAM), 1999 edition. All HDPE connections to concrete manholes shall be connected with an internal rubber gasket or by using ADS waterstop gasket. All sanitary sewer main line shall be SDR 35. All sanitary sewer services shall be SDR 26.
- See Sheet C8-1 and the contract specifications for specific utility details and utility service details.
- All utility pipe bedding shall be compacted sand or fine granular material per the requirements of the City. All compaction shall be performed per the requirements of the CEAM Specification.
- All connections to existing utilities shall be performed per the requirements of the City. The City Department of Engineering and Building Inspections Department and the construction engineer must be notified at least 48 hours prior to any work within the public right of way, or work impacting public utilities.
- All sanitary sewer and water services shall terminate at the property line unless otherwise noted.
- The contractor shall notify GOPHER STATE ONE CALL at 651-454-0002 at least 48 hours prior to performing any excavation or underground work.
- The contractor shall field adjust watermain to avoid conflicts with sanitary sewer, storm sewer, and services as required. Insulation of water and sanitary sewer lines shall be provided where 7.5 feet minimum depth can not be attained.
- All street repairs and patching shall be performed per the requirements of the City. All traffic control shall be provided by the contractor and shall be established per the requirements of the Minnesota Manual of Uniform Traffic Control Devices (MUTCD) and the City. This shall include all signage, barricades, flashers and flaggers as needed. All public streets shall be open to traffic at all times. No road closures shall be permitted without the expressed authority of the City.
- All new watermain must have a minimum of 7.5 feet of cover.
- Adjust all existing structures, both public and private to the proposed grades where disturbed and comply with all requirements of the utility owners. Structures being reset to paved areas must meet owners requirements for traffic loading.
- Proposed Pipe Materials:
 Watermain DIP Class 52 4" & 6" - No less than 8.0' deep.
 Sanitary Sewer PVC SCH 40 6" - No more than 20' deep.
- The contractor, property owner or responsible party shall contact Minneapolis Surface Waters and Sewers 48 hours prior to any excavation related to or in the location of the proposed Stormwater Management BMP. (Paul Chelssen, 612-673-2406)
- Upon the project's completion, the general contractor, property owner or responsible party shall provide to the Department of Public Works a Final Stormwater Management Report including record drawings.

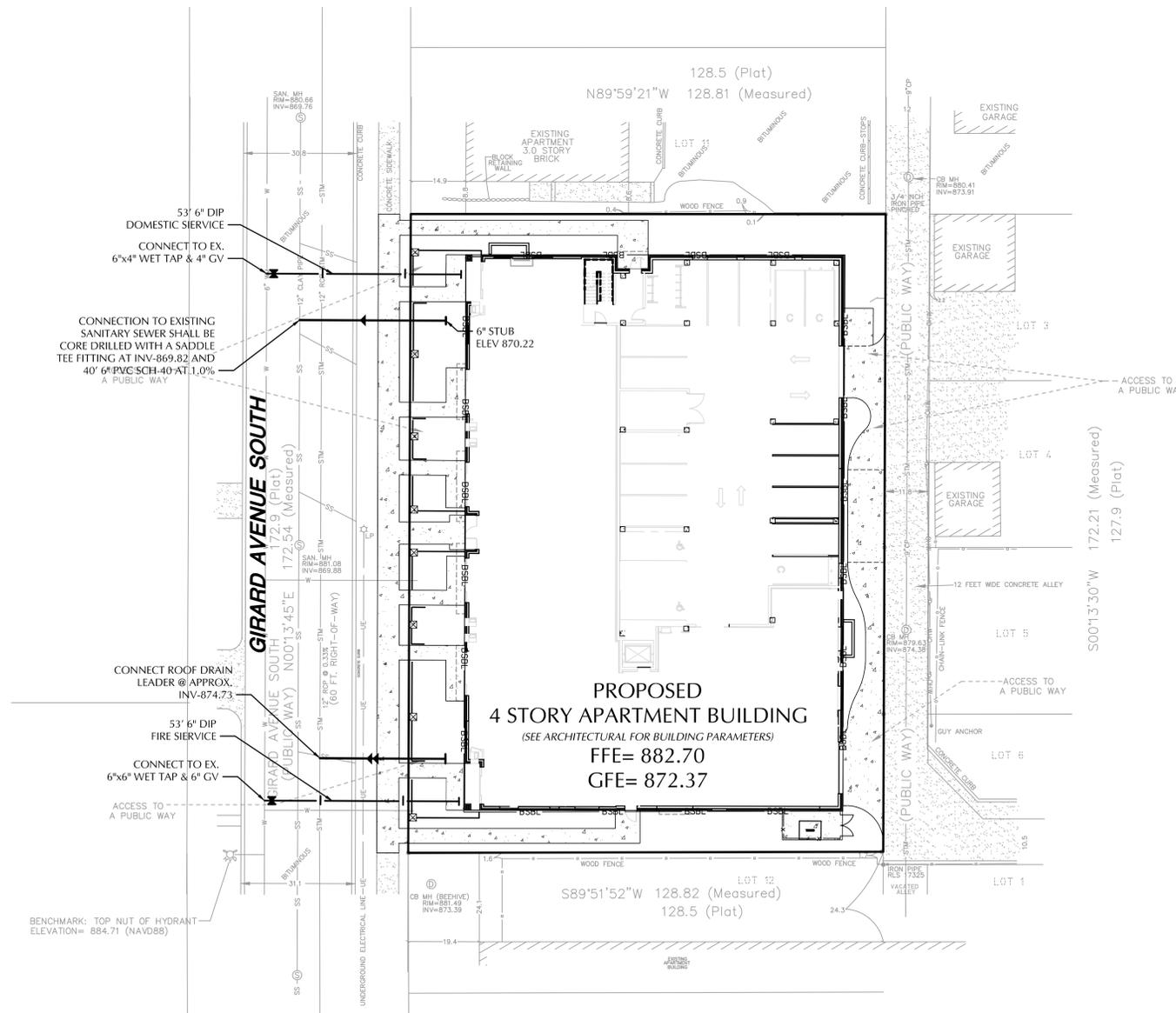
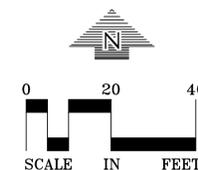
GENERAL NOTES

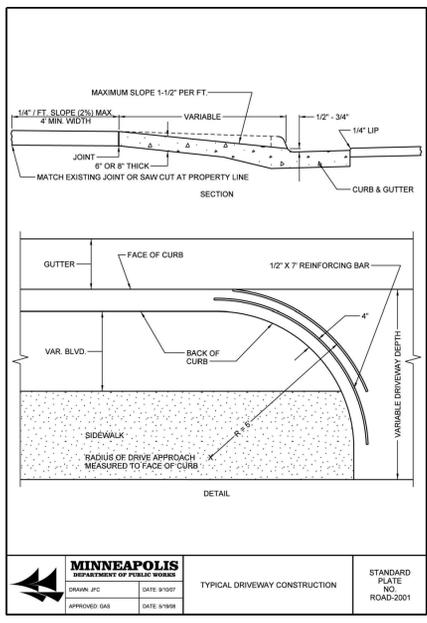
- REFER TO SHEET C8-1 FOR SHEET SPECIFIC NOTES AND SPECIFICATIONS
- BENCH MARK
 TOP NUT OF HYDRANT LOCATED ON WEST SIDE OF GIRARD AVENUE S. (SHOWN ON PLAN)
 ELEVATION = 884.71 (NAVD88)
- EXISTING CONDITIONS DISCLAIMER
 EXISTING CONDITIONS SURVEY PROVIDED BY OTHERS. LOUCKS ASSOCIATES MAKES NO GUARANTEE TO THE ACCURACY OR COMPLETENESS OF THE THE EXISTING CONDITIONS SHOWN ON THESE PLANS. CONTRACTOR TO VERIFY EXISTING CONDITIONS AND CONTACT PROJECT ENGINEER WITH DISCREPANCIES.

WARNING:

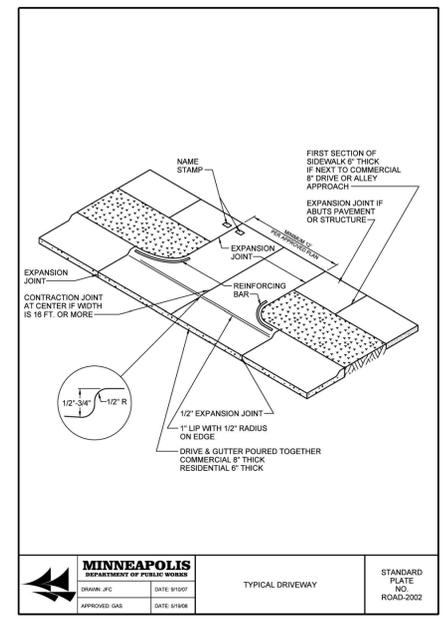
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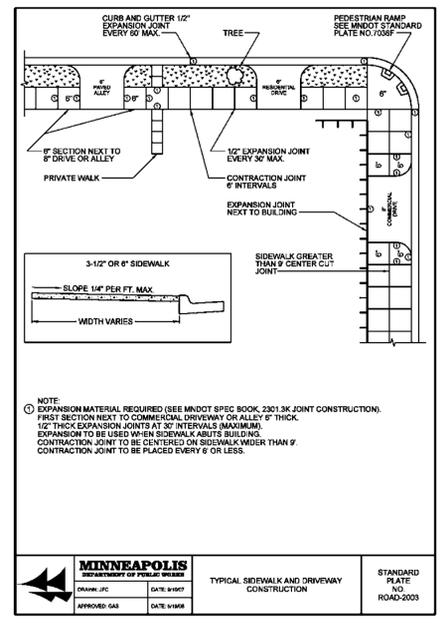




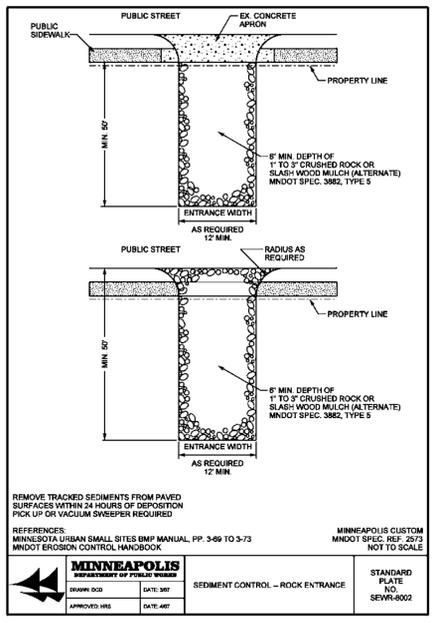
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DATE: 9/10/07	TYPICAL DRIVEWAY CONSTRUCTION
DATE: 9/10/08	



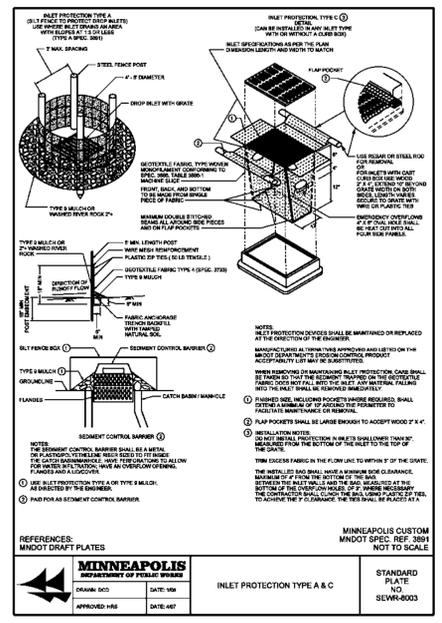
MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS	STANDARD PLATE NO. ROAD-2002
DATE: 9/10/07	TYPICAL DRIVEWAY
DATE: 9/10/08	



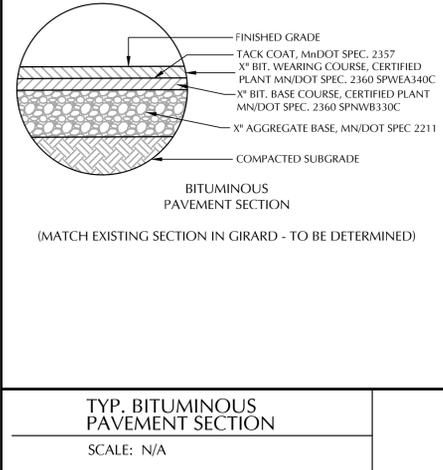
MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS	STANDARD PLATE NO. ROAD-2003
DATE: 9/10/07	TYPICAL SIDEWALK AND DRIVEWAY CONSTRUCTION
DATE: 9/10/08	



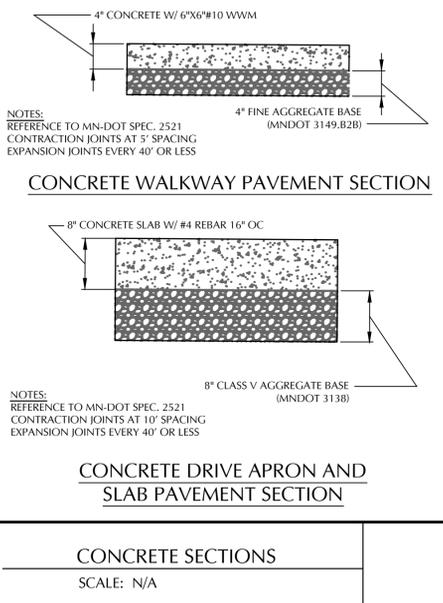
MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS	STANDARD PLATE NO. SEWR-002
DATE: 9/10/07	SEDIMENT CONTROL - ROCK ENTRANCE
DATE: 4/07	



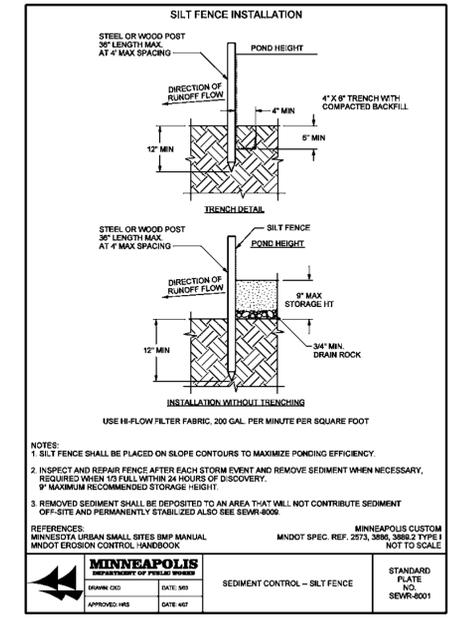
MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS	STANDARD PLATE NO. SEWR-003
DATE: 9/10/07	INLET PROTECTION TYPE A & C
DATE: 4/07	



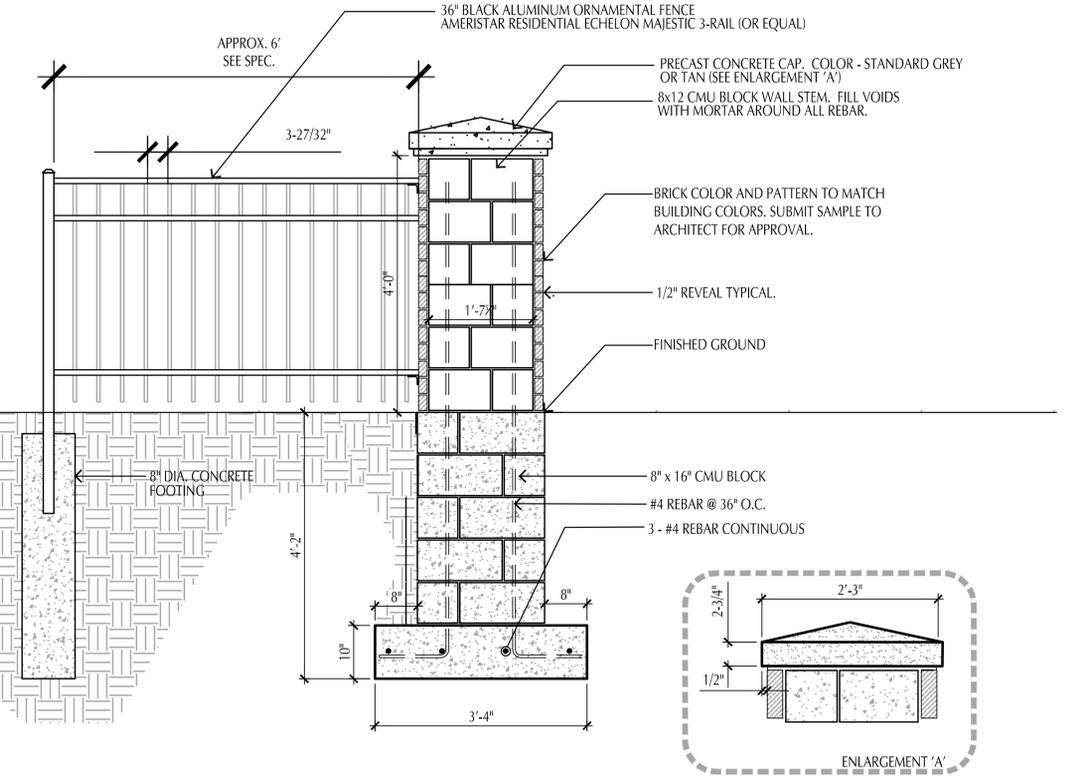
TYP. BITUMINOUS PAVEMENT SECTION
SCALE: N/A



CONCRETE SECTIONS
SCALE: N/A



SEDIMENT CONTROL - SILT FENCE
STANDARD PLATE NO. SEWR-001



1
C8-1
BRICK COLUMN WITH PRECAST CAP AND FENCE
SCALE: 3/4\"/>

PORTABLE CONCRETE WASHOUT CONTAINER

CONCRETE WASHOUT SYSTEMS
PO Box 2604
Carmichael, CA 95609
Phone: 1 877 262 7488
Fax: 1 916 244 0403
info@concretewashout.com
www.concretewashout.com
Patent Pending

DESCRIPTION
A portable, self-contained and watertight container affixed with ramps that controls, captures and contains caustic concrete wastewater and washout material.

PURPOSE & OBJECTIVE
Allows trade personnel to easily washout concrete trucks, pumps and other equipment associated with cement on site and allows easy off site recycling of the same concrete materials and wastewater.

APPLICATION
Construction projects where concrete, stucco, mortar, grout and cement are used as a construction material or where cementitious wastewater is created.

MAINTENANCE
Inspect and clean out when 3/4 full, not allowing the container to overflow.
Inspect wastewater level and request a vacuum if needed.
Inspect subcontractors to ensure that proper housekeeping measures are employed when washing out equipment.

SPECIFICATIONS
The container must be portable and temporary, watertight, equipped with ramps and have a holding capacity to accept washout from approximately 350 yards of poured concrete. A vacuum service must accompany washout container and be used by site superintendent as needed. A rampless container may be used in conjunction with a ramped container or by itself if a concrete pump is not needed. The washwater must be disposed of or treated and recycled in an environmentally safe manner and in accordance with federal, state or local regulatory guidelines.

TARGETED POLLUTANTS
Caustic wastewater (high pH level near 12 units)
Suspended solids
Assorted Metals; Chromium VI, Nickel, Sulfate, Potassium, Magnesium and Calcium Compounds

Project Name:
GIRARD APARTMENTS

Minneapolis, MN

Owner/Developer:

Professional Services:

LOUCKS ASSOCIATES
Planning • Civil Engineering • Land Surveying
Landscape Architecture • Environmental

7200 Hennick Lane - Suite 300
Maple Grove, MN 55369
Telephone: (763) 424-5505
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C8-1.DWG/C8-1

Submital:
03/11/15 CHECK SET
03/16/15 PDR SUBMITTAL
06/15/15 LAND USE APPLICATION
06/25/15 LAND USE APPLICATION RESUBMITTAL

Professional Signature:
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
License No. _____ Date _____

Quality Control:
VJV BBS
Project Lead: VJV Drawn By: BBS
Checked By: VJV Review Date: 06/25/15

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1 of 1 ALTA/ACSM LAND TITLE SURVEY
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C3-1 GRADING PLAN
C4-1 UTILITY PLAN
C8-1 CIVIL DETAILS
C8-2 CIVIL DETAILS
L1-1 LANDSCAPE PLAN

Sheet Title:
CIVIL DETAILS

Project No.: 15028

Sheet No.: C8-1

GENERAL NOTES

CONTRACTOR SHALL VISIT SITE PRIOR TO SUBMITTING BID. HE SHALL INSPECT SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS RELATING TO THE NATURE AND SCOPE OF WORK.

VERIFY LAYOUT AND ANY DIMENSIONS SHOWN AND BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT ANY DISCREPANCIES WHICH MAY COMPROMISE THE DESIGN AND/OR INTENT OF THE PROJECT'S LAYOUT.

ASSURE COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS GOVERNING THE WORK OR MATERIALS SUPPLIED.

CONTRACTOR SHALL PROTECT ALL EXISTING ROADS, CURBS/GUTTERS, TRAILS, TREES, LAWNS AND SITE ELEMENTS DURING PLANTING OPERATIONS. ANY DAMAGE TO SAME SHALL BE REPAIRED AT NO COST TO THE OWNER.

CONTRACTOR SHALL VERIFY ALIGNMENT AND LOCATION OF ALL UNDERGROUND AND ABOVE GRADE UTILITIES AND PROVIDE THE NECESSARY PROTECTION FOR SAME BEFORE CONSTRUCTION / MATERIAL INSTALLATION BEGINS (MINIMUM 10' - 0" CLEARANCE).

ALL UNDERGROUND UTILITIES SHALL BE LAID SO THAT TRENCHES DO NOT CUT THROUGH ROOT SYSTEMS OF ANY EXISTING TREES TO REMAIN.

EXISTING CONTOURS, TRAILS, VEGETATION, CURB/GUTTER AND OTHER EXISTING ELEMENTS BASED UPON INFORMATION SUPPLIED TO LANDSCAPE ARCHITECT BY OTHERS. CONTRACTOR SHALL VERIFY ANY AND ALL DISCREPANCIES PRIOR TO CONSTRUCTION AND NOTIFY LANDSCAPE ARCHITECT OF SAME.

THE ALIGNMENT AND GRADES OF THE PROPOSED WALKS, TRAILS AND/OR ROADWAYS ARE SUBJECT TO FIELD ADJUSTMENT REQUIRED TO CONFORM TO LOCALIZED TOPOGRAPHIC CONDITIONS AND TO MINIMIZE TREE REMOVAL AND GRADING. ANY CHANGE IN ALIGNMENT MUST BE APPROVED BY LANDSCAPE ARCHITECT.

LANDSCAPE INSTALLATION:

COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATION WITH OTHER CONTRACTORS WORKING ON SITE.

NO PLANTING WILL BE INSTALLED UNTIL COMPLETE GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.

WHERE SOD/SEED ABUTS PAVED SURFACES, FINISHED GRADE OF SOD/SEED SHALL BE HELD 1" BELOW SURFACE ELEVATION OF TRAIL, SLAB, CURB, ETC.

SEED ALL AREAS DISTURBED DUE TO GRADING OTHER THAN THOSE AREAS NOTED TO RECEIVE SOD. SEED SHALL BE INSTALLED AND MULCHED AS PER MNDOT SPECS.

SOD ALL DESIGNATED AREAS DISTURBED DUE TO GRADING. SOD SHALL BE LAID PARALLEL TO THE CONTOURS AND SHALL HAVE STAGGERED JOINTS. ON SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES, THE SOD SHALL BE STAKED TO THE GROUND.

ALL PLANT MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AMERICAN ASSOCIATION OF NURSERYMEN. UNLESS NOTED OTHERWISE, ALL SHRUBS SHALL HAVE AT LEAST 5 CANES AT THE SPECIFIED MINIMUM SHRUB HEIGHT OR WIDTH. ORNAMENTAL TREES SHALL HAVE NO V CROTCHES AND SHALL BEGIN BRANCHING NO LOWER THAN 3' ABOVE ROOT BALL. STREET AND BOULEVARD TREES SHALL BEGIN BRANCHING NO LOWER THAN 5' ABOVE FINISHED GRADE.

ANY CONIFEROUS TREE PREVIOUSLY PRUNED FOR CHRISTMAS TREE SALES SHALL NOT BE USED. ALL CONIFEROUS TREES SHALL BE FULL FORM, NATURAL TO THE SPECIES, WITHOUT PRUNING.

PLAN TAKES PRECEDENCE OVER PLANT SCHEDULE IF DISCREPANCIES IN QUANTITIES EXIST. SPECIFICATIONS TAKE PRECEDENCE OVER NOTES.

NO PLANT MATERIAL SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL IS REQUESTED OF THE LANDSCAPE ARCHITECT BY THE LANDSCAPE CONTRACTOR PRIOR TO THE SUBMISSION OF A BID AND/OR QUOTATION.

ALL PROPOSED PLANTS SHALL BE LOCATED AND STAKED AS SHOWN ON PLAN. ADJUSTMENTS IN LOCATION OF PROPOSED PLANT MATERIALS MAY BE NEEDED IN FIELD. SHOULD AN ADJUSTMENT BE ADVISED, THE LANDSCAPE ARCHITECT MUST BE NOTIFIED.

ALL PLANT MATERIALS SHALL BE FERTILIZED UPON INSTALLATION WITH A 27-3-3 SLOW RELEASE FERTILIZER MIXED IN WITH THE PLANTING SOIL PER THE MANUFACTURER'S INSTRUCTIONS. PLANTS MAY BE TREATED FOR SUMMER AND FALL INSTALLATION WITH AN APPLICATION OF GRANULAR 27-3-3 AT 6 OZ PER 2.5" CALIPER PER TREE AND 3 OZ PER SHRUB WITH AN ADDITIONAL APPLICATION OF 27-3-3 THE FOLLOWING SPRING IN THE TREE SAUCER.

ALL PLANTING AREAS RECEIVING GROUND COVER, PERENNIALS, ANNUALS, AND/OR VINES SHALL RECEIVE A MINIMUM OF 12" DEPTH OF PLANTING SOIL CONSISTING OF AT LEAST 45 PARTS TOPSOIL, 45 PARTS PEAT OR MANURE AND 10 PARTS SAND.

ALL PLANTS TO BE INSTALLED AS PER PLANTING DETAILS. REMOVE ALL FLAGGING AND LABELS FROM PLANTS.

WRAPPING MATERIAL SHALL BE CORRUGATED PVC PIPING 1" GREATER IN CALIPER THAN THE TREE BEING PROTECTED OR QUALITY, HEAVY, WATERPROOF CREPE PAPER MANUFACTURED FOR THIS PURPOSE.

WRAPPING MATERIAL SHALL BE CORRUGATED PVC PIPING 1" GREATER IN CALIPER THAN THE TREE BEING PROTECTED OR QUALITY, HEAVY, WATERPROOF CREPE PAPER MANUFACTURED FOR THIS PURPOSE. WRAP ALL DECIDUOUS TREES PLANTED IN THE FALL PRIOR TO 12-1 AND REMOVE ALL WRAPPING AFTER 5-1.

BLACK POLY EDGER TO BE USED TO CONTAIN SHRUBS, PERENNIALS, AND ANNUALS WHERE BED MEETS SOD/SEED UNLESS NOTED OTHERWISE.

ALL ANNUAL AND PERENNIAL PLANTING BEDS TO RECEIVE 3" DEEP SHREDDED HARDWOOD MULCH WITH NO WOOD BARRIER.

ALL SHRUB BED MASSINGS TO RECEIVE 3" DEEP SHREDDED HARDWOOD MULCH AND FIBER MAT WEED BARRIER.

ALL TREES TO RECEIVE 4" DEEP SHREDDED HARDWOOD MULCH WITH NO MULCH IN DIRECT CONTACT WITH TREE TRUNK.

SPREAD GRANULAR PRE EMERGENT HERBICIDE (IPREEN OR EQUAL) PER MANUFACTURER'S RECOMMENDATIONS UNDER ALL MULCHED AREAS.

MAINTENANCE STRIPS TO HAVE EDGER AND MULCH AS SPECIFIED/INDICATED ON DRAWING OR IN SPECIFICATION.

IF THE LANDSCAPE CONTRACTOR IS CONCERNED OR PERCEIVES ANY DEFICIENCIES IN THE PLANT SELECTIONS, SOIL CONDITIONS OR ANY OTHER SITE CONDITION WHICH MIGHT NEGATIVELY AFFECT PLANT ESTABLISHMENT, SURVIVAL OR GUARANTEE, HE MUST BRING THESE DEFICIENCIES TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO PROCUREMENT AND/OR INSTALLATION.

CONTRACTOR SHALL SUBMIT A WRITTEN REQUEST FOR THE OWNER ACCEPTANCE INSPECTION OF ALL LANDSCAPE AND SITE IMPROVEMENTS.

CONTRACTOR IS RESPONSIBLE FOR ON-GOING MAINTENANCE OF ALL NEWLY INSTALLED MATERIALS UNTIL TIME OF OWNER ACCEPTANCE. ANY ACTS OF VANDALISM OR DAMAGE WHICH MAY OCCUR PRIOR TO OWNER ACCEPTANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL PROVIDE THE OWNER WITH A MAINTENANCE PROGRAM INCLUDING, BUT NOT NECESSARILY LIMITED TO, PRUNING, FERTILIZATION AND DISEASE/PEST CONTROL.

CONTRACTOR SHALL GUARANTEE NEW PLANT MATERIAL THROUGH ONE CALENDAR YEAR FROM THE DATE OF OWNER ACCEPTANCE.

WARRANTY (ONE FULL GROWING SEASON) FOR LANDSCAPE MATERIALS SHALL BEGIN ON THE DATE OF ACCEPTANCE BY THE LANDSCAPE ARCHITECT AFTER THE COMPLETION OF PLANTING OF ALL LANDSCAPE MATERIALS. NO PARTIAL ACCEPTANCE WILL BE CONSIDERED.

UNLESS NOTED OTHERWISE THE APPROPRIATE DATES FOR SPRING PLANT MATERIAL INSTALLATION AND SEED/SOD PLACEMENT IS FROM THE TIME GROUND HAS THAWED TO JUNE 15.

FALL SODDING IS GENERALLY ACCEPTABLE FROM AUGUST 15 - NOVEMBER 1. FALL SEEDING FROM AUGUST 15 - SEPTEMBER 15; DORMANT SEEDING IN THE FALL SHALL NOT OCCUR PRIOR TO NOVEMBER 1. FALL CONIFEROUS PLANTING MAY OCCUR FROM AUGUST 15 - OCTOBER 1 AND DECIDUOUS PLANTING FROM THE FIRST FROST UNTIL NOVEMBER 15. PLANTING OUTSIDE THESE DATES IS NOT RECOMMENDED. ANY ADJUSTMENT MUST BE APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.

LANDSCAPE CONTRACTOR SHALL ESTABLISH TO HIS SATISFACTION THAT SOIL AND COMPACTION CONDITIONS ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AT AND AROUND THE BUILDING SITE.

IRRIGATION NOTES:

VERIFY EXISTING/PROPOSED IRRIGATION SYSTEM LAYOUT AND CONFIRM COMPLETE LIMITS OF IRRIGATION PRIOR TO SUPPLYING SHOP DRAWINGS.

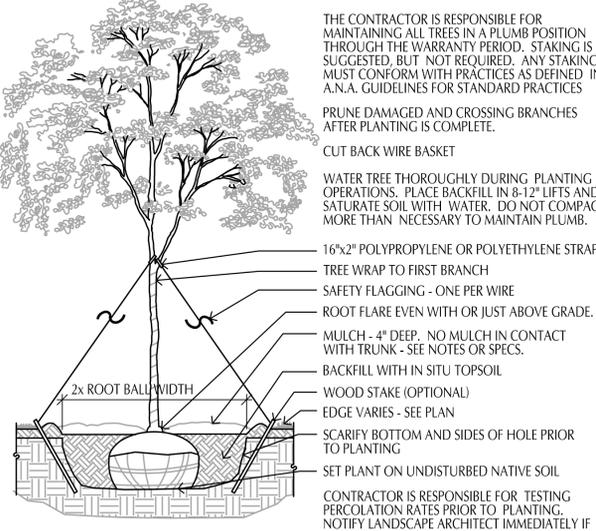
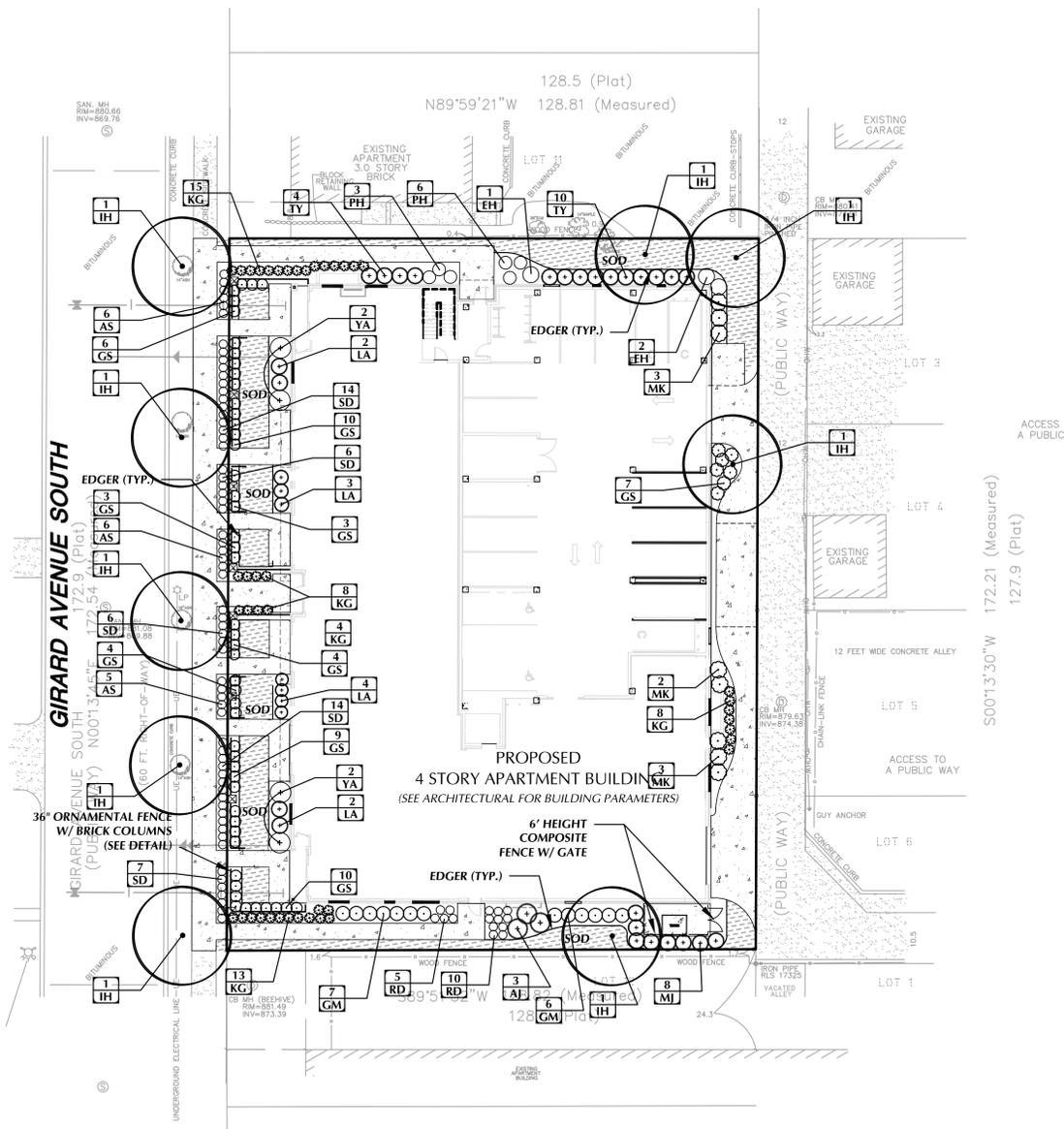
LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AN IRRIGATION LAYOUT PLAN AND SPECIFICATION AS A PART OF THE SCOPE OF WORK WHEN BIDDING. THESE SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ORDER AND/OR INSTALLATION. IT SHALL BE THE LANDSCAPE CONTRACTORS RESPONSIBILITY TO INSURE THAT ALL SODDED/SEED AND PLANTED AREAS ARE IRRIGATED PROPERLY, INCLUDING THOSE AREAS DIRECTLY AROUND AND ABUTTING BUILDING FOUNDATION.

THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH AN IRRIGATION SCHEDULE APPROPRIATE TO THE PROJECT SITE CONDITIONS AND TO PLANT MATERIAL GROWTH REQUIREMENTS.

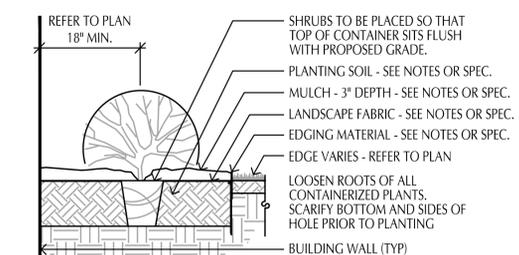
IRRIGATION SYSTEM IS NOT TO SPRINKLE ACROSS PAVEMENT. THE SYSTEM SHALL INCORPORATE A RAIN SENSOR INTO IRRIGATION SYSTEM.

PLANTINGS OUTSIDE THE LIMITS OF IRRIGATION ARE TO BE WATERED REGULARLY UNTIL PLANTING/SOD/SEED HAS BEEN ESTABLISHED.

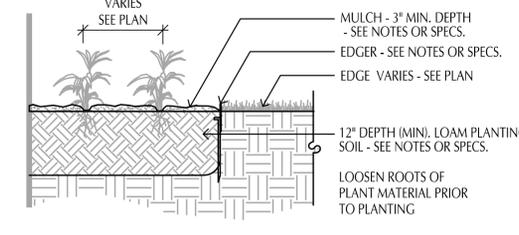
BENCHMARK: TOP NUT OF HYDRANT ELEVATION = 884.71 (NAVD88)



1 DECIDUOUS TREE PLANTING DETAIL
SCALE: 1/2" = 1'-0"
Deciduous Tree.DWG



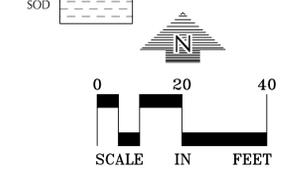
2 SHRUB PLANTING DETAIL
SCALE: 3/4" = 1'-0"



3 PERENNIAL PLANTING
SCALE: 3/4" = 1'-0"
Perennial.DWG

LANDSCAPE SCHEDULE:

SYM	QTY	COMMON NAME	SCIENTIFIC NAME	SIZE	CONT	COMMENTS
DECIDUOUS TREES						
IH	9	IMPERIAL HONEYLOCUST	Gleditsia triacanthos var. Inermis 'Impcole'	2.5" CAL	B&B	SINGLE STEM
DECIDUOUS SHRUBS						
GM	13	GREEN MOUND ALPINE CURRANT	Ribes alpinum 'Green Mound'	24" HGT	POT	PLANT 4' O.C.
GS	56	GOLDFLAME SPIREA	Spiraea x bumalda 'Goldflame'	24" HGT	POT	PLANT 4' O.C.
MK	8	MISS KIM LILAC	Syringa patula 'Miss Kim'	24" HGT	POT	PLANT 4' O.C.
CONIFEROUS SHRUBS						
AJ	3	ANDORRA COMPACT JUNIPER	Juniperus horizontalis 'Plumosa Compacta'	18" SPRD	POT	PLANT 4' O.C.
MJ	8	MAJESTY JUNIPER	Juniperus chinensis 'Majesty'	18" SPRD	POT	PLANT 5' O.C.
LA	11	LITTLE GIANT ARBORVITAE	Thuja occidentalis 'Little Giant'	18" SPRD	POT	PLANT 5' O.C.
TY	14	TALUNTON YEW	Taxus x media 'Taunton'	36" HGT	POT	PLANT 3.5' O.C.
YA	4	YELLOW RIBBON ARBORVITAE	Thuja occidentalis 'Yellow Ribbon'	36" HGT	POT	PLANT 5' O.C.
PERENNIALS						
KG	48	KARL FOERSTER GRASS	Calamagrostis acutiflora 'Karl Foerster'	1 GAL	POT	PLANT 2' O.C.
RD	15	RUBY STELLA DAYLILY	Hemerocallis x 'Ruby Stella'	1 QT	POT	PLANT 1.5' O.C.
SD	47	STELLA D'ORO DAYLILY	Hemerocallis x 'Stella D'Oro'	1 QT	POT	PLANT 1.5' O.C.
EH	3	EMPRESS WU HOSTA	Hosta 'Empress Wu'	1 GAL	POT	PLANT 2' O.C.
PH	9	PATRIOT HOSTA	Hosta 'Patriot'	1 GAL	POT	PLANT 2' O.C.
AS	17	AUTUMN FIRE SEDUM	Sedum x 'Autumn Fire'	1 GAL	POT	PLANT 2' O.C.
EI	0	ENGLEMAN IVY	Parthenocissis quinquefolia	1 GAL	POT	AS SHOWN



WARNING:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND / OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

Project Name:

GIRARD APARTMENTS
TWIN CITY AREA: 651-454-0002
TOLL FREE: 1-800-252-1166

Minneapolis, MN
Owner/Developer:

Professional Services:

LOUCKS ASSOCIATES
Planning • Civil Engineering • Land Surveying
Landscape Architecture • Environmental
7200 Hennepin Lane, Suite 300
Maple Grove, MN 55369
Telephone: (763) 424-5505
www.LoucksAssociates.com
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Submittal:

DATE	DESCRIPTION
03/11/15	CHECK SET
03/16/15	PDR SUBMITTAL
06/15/15	LAND USE APPLICATION
06/25/15	LAND USE APPLICATION RESUBMITTAL

Professional Signature:

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect in the State of Minnesota.
NO FOR CONSTRUCTION
License No. _____ Date _____

Quality Control:

Project Lead: **VJV** Drawn By: **DDL**
Checked By: **VJV** Review Date: **06/25/15**

Sheet Index:

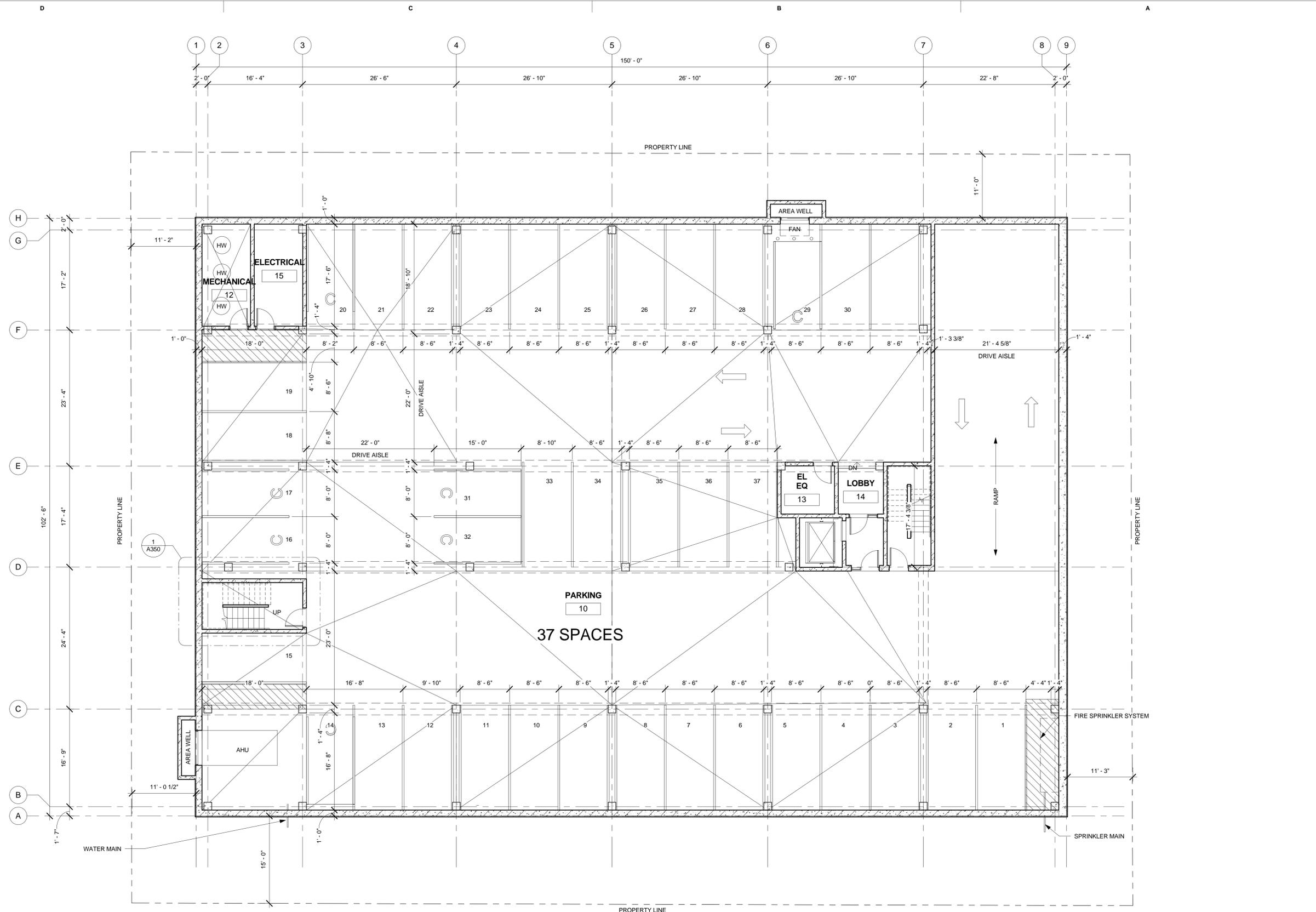
L1-1	ALTA/ACSM LAND TITLE SURVEY
C1-2	DEMARCATION PLAN
C2-1	SITE PLAN
C3-1	GRADING PLAN
C4-1	UTILITY PLAN
C8-1	CIVIL DETAILS
C8-2	CIVIL DETAILS
L1-1	LANDSCAPE PLAN

Sheet Title:

LANDSCAPE PLAN

Project No.: **15028**

Sheet No.: **L1-1**



A1 LEVEL P1
1/8" = 1'-0"
15,375 SF

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APPROVED: _____
SIGNATURE: _____
EXPIRATION NUMBER: 03/16/15

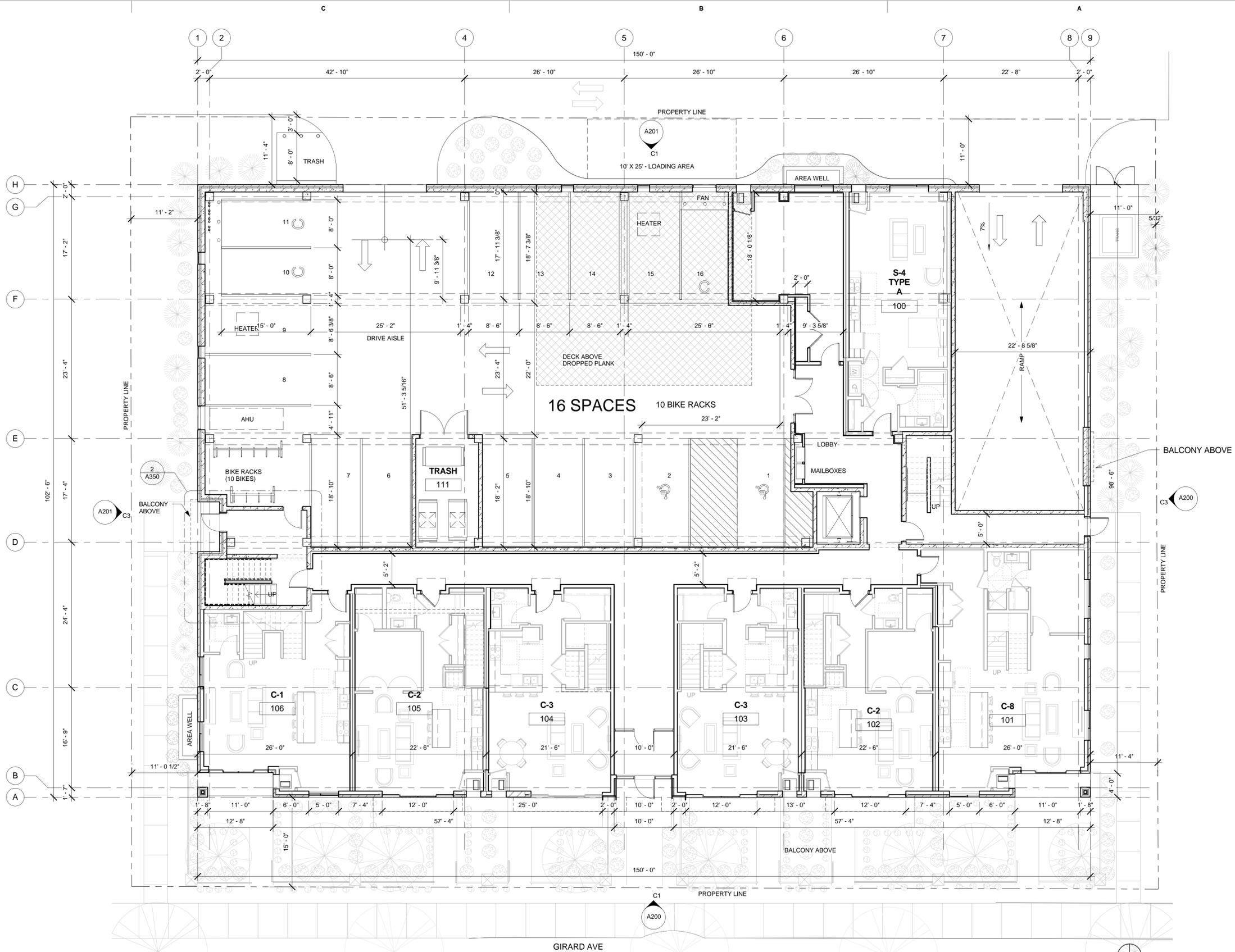
CLIENT: Parkview Property Management
1000 Hennepin Ave, Suite 200
Minneapolis, MN 55402

Project #: 14-105-00
Date: 03/16/15
Drawn by: LM
Checked by: MS

ISSUE:
1. PDD Prelog
2. PDR Submittal
3. Land Use Application
4. Land Use Application - 2nd Submittal

Girard Avenue Apartments
PRELIMINARY: NOT FOR CONSTRUCTION
Girard Avenue South, Minneapolis, MN

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LEVEL P1 FLOOR PLAN



BUILDING DATA	
SITE AREA	22,203 SF
LOT COVERAGE ALLOWED (22,203 x 70%)	15,542 SF
BUILDING FOOTPRINT	15,200 SF
F.A.R. ALLOWED	2.4 x 22,203 = 53,287 SF
F.A.R. PROPOSED	2.27 (50,760/22,203)

BUILDING RECAP		
LEVEL	RESIDENTIAL	GARAGE
GARAGE		15,375 SF
1	8,156 SF	7,044 SF
2	14,058 SF	
3	14,058 SF	
4	13,570 SF	
ROOF	1,230 SF	
TOTAL	51,072 SF	22,419 SF

1 FLOOR PLAN - LEVEL 1
1/8" = 1'-0"

DJR
ARCHITECTURE, INC
333 Washington Ave N, Suite 210
Minneapolis, MN 55401
612.676.2700 www.djr-inc.com

CIVIL & LANDSCAPE
Laska Associates
1000 Hennepin Ave, Suite 300
Minneapolis, MN 55403
Phone: (612) 251-7570
Fax: (612) 424-9622

STRUCTURAL
Erickson Hoce & Associates
1000 Hennepin Ave, Suite 300
Minneapolis, MN 55403
Phone: (612) 251-7570

CONTRACTOR
TBD

CLIENT
Parkview Property Management
1000 Hennepin Ave, Suite 300
Minneapolis, MN 55403

ISSUE:

1	DD/Prep	Date:	Project #:	14-105-00
2	PDR/Summit	03/16/15	Date:	03/16/15
3	Land Use Application	06/19/15	Drawn by:	LM
4	Land Use Application - 2nd Summit	02/25/15	Checked by:	MS

APPROVALS:

APPROVER: _____
DATE: _____

DESIGNATION NUMBER: 031615

Girard Avenue Apartments
PRELIMINARY: NOT FOR CONSTRUCTION

LEVEL 1 FLOOR PLAN

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Girard Avenue South, Minneapolis, MN

A110



A1 LEVEL 2
1/8" = 1'-0"

13,950 SF

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612.676.2700 www.djr-inc.com

CIVIL & LANDSCAPE
Laska Associates
1000 Rock Lane
Suite 300
Minneapolis, MN 55409
Phone: (612) 424-9622

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Erickson Hoce & Associates
1000 Rock Lane
Suite 300
Minneapolis, MN 55409
Phone: (612) 251-7570

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APPROVED
DATE: 03/16/15
SIGNATURE: [Signature]

CLIENT
Parkers Levin Property Management
1000 Rock Lane
Suite 300
Minneapolis, MN 55409

ISSUE:
1 DD/Prvgg
2 PDR Submittal
3 Land Use Application
4 Land Use Application - 2nd Submittal

PRELIMINARY: NOT FOR CONSTRUCTION

Girard Avenue Apartments
Girard Avenue South, Minneapolis, MN

LEVEL 2 FLOOR PLAN
A120

DATE: Project #: 14-105-00
03/06/15
03/16/15
06/19/15
6/22/15

DATE: 03/16/15
DATE: 03/16/15
DATE: 06/19/15
DATE: 6/22/15



1 LEVEL 3
1/8" = 1'-0"

13,950 SF

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SIGNATURE
EXPIRATION NUMBER 03/16/15

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Minneapolis, MN 55402

Project #: 14-105.00
Date: 03/16/15
Drawn by: LM
Checked by: MS

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1 PDD Prelog
2 PDR Submittal
3 Land Use Application
4 Land Use Application - 2nd Submittal

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Girard Avenue Apartments
Girard Avenue South, Minneapolis, MN
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LEVEL 3 FLOOR PLAN



A1 LEVEL 4
1/8" = 1'-0"

13,550 SF

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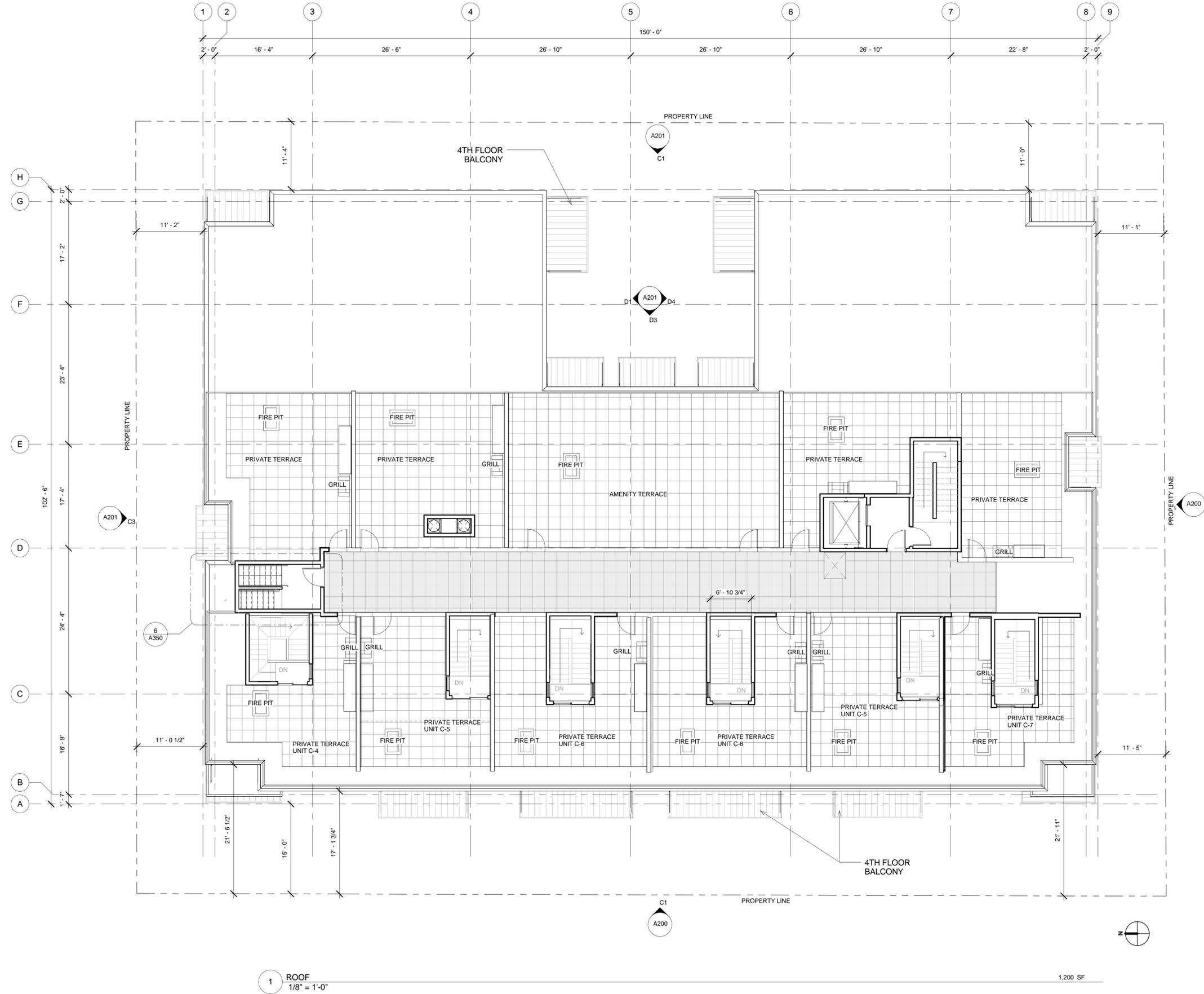
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03/06/15
Date: 03/16/15
06/19/15
02/25/15

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1 DD/Prep
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DATE
Project #: 14-105-00
03/16/15
Date: 03/16/15
06/19/15
02/25/15

DRAWN BY
LM

CHECKED BY
MS



1 ROOF
1/8" = 1'-0"

1,200 SF

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Girard Avenue Apartments
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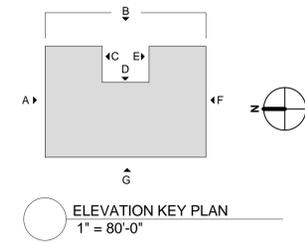
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1 DD/Prep	03/02/15	Date:	03/16/15
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3 Land Use Application	06/19/15	Checked by:	MS
4 Land Use Application - 2nd Submittal	02/25/15		

D

C

B

A



SOUTH ELEVATION MATERIAL CALCULATIONS

BRICK	1,382 SF	29%
STUCCO	1,612 SF	34%
METAL PANEL	1,203 SF	25%
GLASS	560 SF	12%
TOTAL	4,757 SF	100%

C3 SOUTH EXTERIOR ELEVATION - F
1/8" = 1'-0"



WEST ELEVATION MATERIAL CALCULATIONS

BRICK	2,461 SF	33%
STUCCO	0 SF	0%
METAL PANEL	2,981 SF	39%
GLASS	2,173 SF	28%
TOTAL	7,615 SF	100%

C1 WEST EXTERIOR ELEVATION - G
1/8" = 1'-0"

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333 Washington Ave N., Suite 210
Minneapolis, MN 55401
612.676.2700 www.djr-inc.com

CIVIL & LANDSCAPE
Locke Associates
1000 Hennepin Avenue
Suite 300
Minneapolis, MN 55403
Phone: (612) 424-8622

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Eckman Reed & Associates
1000 Hennepin Avenue West
Suite 300
Minneapolis, MN 55403
Phone: (612) 251-7570

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APPROVE: _____
DATE: _____

CLIENT: Parkview Levee Property Management
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Minneapolis, MN 55403

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Project #: 14-105.00
Date: 03/16/15
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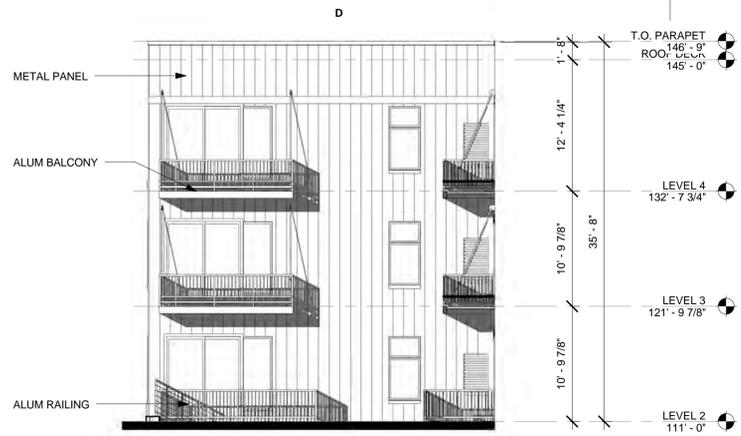
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03/06/15
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02/25/15

Girard Avenue Apartments
PRELIMINARY: NOT FOR CONSTRUCTION

EXTERIOR ELEVATIONS

A200



D4 COURTYARD NORTH ELEVATION - E
1/8" = 1'-0"

NORTH (E) ELEVATION MATERIAL CALCULATIONS

METAL PANEL	900 SF	77%
GLASS	270 SF	23%
TOTAL	1,170 SF	100%



D3 COURTYARD EAST ELEVATION - D
1/8" = 1'-0"

EAST (D) ELEVATION MATERIAL CALCULATIONS

METAL PANEL	788 SF	64%
GLASS	560 SF	36%
TOTAL	1,238 SF	100%



D1 COURTYARD SOUTH ELEVATION - C
1/8" = 1'-0"

SOUTH (C) ELEVATION MATERIAL CALCULATIONS

METAL PANEL	894 SF	77%
GLASS	265 SF	23%
TOTAL	1,159 SF	100%



C3 NORTH EXTERIOR ELEVATION - A
1/8" = 1'-0"

NORTH (A) ELEVATION MATERIAL CALCULATIONS

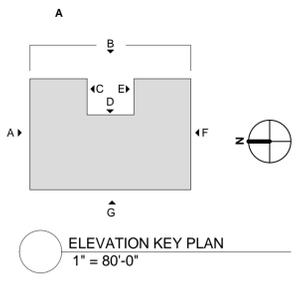
BRICK	1,382 SF	29%
STUCCO	1,612 SF	34%
METAL PANEL	1,203 SF	25%
GLASS	560 SF	12%
TOTAL	4,757 SF	100%



C1 EAST EXTERIOR ELEVATION - B
1/8" = 1'-0"

EAST (B) ELEVATION MATERIAL CALCULATIONS

BRICK	1,488 SF	26%
STUCCO	1,757 SF	30%
METAL PANEL	1,548 SF	27%
GLASS	976 SF	17%
TOTAL	5,760 SF	100%



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ARCHITECTURE, INC
333 Washington Ave N, Suite 210
612.676.2700 www.djr-inc.com

CIVIL & LANDSCAPE
Locke Associates
1000 Rock Lane
Minneapolis, MN 55409
Phone: (612) 424-8622

STRUCTURAL
Eckman Reed & Associates
1000 Rock Lane
Minneapolis, MN 55409
Phone: (612) 251-7570

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1000 Rock Lane
Minneapolis, MN 55409

ISSUE:
1 DD/Photo
2 PDR Summary
3 Land Use Application
4 Land Use Application - 2nd Submittal

Date:
03/06/15
03/16/15
06/10/15
02/25/15

Project #: 14-105-00
Date: 03/16/15
Drawn by: LM
Checked by: MS

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Girard Avenue Apartments
Girard Avenue South, Minneapolis, MN

EXTERIOR ELEVATIONS

A201



A1 AXON FROM GIRARD AVENUE

A2 AXON FROM ALLEY

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Girard Avenue Apartments
 Girard Avenue South, Minneapolis, MN
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3D VIEWS

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ISSUE:
 3 Land Use Application - 2nd Submittal
 4 Land Use Application - 2nd Submittal

DATE:
 06/10/15
 6/25/15

DRAWN BY: Author
CHECKED BY: Checker

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STRUCTURAL
 Erickson Ford & Associates
 1000 Hennepin Avenue, Suite 200
 Minneapolis, MN 55403
 Phone: (612) 251-7570

CIVIL & LANDSCAPE
 Loucks Associates
 1000 Hennepin Avenue, Suite 200
 Minneapolis, MN 55403
 Phone: (612) 424-8622



GIRARD AVENUE APARTMENTS

Minneapolis, Minnesota

June 25, 2015

Conceptual Rendering

114-105.0



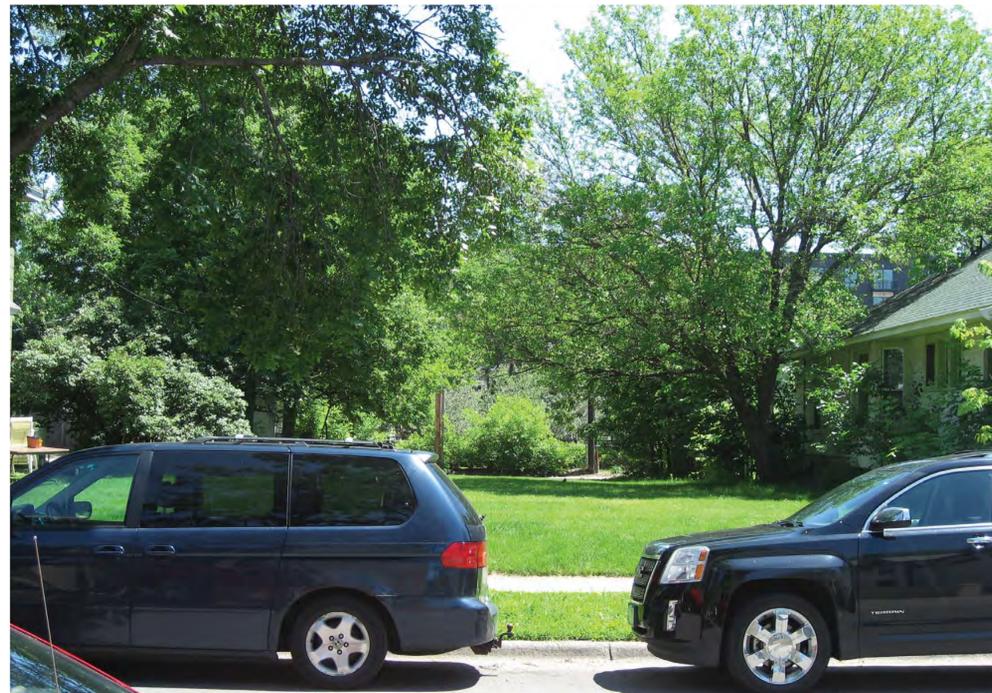
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2809 Girard Ave. South



B

2813 Girard Ave. South



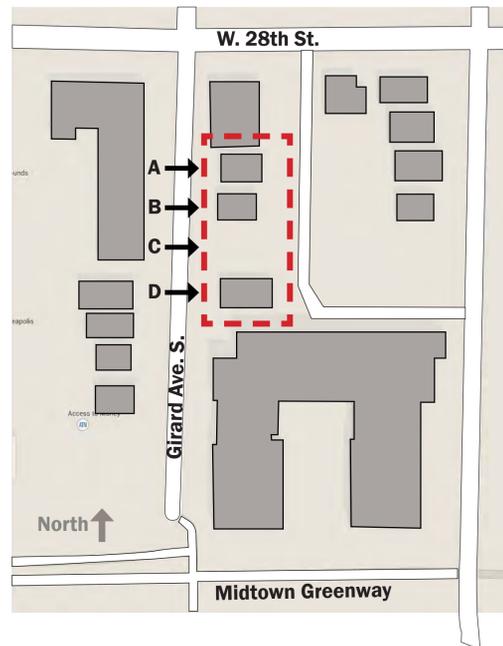
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2817 Girard Ave. South



D

2821 Girard Ave. South



2817 Girard Avenue South

Minneapolis, Minnesota

June 12, 2015

Existing Properties

14-105.00

