



CPED STAFF REPORT
Prepared for the City Planning Commission

CPC Agenda Item #4
March 3, 2014
BZZ-6579

LAND USE APPLICATION SUMMARY

Property Location: 5336 Lyndale Avenue South
Project Name: 5336 Lyndale Avenue South
Prepared By: [Mei-Ling Anderson](#), City Planner, (612) 673-5342
Applicant: Bill Graham
Project Contact: Bruce Hellier
Request: To construct a new three-story, mixed-use building with four dwelling units.
Required Applications:

Variance	To reduce the north interior side yard setback from 9 feet to 4 feet.
Variance	To reduce the south interior side yard setback from 9 feet to 3.5 feet.
Site Plan Review	For a three-story, mixed use building with four dwelling units.

SITE DATA

Existing Zoning	C2 Neighborhood Corridor Commercial District AP Airport Overlay District PO Pedestrian Oriented Overlay District
Lot Area	6,907 square feet / 0.15 acres
Ward(s)	13; adjacent to 11
Neighborhood(s)	Lynnhurst Neighborhood Association; adjacent to Tangletown Neighborhood Association
Designated Future Land Use	Mixed Use
Land Use Features	Community Corridor (Lyndale Avenue); Commercial Node
Small Area Plan(s)	South Lyndale Corridor Plan

Date Application Deemed Complete	May 30, 2014	Date Extension Letter Sent	Not applicable
End of 60-Day Decision Period	July 29, 2014	End of 120-Day Decision Period	Not applicable

BACKGROUND

SITE DESCRIPTION AND PRESENT USE. The subject property is the former location of a one-story building that held Beek's Pizza and Diamond Lake Rental. The building suffered a fire in January 2013, leaving most of the interior beyond repair but the foundation intact. The site has not been occupied since the fire.

SURROUNDING PROPERTIES AND NEIGHBORHOOD. The property is located on Lyndale Avenue South, which is a community corridor, and is located within a Neighborhood Commercial Node at Lyndale Avenue and 54th Street/Diamond Lake Road. There are a variety of commercial uses on the same block as the property, including a grocery store, coffee shops, a fitness center, offices, clinics, and multi-family housing. The greater neighborhood contains a library, parks, pharmacies, automotive uses, and a mix of residential densities.

There is a veterinary clinic directly to the north of the site and a clinic to the south. There are low-density residential uses along the west, rear property line. Although there is currently a private access easement separating the site from the residential uses, it is not a public alley. The easement provides direct access from the rear of the site to West 54th Street but the access does not continue to the north.

PROJECT DESCRIPTION. The applicant is proposing to use the existing foundation to construct a three-story, mixed-use building with retail on the ground floor and residential units on the second and third floors. Each residential unit would have two levels and have access to an attached garage space on the first floor of the building, on the west side of the site.

The property has historically shared parking, a refuse container, and snow storage with the property to the north, which contains the veterinary clinic as well as a surface parking lot. The applicant has indicated that they would be allowed to provide off-site parking, garbage, and snow storage on the site to the north.

The required side yard for a three-story building in the C2 district is nine feet. This building setback applies to both the north and south sides of the property. The applicant is proposing a variance of the minimum setback for both the north and south property lines to reduce the required yards to four feet and 3.5 feet, respectively.

Site plan review is required for any new, mixed-use building proposal that requires other land use applications or contains more than 20,000 square feet of gross floor area. While the building contains less than 20,000 square feet of gross floor area and would otherwise be exempt from site plan review, a public hearing is required due to the variance requests and therefore the project triggers site plan review.

PUBLIC COMMENTS. As of the printing of this report, staff has received one letter regarding this proposal from the Lynnhurst Neighborhood Association. The neighborhood has indicated that they do not oppose the variances or site plan review applications. Any other correspondence received prior to the public meeting will be forwarded on to the Planning Commission for consideration.

ANALYSIS

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance of the north interior side yard setback from the required 9 feet to 4 feet based on the following findings:

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

The required side yard for the proposed three-story building is nine feet along both the north and south property lines, which applies to both the second and third levels, as they contain interior-facing residential windows. The width of the parcel is 55'-3½." To comply with the zoning code, the building would have to have maximum width of 37 feet on the second and third floors. The proposed building is 47'-9½"-wide, which was the width of the previous building. It would be impractical to require the applicant to reduce the second and third floors to a width of 37 feet in order to meet the setback while the first floor is more than ten feet wider. The narrow width of the existing lot is a unique circumstance that was not created by the applicant, and the request to reduce the north interior side yard setback from nine to four feet is not based on economic considerations alone.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

In general, yard controls are established to provide for the orderly development and use of land that minimizes conflicts between different land uses and protects access to light, air, and open spaces. The applicant is proposing a four-foot setback from the north property line and this side of the building would be adjacent to a surface parking lot. The distance between the north elevation and the property line would contain a four-foot wide sidewalk that would connect the accessory parking area to the public sidewalk along Lyndale Avenue South. The intent of the ordinance to minimize conflict and protect access to adequate light and air would not be compromised with this proposal. In addition, the previous building was one-story and contained a restaurant and commercial space. The applicant's request to keep the previous building's footprint and add two levels of residential uses above is in keeping with the spirit and intent of the ordinance as well as the comprehensive plan, which designates the parcel as Mixed Use in the future land use map.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

The proposed mixed-use building with commercial and residential uses would not alter the essential character of the locality, or be injurious to the use or enjoyment of other property in the vicinity. The property is located within a Commercial Node and along a Lyndale Avenue South, which is a Community Corridor lined with similar commercial uses and multi-family housing. The scale of the proposed building is also in keeping with the character of surrounding properties. Granting the variance would not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance of the south interior side yard setback from the required 9 feet to 3.5 feet based on the following [findings](#):

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

The required side yard for the proposed three-story building is nine feet along both the north and south property lines, which applies to both the second and third levels, as they contain interior-facing residential windows. The width of the parcel is 55'-3½." To comply with the zoning code, the building would have to have maximum width of 37 feet on the second and third floors. The proposed building is 47'-9½"-wide, which was the width of the previous building. It would be impractical to require the applicant to reduce the second and third floors to a width of 37 feet in order to meet the setback while the first floor is more than ten feet wider. The narrow width of the existing lot is a unique circumstance that was not created by the applicant, and the request to reduce the south interior side yard setback from nine to 3.5 feet is not based on economic considerations alone.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

In general, yard controls are established to provide for the orderly development and use of land that minimizes conflicts between different land uses and protects access to light, air, and open spaces. The applicant is proposing a 3.5-foot setback from the south property line and this side of the building would be adjacent to an existing one-story building. The residential units on the second and third floors would be overlooking the existing building, so the intent of the ordinance to minimize conflict and protect access to adequate light and air would not be compromised with this proposal. In addition, the previous building was one-story and contained a restaurant and commercial space. The applicant's request to keep the previous building's footprint and add two levels of residential uses above is in keeping with the spirit and intent of the ordinance as well as the comprehensive plan, which designates the parcel as Mixed Use in the future land use map.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

The proposed mixed-use building with commercial and residential uses would not alter the essential character of the locality, or be injurious to the use or enjoyment of other property in the vicinity. The property is located within a Commercial Node and along a Lyndale Avenue South, which is a Community Corridor lined with similar commercial uses and multi-family housing. The scale of the proposed building is also in keeping with the character of surrounding properties. Granting the variance would not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

SITE PLAN REVIEW

The Department of Community Planning and Economic Development has analyzed the application based on the required [findings](#) and [applicable standards](#) in the site plan review chapter:

I. Conformance to all applicable standards of Chapter 530, Site Plan Review.

Building Placement and Design – Requires alternative compliance

- The building would be located within five feet of the front property line and would be adjacent to the public sidewalk. The placement of the building would reinforce the existing street wall along Lyndale Avenue South.
- The area between the building and front side property lines would contain landscaping and pedestrian walkways.
- The building will be oriented so that the principal entrance would face the public street.
- On-site accessory parking will be located within the principal building served. The four attached garages serving the residential units would be located to the rear of the site.
- The proposed building walls will provide architectural detail and contain windows to create visual interest and increase security of adjacent outdoor spaces.
- Recesses, projections, windows, and other architectural elements are proposed to divide the building into smaller, identifiable sections.
- Blank, uninterrupted walls that do not include architectural elements would not exceed 25 feet in length.
- The primary exterior materials would be stucco, brick, anodized metal, and glass, which are durable.
- All sides of the building are similar and compatible.
- Plain face concrete block is not proposed as an exterior material.
- The proposed principal entrance would be clearly defined with canvas awnings with aluminum frames. A second principal entrance is proposed on the north elevation but is not clearly defined and requires alternative compliance.
- The window requirement affects the elevation facing Lyndale Avenue South. The requirements for windows are being met. See **Table I**.
- The entire ground floor of the building facing Lyndale Avenue South would contain active functions.
- The proposed roof would have a flat pitch and would be consistent with the flat roof pitch of the majority of the buildings in the area, particularly along Lyndale Avenue South.

Table I. Percentage of Windows Required for Elevations Facing a Public Street, Sidewalk, Pathway, or On-Site Parking

	Code Requirement		Proposed	
Residential Uses				
2 nd Floor (Lyndale façade)	10% minimum	43 sq. ft.	47%	204 sq. ft.
Nonresidential Uses				
1 st Floor (Lyndale façade)	40% minimum	153 sq. ft.	76%	291 sq. ft.

Access and Circulation – Meets requirements

- The entrance on Lyndale Avenue South would be adjacent to the public sidewalk and the building entrance on the north side of the property would be connected to the public sidewalk via a four-foot wide walkway.
- There are no transit shelters adjacent to the site and none are proposed at this time.

- Utilizing an access easement rather than proposing a curb cut along Lyndale Avenue minimizes vehicle and pedestrian conflicts.
- The site does not have access to a public alley. However, there is a private easement along the rear property line, which would provide access to the residential garages on the site. The site is designed to minimize conflicts between vehicles, pedestrian traffic, and surrounding residential uses.
- There is no maximum impervious surface requirement in the C2 zoning district. The applicant is proposing approximately 469 square feet of landscaping, which is approximately 6.8 percent of the site.

Landscaping and Screening – *Requires alternative compliance and/or meets requirements with Conditions of Approval*

- The on-site landscaping is located along the south property line. There is also a landscaped buffer between the parking area and public street and sidewalk on the property that is directly to the north of the subject site. The applicant will be providing off-site accessory parking on this property for the retail uses. The proposed project meets the requirement that not less than 20 percent of the lot not covered by buildings be landscaped (see **Table 2**).
- Alternative compliance is requested for the requirement that at least one canopy tree be provided on-site.
- The landscaping plan is proposing 30 shrubs, which exceeds the minimum requirement of five.
- Screening is not required for the site.
- Parking and loading facilities along public street/sidewalk comply with 530.170 (b).
- All areas not occupied by buildings or parking will be landscaped. As a condition of approval, CPED staff is requiring the applicant to submit a landscape plan that uses a diversity of landscaping materials to meet the intent of section 530.180 of the zoning code, and to demonstrate that the required shrubs meet the plant materials standards in section 530.200.
- Installation and maintenance of all landscape materials shall be required to comply with section 530.210 of the zoning code.

Table 2. Landscaping and Screening Requirements

	Code Requirement	Proposed
Lot Area	--	6,907 sq. ft.
Building footprint	--	4,623 sq. ft.
Remaining Lot Area	--	2,284 sq. ft.
Landscaping Required	457 sq. ft.	469 sq. ft.
Canopy Trees (1: 500 sq. ft.)	1 trees	0 trees
Shrubs (1: 100 sq. ft.)	5 shrubs	30 shrubs

Additional Standards – *Meets requirements*

- There will be four garages attached to the principal building structure as well as a paved drive area between the west property line and the garages, which extends into the private easement. CPED staff is recommending that the applicant work with Public Works to provide on-site retention and filtration of stormwater.
- The proposed building would not block views of important elements of the city, and would be located and arranged to minimize shadowing on public spaces and adjacent properties and to minimize the generation of wind currents at ground level.

- There will be exterior lights located on the street side of the building as well as wall lights attached to the north and west sides of the building.
- The existing building is not historically designated and the site is not located within a historic district.

2. Conformance with all applicable regulations of the zoning ordinance.

The proposed use is *permitted* in the C2 Neighborhood Corridor Commercial District.

Off-street Parking and Loading – Meets requirements with Conditions of Approval

- The size of the retail space is 3,444 square feet. The minimum vehicle parking requirement is four spaces and the maximum is 18 spaces. The applicant has also suggested the possibility of a restaurant use being located in the commercial portion of the building in the future. A restaurant of 3,444 square feet would require a minimum of seven off-street parking spaces, or an increase in one space over what is currently proposed. Staff is recommending that the applicant submit an updated parking plan prior to obtaining building permits in order to demonstrate compliance with the zoning code based on any changes in the proposed commercial use.
- The minimum bicycle parking requirement for the retail space is three spaces, of which at least 50 percent shall meet the standards for short-term bicycle parking. The applicant is not currently proposing bicycle parking for the retail spaces.
- The minimum parking requirement for the residential use is four spaces, or one space per dwelling unit. There is no maximum vehicle parking allowance for residential uses. The bicycle parking requirement for the residential uses is two spaces, or one space per two dwelling units, of which 90 percent shall meet the standards for long-term bicycle parking. The site plan does not provide any long-term bicycle parking spots.
- The site is located in the PO Pedestrian Oriented Overlay District, which reduces the minimum and maximum parking requirements by 25 percent for commercial uses.
- The applicant is proposing six spaces for the retail tenant and four garage spaces for the residential units, for a total of ten. The retail parking area would be provided off-site in the property directly adjacent to the north property line.
- There is no loading requirement for the project.

Table 3. Vehicle Parking Requirements Per Use (Chapter 541)

	Minimum Parking Requirement	Applicable Reductions	Total Minimum Requirement	Maximum Parking Allowed	Applicable Reductions	Total Maximum Allowed	Proposed
General retail sales and services	4	PO Pedestrian Overlay (25%)	3	18	PO Pedestrian Overlay (25%)	14	6
Residential dwellings	4	--	4	--	--	--	4
Total	8	1	7	18	4	14	10

Table 4. Bicycle Parking and Loading Requirements (Chapter 54I)

	Minimum Bicycle Parking	Minimum Short-Term	Minimum Long-Term	Proposed	Loading Requirement	Proposed
General retail sales and services	3	Not less than 50%	--	3 short-term	0	0
Residential dwellings	2	--	Not less than 90%	0	0	0
Total	5	--	--	3	0	0

Building Bulk and Height – Meets requirements

- The project qualifies for one density bonus of 20 percent, or 0.34, for providing a mixed-use building with commercial and residential uses. The density bonus increases the maximum allowed F.A.R. from 1.7 to 2.04.

Table 5. Building Bulk and Height Requirements

	Code Requirement	Proposed
Lot Area	--	6,907 sq. ft. / 0.15 acres
Gross Floor Area (GFA)	--	13,090 sq. ft.
Maximum Floor Area Ratio (GFA/Lot Area)	2.04	1.90
Maximum Building Height	4 stories or 56 feet, whichever is less	3 stories / 39 ft.

Residential Lot Requirements – Meets requirements

- The proposed dwellings are part of a mixed use building and the residential lot dimension requirements for the C2 district do not apply to this development.

Table 6. Residential Lot Summary

	Code Requirement	Proposed
Dwelling Units (DU)	--	4 DUs
Density (DU/acre)	--	25.96 DU / acre
Lot Size	--	6,907 sq. ft.
Minimum Lot Width	--	55 ft.

Yard Requirements – Requires variance(s)

- The property is located in the C2 zoning district. There are no yard requirements in the C2 zoning district unless the property abuts a residence or office residence district, or contains interior facing residential windows.
- A front yard is not required. The applicant is proposing a building setback of four feet from the property line.
- The north and south elevations are side yards that contain residential windows, so the setback required by the zoning code is nine feet. The applicant is proposing a four-foot setback along the north and a 3.5-foot setback along the south property line. Each side yard setback requires a variance.

- The rear setback is also nine feet because the rear property line abuts the R1 Single-Family District. The applicant is proposing a setback of 22 feet along the rear property line, which exceeds the minimum requirement.

Table 7. Minimum Yard Requirements

	Zoning District	Proposed
Front (Lyndale Ave S)	0 ft.	4 ft.
Interior Side (North)	9 ft.	4 ft.
Interior Side (South)	9 ft.	3.5 ft.
Rear (abuts R1)	10 ft.	22 ft.

Signs – Meets requirements

- Signs are subject to Chapters [531](#) and [543](#) of the Zoning Code. All new signs are required to meet the requirements of Chapter 543 of the zoning code.
- The property is located in the C2 zoning district and is allowed 1.5 square feet of signage for every one foot of primary building wall. The applicant is proposing three attached signs of 24 square feet each for a total of 72 feet.
- Each of the three signs would be located on a canvas awning and evenly distributed on the Lyndale Avenue South façade.
- The proposed signs would not be lit, but the area underneath the awnings would have downcast lighting.

Table 8. Signage Summary

	Number Allowed Per Zoning Lot	Proposed Number	Maximum Size Allocation	Maximum Area Per Sign	Proposed Area	Maximum Allowed Height	Proposed Height
Attached	No limit	3	72 sq. ft.	180 sq. ft.	72 sq. ft.	28 ft.	12 ft.

Refuse Storage Screening – Meets requirements with Conditions of Approval

- Refuse storage containers are required to be enclosed on all four sides by screening compatible with the principal structure not less than two feet higher than the refused container, or shall be otherwise effectively screened from the street and adjacent residential uses. The dumpster serving the site would be located off-site on the property to the north. The applicant is proposing a new enclosure for the garbage and recycling area but has not specified the material or height of the enclosure. CPED is recommending that the refuse storage be screened per the zoning code standards.

Screening of Mechanical Equipment – Meets requirements with Conditions of Approval

- The applicant has not indicated where the mechanical equipment will be located on the site. To meet the requirements of the zoning code, the mechanical equipment shall be screened with a fence, vegetation, or the building itself. CPED is recommending that the mechanical equipment be screened per these standards.

Lighting – Meets requirements

- The applicant has indicated that the exterior lights will be downcast and located on all sides of the building except for the south elevation. CPED staff is requiring that the applicant provide a

lighting plan to confirm that the lighting is downcast and meets the maximum footcandle standards.

Impervious Surface Area – *Not applicable*

Specific Development Standards – *Not applicable*

AP Airport Overlay District Standards – *Meets requirements*

- The proposal is in compliance with the AP Airport Overlay District requirements. Multiple-family homes are subject to the noise attenuation standards in 551.1150 if they are located within the 2007 60-64 contour; the subject site is not located within this contour and therefore is not subject to the overlay district's noise mitigation regulations.

PO Pedestrian Oriented Overlay District Standards – *Meets requirements*

- The proposal is in compliance with the PO Pedestrian Oriented Overlay District requirements.

3. Conformance with the applicable policies of *The Minneapolis Plan for Sustainable Growth*.

The Minneapolis Plan for Sustainable Growth identifies the site as Mixed Use on the future land use map. The proposed development is consistent with the following principles and policies outlined in the comprehensive plan:

Land Use Policy 1.3: Ensure that development plans incorporate appropriate transportation access and facilities, particularly for bicycle, pedestrian, and transit.

- 1.3.1 Require safe, convenient, and direct pedestrian connections between principal building entrances and the public right-of-way in all new development and, where practical, in conjunction with renovation and expansion of existing buildings.

Land Use Policy 1.4: Develop and maintain strong and successful commercial and mixed use areas with a wide range of character and functions to serve the needs of current and future users.

- 1.4.1 Support a variety of commercial districts and corridors of varying size, intensity of development, mix of uses, and market served.

Land Use Policy 1.5: Promote growth and encourage overall city vitality by directing new commercial and mixed use development to designated corridors and districts.

- 1.5.3 Promote the preservation of traditional commercial storefronts wherever feasible.

Land Use Policy 1.11: Preserve and enhance a system of Neighborhood Commercial Nodes that includes a mix of housing, neighborhood-serving retail, and community uses.

- 1.11.2 Support the continued presence of small-scale, neighborhood-serving retail and commercial services in Neighborhood Commercial Nodes.
- 1.11.4 Encourage a height of at least two stories for new buildings in Neighborhood Commercial Nodes, in keeping with neighborhood character.

- 1.11.5 Encourage the development of medium- to high-density housing where appropriate within the boundaries of Neighborhood Commercial Nodes, preferably in mixed use buildings with commercial uses on the ground floor.

Housing Policy 3.2: Support housing density in locations that are well connected by transit, and are close to commercial, cultural and natural amenities.

- 3.2.1 Encourage and support housing development along commercial and community corridors, and in and near growth centers, activity centers, retail centers, transit station areas, and neighborhood commercial nodes.

The location of the proposed mixed-use commercial and residential building along a Community Corridor and within a Neighborhood Commercial Node is appropriate based on the future land use map and corresponding policies of the comprehensive plan.

4. Conformance with applicable development plans or objectives adopted by the City Council.

The application is in compliance with the *South Lyndale Corridor Plan*. The subject is located within a designated Neighborhood Commercial Node. The plan recommends continuing to support the presence of small-scale retail sales and commercial services in Neighborhood Commercial Nodes, as well as the promotion of medium density residential development. In addition, the plan encourages mixed-use buildings where appropriate and shared parking facilities. The proposed project would re-institute the traditional commercial storefront that previously existed on the site. The mixed-use proposal for a first floor retail space with medium-density housing would be appropriate for this site based on the recommendations contained in the applicable small area plan.

5. Alternative compliance.

The Planning Commission or zoning administrator may approve alternatives to any site plan review requirement upon finding that the project meets one of three criteria required for [alternative compliance](#). Alternative compliance is requested for the following requirements:

- **Definition of all principal entrances.** The proposal shows two principal entrances: one on Lyndale Avenue South, and another toward the rear of the site on the north elevation. As the applicant's accessory parking would be located nearest the north entrance, staff is recommending that additional windows be provided on this side of the building, nearest the Lyndale Avenue South side of the building and continuing the fenestration pattern established on this side of the building. In addition, staff is recommending that an awning be provided over the north entrance to delineate the location of the entrance.
- **On-site deciduous trees.** At least one canopy tree must be provided on-site based on the building coverage of the lot. The landscaping plan identifies two existing trees near the site but not within the site. The first is located within the buffer between the parking area and public street, and the other is located within the public right-of-way along the Lyndale Avenue South elevation of the building. CPED is recommending that the Planning Commission grant alternative compliance, as it would be impractical to plant any trees on-site while maintaining the building wall along Lyndale Avenue South and also providing a pedestrian walkway connecting the parking area to the principal entrance on Lyndale Avenue South.

RECOMMENDATIONS

Recommendation of the Department of Community Planning and Economic Development for the Variance:

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the application for a variance to reduce the north interior side yard setback from the required 9 feet to four feet at the property located at 5336 Lyndale Avenue South.

Recommendation of the Department of Community Planning and Economic Development for the Variance:

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the application for a variance to reduce the south interior side yard setback from the required 9 feet to 3.5 feet at the property located at 5336 Lyndale Avenue South.

Recommendation of the Department of Community Planning and Economic Development for the Site Plan Review:

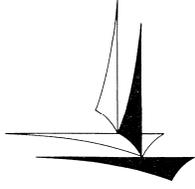
The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the site plan review application to allow a three-story, mixed-use building with four dwelling units at the property located at 5336 Lyndale Avenue South, subject to the following conditions:

1. Approval of the final site plan, landscaping plan, and elevations by the Department of Community Planning and Economic Development.
2. All site improvements shall be completed by June 23, 2016, unless extended by the Zoning Administrator, or the permit may be revoked for non-compliance.
3. All signs require a separate sign permit from CPED.
4. The applicant shall work with CPED staff to provide additional ground-level windows and one awning over the building entrance on the north elevation of the building.
5. The applicant shall be required to submit a landscape plan that demonstrates compliance with sections 530.180, 530.200, and 530.210 of the zoning code.
6. The applicant shall be required to submit a lighting plan that demonstrates compliance with section 535.90 of the zoning code.
7. The applicant shall provide no fewer than three short-term bicycle parking spots for the commercial uses and two long-term bike spots for the residential uses.
8. Mechanical equipment shall be screened as required by section 535.70 of the zoning code.
9. Refuse storage shall be screened as required by section 535.80 of the zoning code.
10. Vehicles may not be parked in the paved drive area between the garage and west property line.

11. The proposed chain link fence shall be vinyl-coated and its location shall be articulated on the final site plan.
12. The applicant shall work with the Department of Public Works to provide on-site retention and filtration of stormwater.

ATTACHMENTS

1. PDR report
2. Zoning map
3. Written description and findings submitted by applicant
4. Surveys
5. Site plan
6. Plans
7. Building elevations
8. Photos
9. Oblique aerials
10. Correspondence



Minneapolis Development Review
250 South 4th Street
Room 300
Minneapolis, MN 55415

Preliminary Development Review Report

Development Coordinator Assigned: **PATRICIA MURZYN**
(612) 673-5827
patricia.murzyn@minneapolismn.gov

Status *
RESUBMISSION REQUIRED

Tracking Number:	PDR 1001195
Applicant:	BILL GRAHAM 5336 LYNDAL AVE S. MINNEAPOLIS, MN 55419
Site Address:	5336 LYNDAL AVE S
Date Submitted:	06-MAY-2014
Date Reviewed:	14-MAY-2014

Purpose

The purpose of the Preliminary Development Review (PDR) is to provide Customers with comments about their proposed development. City personnel, who specialize in various disciplines, review site plans to identify issues and provide feedback to the Customers to assist them in developing their final site plans.

The City of Minneapolis encourages the use of green building techniques. For additional information please check out our green building web page at: http://www.ci.minneapolis.mn.us/mdr/GreenBuildingOptions_home.asp.

DISCLAIMER: *The information in this review is based solely on the preliminary site plan submitted. The comments contained in this report are preliminary ONLY and are subject to modification.*

Project Scope

Mixed use retail on first floor with 4 rental units.

Review Findings (by Discipline)

Construction Code Services

- Existing basement walls and footings, if they are being reused, require structural engineer's certification of condition and load bearing ability. A soil investigation report may be required to determine soil load bearing capacity.
- The south wall requires a one hour rating and 15% maximum openings.
- Does the elevator extend to the third floor?
- What other portions of the existing building will be re-used?

*Approved: You may continue to the next phase of developing your project.

*Resubmission Required: You cannot move forward or obtain permits until your plans have been resubmitted and approved.

□ Zoning - Planning

- Based on the preliminary review, staff has identified the following land use applications for this project:
 - Variance to reduce the south interior side yard setback from 9 feet to 3.5 feet.
 - Variance to reduce the north interior side yard setback from 9 feet to 4 feet.
- Site Plan Review
- Please also address the following items in your revised plans or, if necessary, as a supplement.
- Add additional dimensions to landscaped features.
- Identify all species and quantities of trees, preferably in tabular format.
- List the square footage of all landscaped vs. impervious surface areas for 5336 Lyndale Avenue South. Tabular format is preferred.
- Describe each non-residential use and associated square footage.
- Identify the material, location, and height of all fences.
- Enclose the garbage area.
- Provide a copy of the agreement that describes the snow, garbage, and parking arrangement between the subject site and the neighboring property. Clarify who will use the off-site garbage. Please provide signage for each off-site parking stall to differentiate its intended user.
- Provide a detailed sign plan, if applicable.
- Describe the material, lighting, and dimensions of any proposed awnings.
- Additional applications may be identified based on updated plans.

□ Addressing

- Per City of Minneapolis Street Naming and Address Standard V1.22, the City of Minneapolis holds authority for assignment of all addresses, verification, change, and/or additions. Each assigned address number uses the street that provides the best/direct access for life safety equipment and best/direct access to the occupants.
- The address for the proposed new building will be 5336 Lyndale Avenue South. This address meets the City of Minneapolis Street Naming and Address Standard requirements.
- When assigning suite sequences the following guidelines are as follows:
 - The first one to two digits of the suite sequence number will designate the floor number of the site.
 - The last two digits of the suite sequence number will designate the unique ID for the unit (condo, suite, unit, or apartment).
 - Suite sequence digit numbers will be assigned to dwelling, commercial and retail units, not common areas. For example, laundry rooms, saunas, workout rooms, etc., would not be assigned numbers.
 - Please provide each condo, suite, unit or apartment number.

□ Business Licensing

- Continue to work with Patty Murzyn (612-673-5827) concerning a Food Plan Review, SAC determination and any Business License application submittal that may be required for this proposed project.

□ Historical Preservation Committee

- There is no HPC flag on this property. HPC review is not required at this time. HPC review is required for any wrecking permits pertaining to the removal of existing structures.

□ Fire Safety

- Provide required automatic fire suppression and fire alarm systems throughout building.
- Fire department connection must be located on the address side of building and within 150 feet of a fire hydrant.
- Fire apparatus access roads must be provided and maintained at all times.

❑ Parks - Forestry

- Contact Paul Martinson (612-499-9209) regarding any questions related to adding, removal or the process for protection of trees during construction in the city right of way.
- Effective January 1, 2014, the City of Minneapolis and the Minneapolis Park and Recreation Board adopted an update to the existing Parkland Dedication Ordinance. The adopted City of Minneapolis Parkland Dedication ordinance is located in Section 598.340 of the City's Land Subdivision ordinance:
 - <http://library.municode.com/index.aspx?clientId=11490>
- As adopted, the fee in lieu of dedication for new residential units is \$1,500 per unit (affordable units excluded per ordinance) and for commercial and industrial development it is \$200 per development employee (as defined in ordinance). Any dedication fee (if required) must be paid at the time of building permit issuance.
- There is also an administration fee that is 5% of the calculated park dedication fee.
- As proposed, for your PROJECT, the calculated dedication fee is as follows:
 - Park Dedication Fee Calculation =
 - Residential (4 units x \$1,500 per unit) = \$6,000
 - Non-Residential Commercial Space = \$0
 - 5% of \$XX (Administration Fee) = \$300
 - Total Park Dedication Administrative Fee: = \$6,300
 - This is a preliminary calculation based on your current proposal; a final calculation will be made at the time of building permit submittal.
 - For further information, please contact Patty Murzyn 612-673-5827.

❑ Right of Way

- Note to the Applicant: The submitted plan combines most of the civil engineering items into a single sheet (Sheet C.1). It is recommended that a separate sheet be provided for demolition and erosion control items.
- An encroachment permit shall be required for all streetscape elements in the Public right-of-way such as: plants & shrubs, planters, tree grates and other landscaping elements, sidewalk furniture (including bike racks and bollards), and sidewalk elements other than standard concrete walkways such as pavers, stairs, raised landings, retaining walls, access ramps, and railings (NOTE: railings may not extend into the sidewalk pedestrian area). Please contact Bob Boblett at (612) 673-2428 for further information.
- The plan proposes re-pavement of the existing alley extending to W. 54th St. Note to the Applicant: This alley is not Public right-of-way and it is not clear from the survey which property owner has access rights to this private alley.

❑ Street Design

- All driveway aprons shall be designed and constructed to City standards. Please refer to the following: http://www.minneapolismn.gov/publicworks/plates/public-works_road . Add the appropriate details from the ROAD-2000 Series: Driveways (ROAD-2000, ROAD-2002, ROAD-2003) to the plans.
- All curb & gutter in the Public right-of-way shall be designed and constructed to City standards, curb & gutter to be City standard B624 Curb and Gutter. Please refer to the following: http://www.minneapolismn.gov/publicworks/plates/public-works_road . Add the appropriate details from the ROAD-1000 Series - Curbs and Gutters (ROAD-1003, and ROAD-1010) to the plans.

❑ Traffic and Parking

- The driveway apron width should be no wider than 22'. It is recommended to keep the northern most radius to the apron for a cost savings and shorter crossing distance.
- If it is determined that the driveway apron is to be built as proposed, please contact Bill Prince at (612) 673-3901 regarding relocation of existing street lighting. Per Traffic recommendation, if the proposed driveway apron is reduced in width, the Applicant can avoid relocation of the existing street light.

❑ Water

- The existing water service to the site shall be removed. All existing and proposed underground Public Utilities (water, sanitary sewer, and storm drain) shall be shown on the site plan with corresponding pipe sizes and types. For Public watermain infrastructure records call (612) 673-2865. Any existing connections not in use shall be noted on the plans for removal, and shall be removed per the requirements of the Utility Connections Department, call (612) 673-2451 for more information.
- The site plan proposes a 6" domestic and a 4" fire service connection; these service connection sizes appear excessive for the proposed building use; please contact Rock Rogers at (612) 673-2286, to review domestic and fire service design, connections, and sizes.

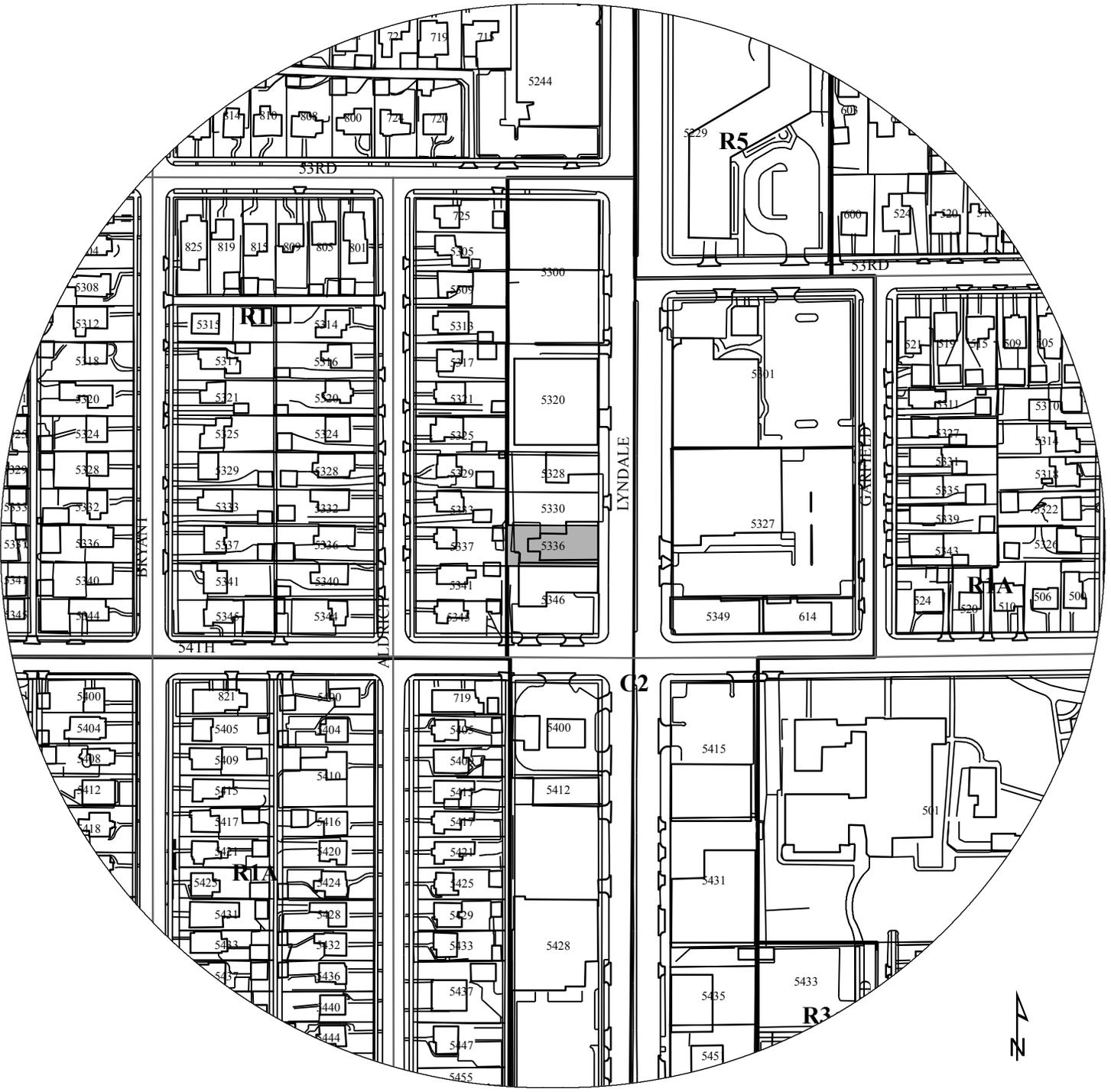
❑ Sidewalk

- The plan as submitted meets the requirements of the Public Works Sidewalk Inspections Division.

❑ Sewer Design

- Stormwater Management: The proposed project is located within the Minnehaha Creek Watershed District, which has a separate review process from that of the City. Please note it may be necessary to obtain approvals or permits from Minnehaha Creek Watershed District.
- Surface Drainage: Please identify the location of roof drains and any proposed foundation or drain tile connections or discharges.
- For comments or questions on Public Works Surface Water & Sewers Division related requirements please contact Jeremy Strehlo, (Professional Engineer) at (612) 673-3973, or jeremy.strehlo@minneapolismn.gov

END OF REPORT



PROPERTY ADDRESS

5336 Lyndale Ave S

FILE NUMBER

BZZ-6579

April 28, 2014

Statement for proposed Use of

5336 Lyndale Ave South

Minneapolis MN 55419

To whom it may concern,

The proposed use of the rebuilt building at 5336 Lyndale Ave will be a mixed use building. The first floor of 3,440 s.f. will be used for a retail store, a bicycle shop or a antique store, or for retail food. In addition to four heated garages for the four loft apartments that will occupy the second and third floors of the building.

Sincerely,

Bruce Hellier

Hellier Design

HELLIER DESIGN

9480 Aspen Circle, Eden Prairie MN. 55347 Mobil (612) 419-3012

May 15, 2014

Request for the north and south variance

At 5336 Lyndale Ave S.

To whom it may concern,

We are requesting a variance for the north side and south side nine-foot setback for our building at 5336 Lyndale Ave S. We believe that this request is valid because the main floor will have a three-foot setback and the six foot shift of the buildings perimeter walls one floor up would give the building an ugly appearance not in tune with the strong local architectural tradition in this area of Minneapolis.

We are also planning to reuse the existing foundations walls that remain from the existing building because these walls remain structurally sound and in place. The fire that burnt this building was contained on the main floor and the foundation walls are in good condition.

The lot to the north will have a parking and access easement on it to provide the required parking for this building, this building can not existing on this lot with out the easements on the lot to the north. These easements will need to remain enforce for the life of the building, therefore no building can be built on the lot to the north, thus the nine foot setback required for this green space between the two possible buildings will never happen unless our building is removed.

We have complied with the east and west setback requirements for our project and we believe that granting our variance requests would be in the best interests of the future of our neighborhood, we have the support of the neighborhood groups in our ward for the design of the building with the proposed variance. Please feel free to contact me with any questions you may have.

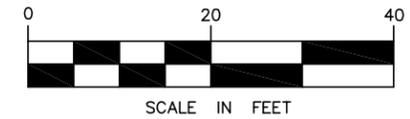
Sincerely,

Bruce Hellier Hellier Design

Bill Graham Property Owner

CERTIFICATE OF SURVEY

Call 48 Hours before digging
GOPHER STATE ONE CALL
 Twin Cities Area 651-454-0002
 MN. Toll Free 1-800-252-1166



LEGEND

- DENOTES FOUND PROPERTY IRON
- DENOTES SET "X" ON CONCRETE
- DENOTES BOUNDARY LINE
- - - DENOTES LOT LINE
- - - 999 DENOTES EXISTING CONTOUR LINE
- x999.99 DENOTES EXISTING ELEVATION
- ▨ DENOTES CONCRETE SURFACE
- ▩ DENOTES BITUMINOUS SURFACE
- ← DENOTES DRAINAGE FLOW
- WS DENOTES WATER CURB STOP
- ⊙ DENOTES ELECTRIC POWER POLE
- ⊛ DENOTES LIGHT POLE
- EM DENOTES ELECTRIC METER
- OE— DENOTES OVERHEAD ELECTRIC
- DENOTES CHAINLINK FENCE
- DENOTES WOOD FENCE
- ⊥ DENOTES SIGN/POST
- (M) DENOTES MEASURED DISTANCE
- (P) DENOTES PLATTED DISTANCE

LEGAL DESCRIPTION

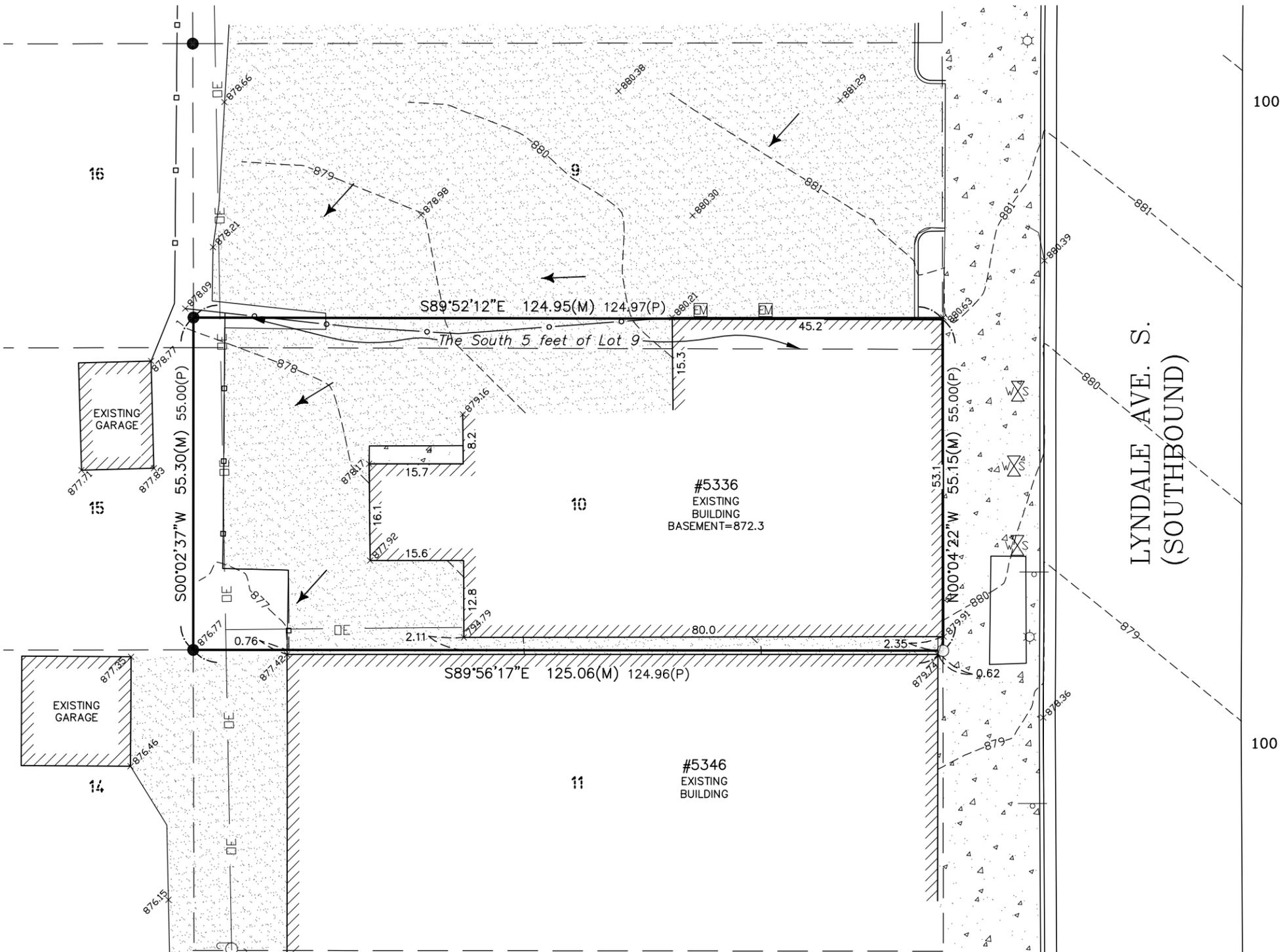
Lot 10 and the South 5 feet of Lot 9, Block 8, BUTLERS BROOKSIDE ADDITION TO MINNEAPOLIS, Hennepin County, Minnesota, according to the recorded plat thereof.

BUILDING SETBACKS

ZONING: C2 = NEIGHBORHOOD CORRIDOR COMMERCIAL DISTRICT
 BUILDING: FRONT / SIDE / REAR = 0 FT SETBACK

NOTES

1. THE BASIS OF THE BEARING SYSTEM IS ASSUMED.
2. NO SPECIFIC SOIL INVESTIGATION HAS BEEN COMPLETED
3. NO TITLE INFORMATION WAS PROVIDED FOR THIS SURVEY. THIS SURVEY DOES NOT PURPORT TO SHOW ALL EASEMENTS OF RECORD.
4. EXISTING UTILITIES AND SERVICES SHOWN HEREON OWNER LOCATED EITHER PHYSICALLY ON THE GROUND DURING THE SURVEY OR FROM EXISTING RECORDS MADE AVAILABLE TO US OR BY RESIDENT TESTIMONY. OTHER UTILITIES AND SERVICES MAY BE PRESENT. VERIFICATION AND LOCATION OF UTILITIES AND SERVICES SHOULD BE OBTAIN FROM THE OWNERS OF RESPECTIVE UTILITIES BY CONTACTING GOPHER STATE ONE CALL AT (651) 454-0002 PRIOR TO ANY DESIGN, PLANNING OR EXCAVATION.



LYNDALE AVE. S.
 (SOUTHBOUND)

LYNDALE AVE. S.
 (NORTHBOUND)

REFERENCE BENCHMARK

ELEVATION = 894.72 @ CITY OF MINNEAPOLIS
 MONUMENT #143 AT THE INTERSECTION OF
 54th ST W & DUPONT AVE S.

HARDCOVER

EXISTING IMPERVIOUS SURFACES 6,448 SQ. FT.
 TOTAL LOT AREA 6,903 SQ. FT.
 PROPOSED HARDCOVER 93.4 %

NO.	DATE	DESCRIPTION	BY

ENGINEERING DESIGN & SURVEYING
 6480 Wayzata Blvd. Minneapolis, MN 55426
 OFFICE: (763) 545-2800 FAX: (763) 545-2801
 EMAIL: info@edsmn.com WEBSITE: http://edsmn.com

I HEREBY CERTIFY THAT THIS SURVEY WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.

Vlad Sivriver
 VLADIMIR SIVRIVER L.S. NO. 25105 DATED: 10/02/13

JOB NAME: CHRIS RYDRYCH
 LOCATION: 5336 LYNDALE AVE. S.
 MINNEAPOLIS, MN 55419

FIELD WORK DATE: 09/19/13
 FIELD BOOK NO.: EDS-12

DRAWN BY: EP
 CHECKED BY: VS
 PROJECT NO.: 13-087
 SHEET NO. 1 OF 1

REVISIONS	1.	2.	3.	4.	5.	6.	7.	8.

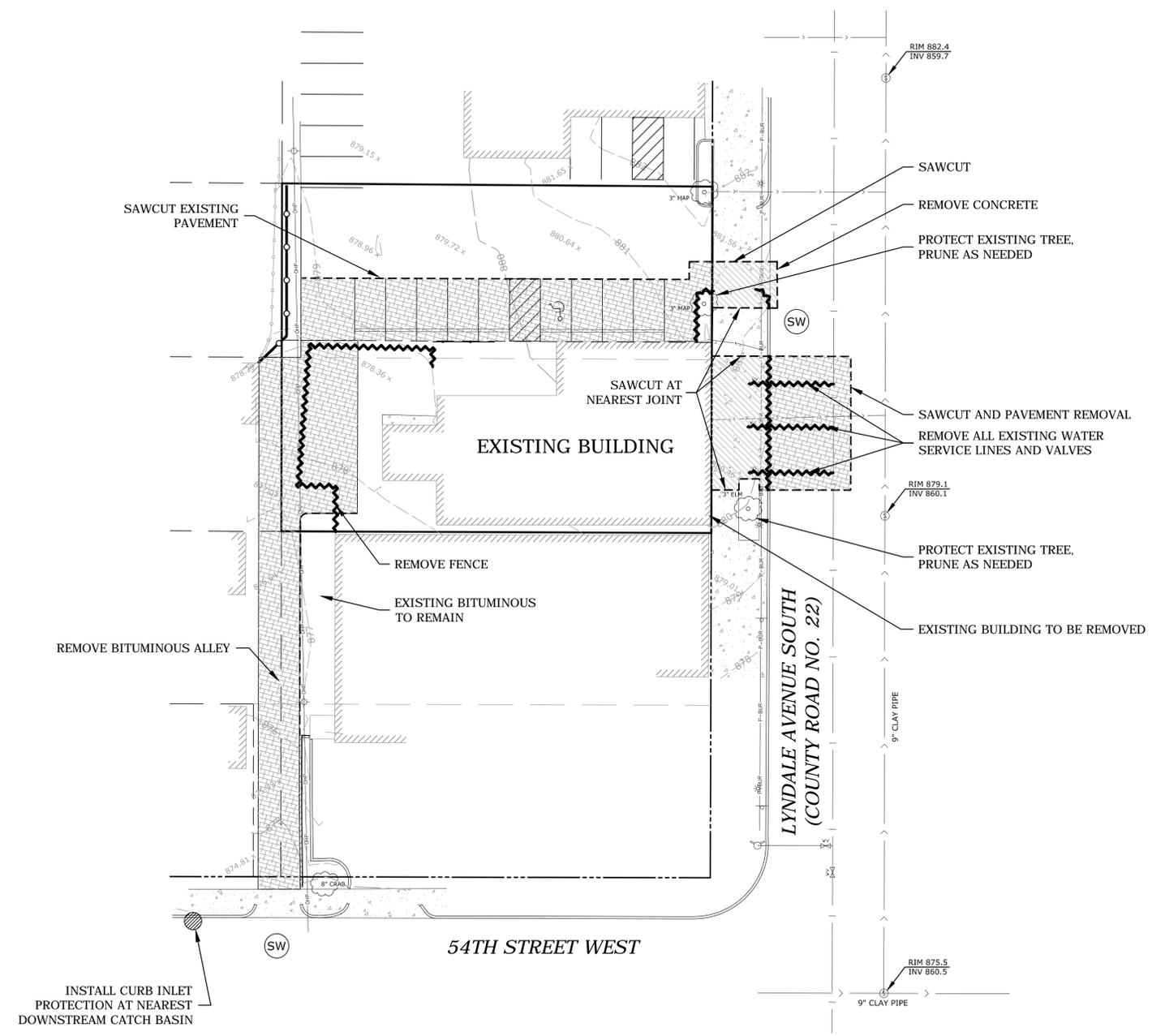
DEMOLITION AND
EROSION & SEDIMENT CONTROL PLAN

LUP 5-20-14

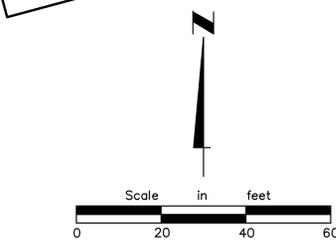
DRAWN BY: AKC
CHECKED BY: C.J.H.

5340 LYNDALE AVE. S.

C.1



PRELIMINARY - NOT FOR CONSTRUCTION



CALL BEFORE YOU DIG!
MINNESOTA LAW REQUIRES EXCAVATORS TO NOTIFY THE REGIONAL NOTIFICATION CENTER AT LEAST TWO (2) BUSINESS DAYS BUT NOT MORE THAN FOURTEEN (14) CALENDAR DAYS PRIOR TO EXCAVATION
GOPHER STATE ONE CALL
www.gopherstateonecall.org
1-800-252-1166

LEGEND

	EXISTING SANITARY SEWER
	EXISTING WATERMAIN
	EXISTING OVERHEAD POWER
	EXISTING BURIED POWER
	EXISTING FENCE
	EXISTING SANITARY MANHOLE
	EXISTING SIGN
	EXISTING HYDRANT
	EXISTING WATER VALVE
	SILT FENCE
	SAWCUT/REMOVAL LINE
	TREE
	INLET PROTECTION
	STREET SWEEPING
	EXISTING SPOT ELEVATION
	EXISTING CONCRETE
	REMOVE CONCRETE PAVEMENT
	REMOVE BITUMINOUS PAVEMENT
	REMOVAL

EROSION AND SEDIMENT CONTROL NOTES

INSTALL PERIMETER EROSION CONTROLS AS INDICATED IN PLANS PRIOR TO START OF WORK. HAY BALES ARE NOT ALLOWED AS EROSION & SEDIMENT CONTROL DEVICE IN MINNEAPOLIS.

ESTABLISH ROCK CONSTRUCTION ENTRANCES PRIOR TO BEGINNING LAND DISTURBING ACTIVITIES. 1 1/2" - 3" WASHED AGGREGATE IS RECOMMENDED FOR ROCK ENTRANCES, A GEOTEXTILE FABRIC IS REQUIRED.

REMOVE ALL SOILS AND SEDIMENTS DEPOSITED ONTO PUBLIC AND/OR PRIVATE PAVEMENT AREAS WITHIN 24 HOURS OF DEPOSITION. REMOVAL OF TRACKING MATERIALS SHALL BE COMPLETED AT THE END OF EACH WORK DAY WHEN TRACKING OCCURS. SWEEPING MAY BE ORDERED AT ANY TIME IF CONDITIONS WARRANT. SWEEPING SHALL BE MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION AND IN SUCH A MANNER TO PREVENT DUST BEING BLOWN TO ADJACENT PROPERTIES.

INSTALL INLET PROTECTION IN ALL DOWNSTREAM CATCH BASINS WHICH RECEIVE RUNOFF FROM THE DISTURBED AREA. CATCH BASIN INSERTS ARE REQUIRED AT ALL LOCATIONS NOT WITHIN THE DISTURBED AREA WHICH RECEIVE RUNOFF (MNDOT TYPE C INLET PROTECTION). NOTE HAY BALES AND SILT FENCE WRAPPED GRATES ARE NOT EFFECTIVE AND ARE NOT APPROVED FOR USE AS INLET PROTECTION DEVICES.

LOCATE ALL SOIL AND DIRT PILES NO LESS THAN 25 FEET FROM ANY PUBLIC OR PRIVATE ROADWAY OR DRAINAGE CHANNEL. ALL STOCK PILES THAT REMAIN IN PLACE FOR 7 DAYS OR MORE SHALL BE STABILIZED BY MULCHING, VEGETATIVE COVER, TARPING OR OTHER MEANS. TEMPORARY STOCK PILES LOCATED ON PAVED SURFACES MUST BE AT LEAST 2 FEET OR MORE AWAY FROM THE DRAINAGE/GUTTER LINE AND SHALL BE COVERED IF REMAINING MORE THAN 24 HOURS.

MAINTAIN ALL TEMPORARY EROSION CONTROL DEVICES IN PLACE UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED. INSPECT TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES ON A WEEKLY BASIS AND REPLACE DETERIORATED, DAMAGED OR ROTTED EROSION CONTROL DEVICES IMMEDIATELY.

MAINTENANCE OF EROSION AND SEDIMENT CONTROL DEVICES SHALL BE PERFORMED WHENEVER THE DEVICE IS 30% FULL. FAILURE TO MAINTAIN EROSION CONTROL DEVICES MAY LEAD TO FURTHER ENFORCEMENT ACTION. WEEKLY INSPECTIONS REQUIRED AND AFTER EACH 1/2" OR MORE RAIN EVENT WITHIN 24 HRS.

READY MIXED CONCRETE AND BATCH PLANT WASHOUTS PROHIBITED WITHIN THE PUBLIC RIGHT OF WAY. DESIGNATE CONCRETE WASHOUT AND MIXING LOCATIONS IN THE EROSION CONTROL PLANS. UNDER NO CIRCUMSTANCES MAY WASHOUT WATER DRAIN ONTO THE PUBLIC RIGHT OF WAY OR INTO THE PUBLIC STORM DRAIN.

TEMPORARILY OR PERMANENTLY STABILIZE ALL DENUDED AREAS WHICH HAVE BEEN FINISH GRADED WITHIN 7-14 DAYS (SLOPE DEPENDENT). USE SEEDING AND MULCHING. EROSION CONTROL MATTING AND/OR SODDING WITH TEMPORARY STAKING IN GREEN SPACE AREAS. USE EARLY APPLICATION OF GRAVEL BASE FOR AREAS DESIGNATED FOR PAVED SURFACING.

REMOVE ALL TEMPORARY SYNTHETIC, STRUCTURAL AND NON-BIODEGRADABLE EROSION AND SEDIMENT CONTROL AFTER THE SITE HAS UNDERGONE FINAL STABILIZATION AND PERMANENT VEGETATION HAS BEEN ESTABLISHED. MINIMUM VEGETATION COVER OF 70% REQUIRED. ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED UNTIL THE SITE HAS 70% ESTABLISHED VEGETATIVE COVER AND ALL PAVED AREAS HAVE BEEN STABILIZED WITH THE SELECTED PAVEMENT TYPE.

ADDITIONAL EROSION CONTROL MAY BE REQUIRED BY OTHER PERMITTING AGENCIES. IT IS THE RESPONSIBILITY OF THE PROJECT ENGINEER TO VERIFY THAT THE CITY AND ALL OTHER AGENCY REQUIREMENTS ARE MET.

MINNEAPOLIS CUSTOM MNDOT SPEC. REF. 2573 NOT TO SCALE.

	MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS	EROSION CONTROL NOTES	STANDARD PLATE NO. SEWR-8007
DRAWN: DCD	DATE: 808		
APPROVED: HRS	DATE: 307		

SILT FENCE INSTALLATION

USE HI-FLOW FILTER FABRIC, 200 GAL. PER MINUTE PER SQUARE FOOT

NOTES:

- SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.
- INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY, REQUIRED WHEN 1/3 FULL WITHIN 24 HOURS OF DISCOVERY. 9' MAXIMUM RECOMMENDED STORAGE HEIGHT.
- REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND PERMANENTLY STABILIZED ALSO SEE SEWR-8009.

REFERENCES: MINNESOTA URBAN SMALL SITES BMP MANUAL, MNDOT SPEC. REF. 2573, 3886, 3889.2 TYPE 1 NOT TO SCALE. MINNEAPOLIS CUSTOM MNDOT SPEC. REF. 2573 NOT TO SCALE.

	MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS	SEDIMENT CONTROL - SILT FENCE	STANDARD PLATE NO. SEWR-8001
DRAWN: DCD	DATE: 303		
APPROVED: HRS	DATE: 407		

BENCHMARK
TOP NUT OF HYDRANT AT NW QUADRANT OF INTERSECTION OF 54TH STREET WEST AND LYNDALE AVENUE SOUTH
ELEVATION = 876.30

NOTES

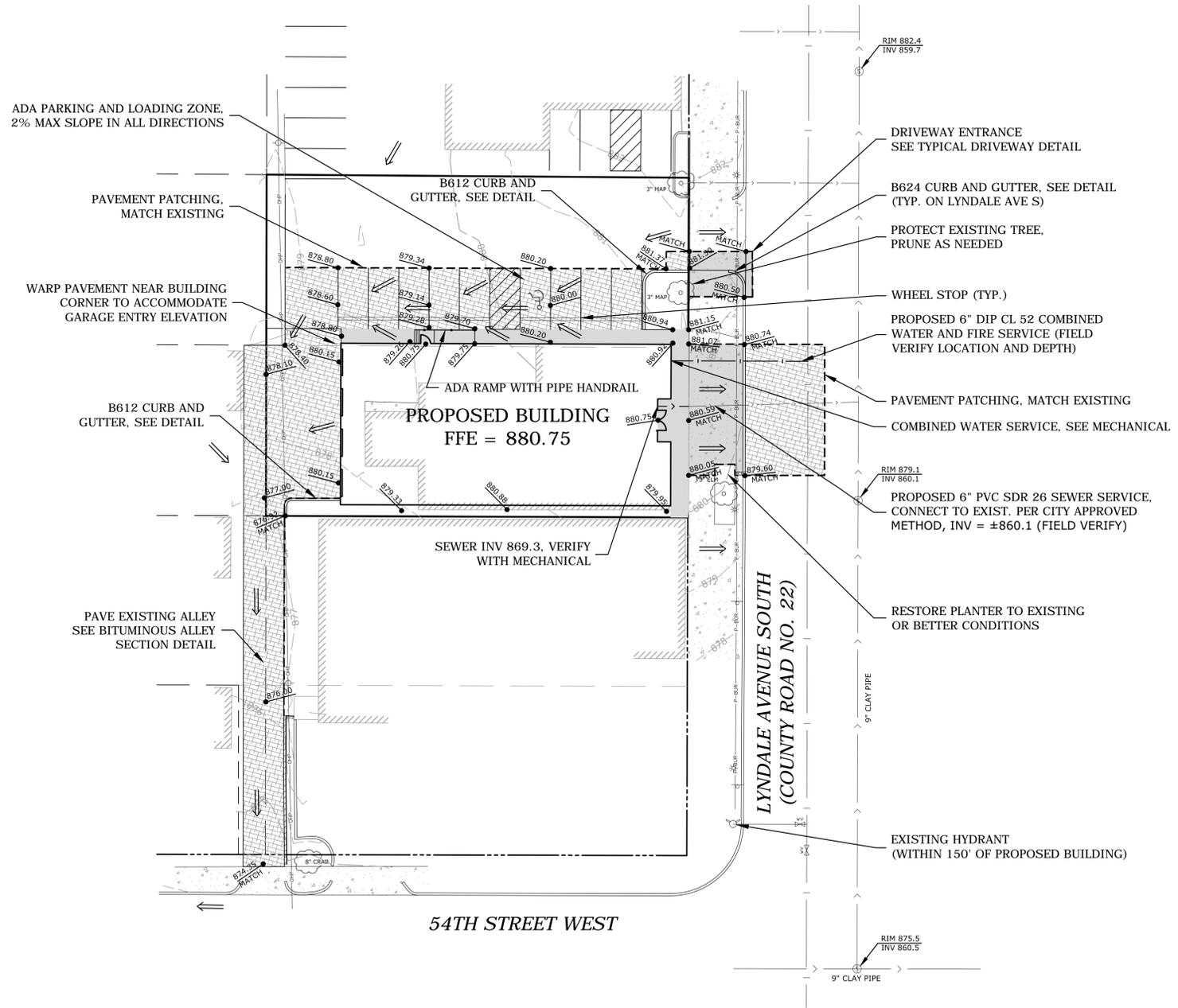
PROTECT ALL EXISTING TREES THROUGHOUT CONSTRUCTION PROCESS UNLESS OTHERWISE NOTED.

EROSION CONTROL SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBANCE ACTIVITIES.

THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL "D". THIS UTILITY QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CI/ASCE 38-02, ENTITLED "STANDARD GUIDELINE FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA."

PERMIT REQUIRED FROM HENNEPIN COUNTY FOR WORK WITHIN CR 22 RIGHT-OF-WAY.

PROJECT DISTURBANCE AREA = 7,250 SF (0.17 AC)
AN EROSION CONTROL PERMIT IS REQUIRED FROM MCWD



LEGEND

- EXISTING SANITARY SEWER
- EXISTING WATERMAIN
- EXISTING OVERHEAD POWER
- EXISTING BURIED POWER
- EXISTING FENCE
- EXISTING SANITARY MANHOLE
- EXISTING SIGN
- EXISTING HYDRANT
- EXISTING WATER VALVE
- MATCHLINE
- TREE
- SPOT ELEVATION
- DRAINAGE FLOW
- EXISTING CONCRETE
- PROPOSED CONCRETE PAVEMENT
- PROPOSED BITUMINOUS PAVEMENT

BENCHMARK
TOP NUT OF HYDRANT AT NW QUADRANT OF INTERSECTION OF 54TH STREET WEST AND LYNDALE AVENUE SOUTH
ELEVATION = 876.30

NOTES

PROTECT ALL EXISTING TREES THROUGHOUT CONSTRUCTION PROCESS UNLESS OTHERWISE NOTED.

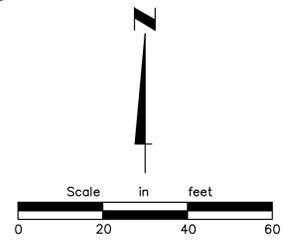
ALL SPOT ELEVATIONS ARE TOP OF PAVEMENT ELEVATION UNLESS OTHERWISE SPECIFIED.

EROSION CONTROL SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBANCE ACTIVITIES.

THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL "D". THIS UTILITY QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CI/ASCE 38-02, ENTITLED "STANDARD GUIDELINE FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA."

PERMIT REQUIRED FROM HENNEPIN COUNTY FOR WORK WITHIN CR 22 RIGHT-OF-WAY.

PRELIMINARY - NOT FOR CONSTRUCTION



CALL BEFORE YOU DIG!
MINNESOTA LAW REQUIRES EXCAVATORS TO NOTIFY THE REGIONAL NOTIFICATION CENTER AT LEAST TWO (2) BUSINESS DAYS BUT NOT MORE THAN FOURTEEN (14) CALENDAR DAYS PRIOR TO EXCAVATION.
GOPHER STATE ONE CALL
www.gopherstateonecall.org
1-800-252-1166

Engineering • Surveying
Landscape Architecture

HANSEN THORP PELLINEN OLSON, Inc.
7510 Market Place Drive • Eden Prairie, MN 55344
952-923-0700 • 952-923-7806 fax

REVISIONS

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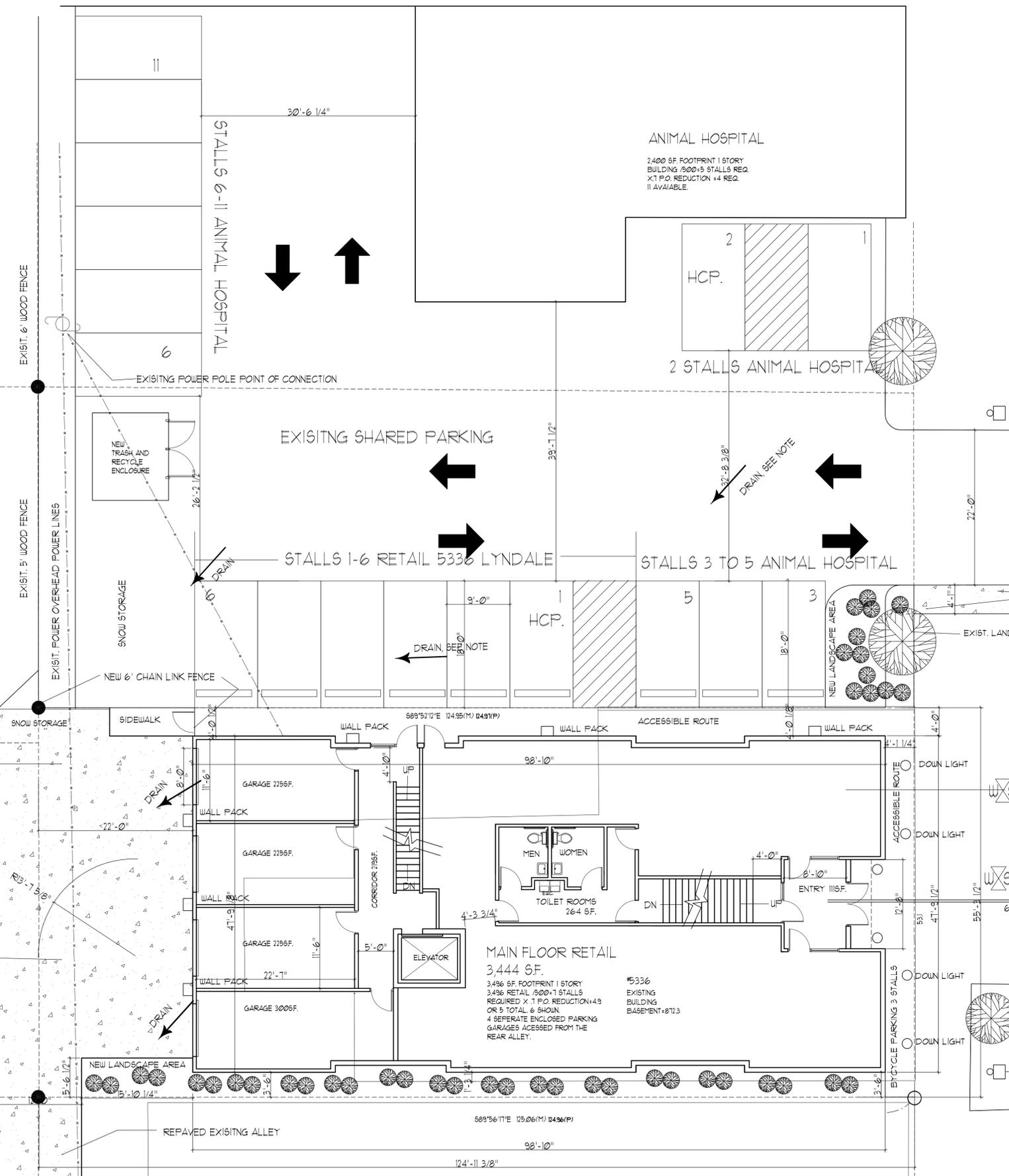
PAVING, GRADING, DRAINAGE, AND UTILITY PLAN

LUP 5-20-14

DRAWN BY: AKC
CHECKED BY: C.J.H.

5340 LYNDALE AVE. S.

C.2



ZONING REVIEW
 5336 LYNDALE AVE SOUTH ZONING INFO
 Lynnhurst Neighborhood,
 Police Precinct 5
 Ward 13
 Airport Overlay District
 C2 Corridor District
 FO/Ped Oriented Overlay

CODE REVIEW
 CODE REVIEW:
 CODES USED:
 BUILDING CONSTRUCTION TYPES
 BASIC ALLOWABLE 5FA-3
 ALLOWABLE SF. INCREASES
 BUILDING OCCUPANCY
 OCCUPANCY SEPARATIONS
 OCCUPANCY LOAD FACTORS
 BUILDING OCCUPANCY AND USE
 MAX DISTANCE TO EXIT
 EXITS REQUIRED
 EXITS PROVIDED
 UNISEX TOILET
 ADA PARKING STALL
 ADA CURB CUT
 TOTAL PARKING STALLS
 TOILET FIXTURE REQUIREMENTS: 50
 MEN AND 50 WOMEN
 108 MEN / 75 OCC. PER STOOL = 2
 STOOL
 1 LAV PER 200 OCC. = 1 LAV.
 108 WOMEN / 75 OCC. PER STOOL = 2
 STOOL
 1 LAV PER 200 OCC. = 1 LAV.
 1 FLOOR SINK OR CLEANING TUB.
 4 STOOLS, 2 LAVS, 1 E.W.C, 1 SLOP SINK

**IBC 2006 WITH
 CURRENT MINNESOTA AMENDMENTS
 CHAPTER 5511 MINN ACCESS CODE
 & LOCAL ZONING ORDINANCES**

**TYPE V B NON-RATED
 6,000 SF. BASIC ALLOWABLE**

**3 SIDES OPEN -SPRINKLED - 200%
 A-3 /R-2/6
 2 HOUR BTWN A-3 AND R-2
 15 SF /PERSON IN "A-3"
 300 SF /PERSON IN STORAGE
 700 SF. /PERSON R-2**

**250' AT A-3 50' AT R-2
 1 AT R-2 2 AT A-3
 1 AT R-2 2 AT A-3
 SEE ALL NEW TOILET ROOMS
 1 WITH ACCESS ILSE
 EXISTING TO REMAIN**

**HELLIER DESIGN ASSUMES NO RESPONSIBILITIES FOR STRUCTURAL OR DIMENSIONAL
 ERRORS OR OMISSIONS. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL
 NECESSARY PERMITS AND CHECKS FROM THE CITY OF EDEN PRAIRIE AND THE STATE OF
 MINNESOTA. HELLIER DESIGN SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS FOR POSSIBLE
 CORRECTIONS PRIOR TO START OF CONSTRUCTION.
 NO WARRANTIES EXPRESSED OR IMPLIED.**

OCCUPANCY / ROOM NAME	AREA SF.	OCCUPANCY LOAD
A-3 RESTURANT	3,240 SF.	3,240/15 216
TOTAL	3,240 SF.	216

NOTE:
 ALL DARK DOUBLE LINES ARE NEW WALLS ALL
 DARK SINGLE LINES
 SHOW BOUNDARIES OF NEW PAVEMENT AS HATCHED.
 NO EXISTING
 WALLS OF THE EXISTING BUILDING WILL
 BE REUSED.

SITE CALCS
 NEW LANDSCAPE AREA "A"
 465 SF.
 NEW LANDSCAPE AREA "B"
 225 SF.
 6307 SF. TOTAL SITE AREA
 469 SF. LANDSCAPING
 6438 HARDSURFACE REMAINING

SITE DRAINAGE
 THE EXISTING DRAINAGE WILL BE KEPT IN PLACE,
 THE PARKING LOT, SIDEWALKS
 AND THE BUILDING AREA/ROOF WILL
 DRAIN INTO THE EXISTING ALLEY,
 WHERE THE CURRENT HARDSURFACE AREA,
 WHICH DOES NOT INCREASE, DRAINS.

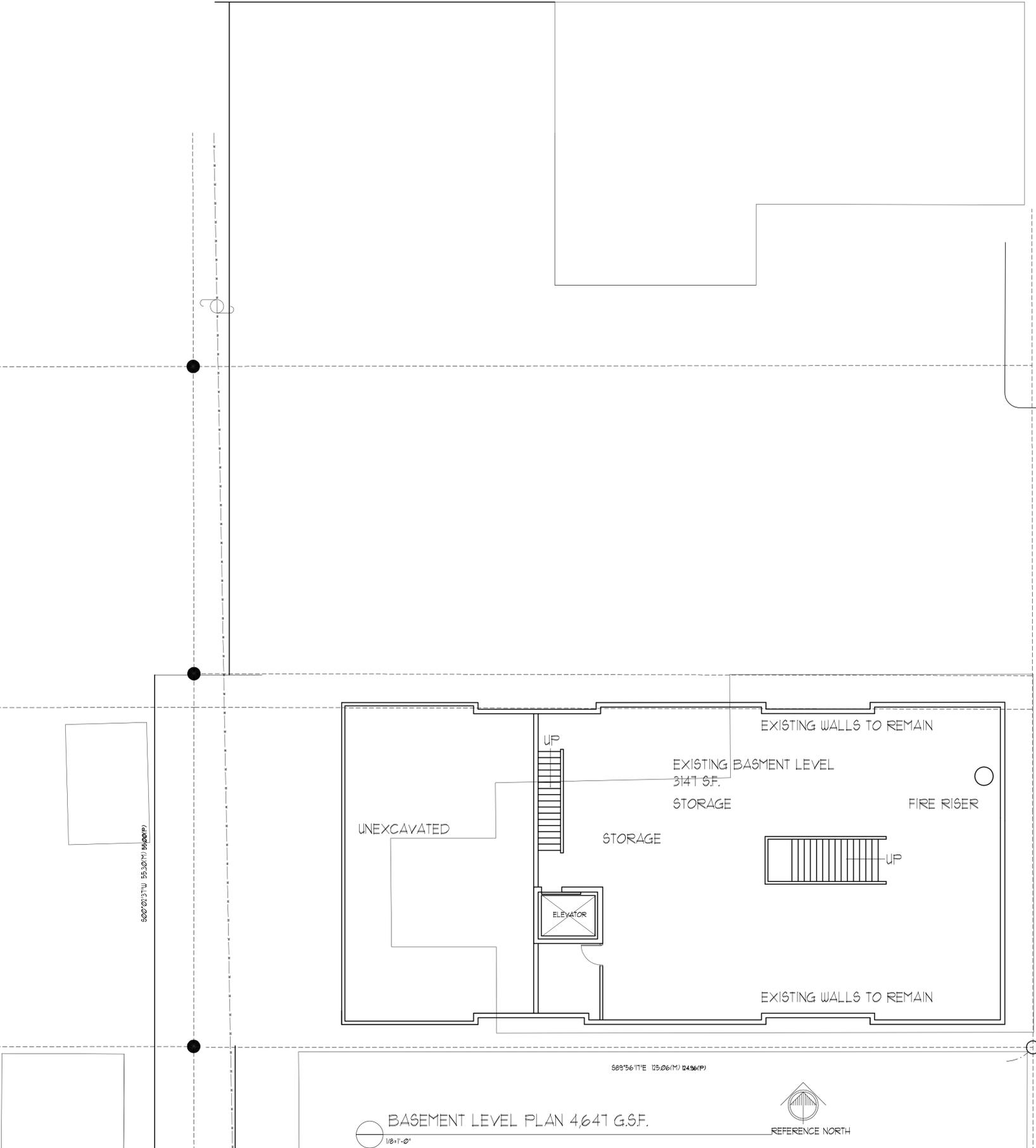
HELLIER DESIGN
 9480 ASPEN CIRCLE 612-419-3012
 EDEN PRAIRIE, MN. 55347
 HellierDesign@aol.com

FOR 5-05-14
 LUF 5-20-14

SITE PLAN MAIN FLOOR
 5336 LYNDALE AVE. S.

A.1

93?? FILENAME



LYNDALE AVE. S.
(SOUTHBOUND)

LYNDALE AVE. S.
(NORTHBOUND)

BASEMENT PLAN
5336 LYNDALE AVE. S.

FOR 05-05-14
LUP 5-20-14

DRAWN BY: EGH
CHECKED BY: EGH

HELLIER DESIGN

9480 ASPEN CIRCLE 612-419-3012
EDEN PRAIRIE, MN. 55341
HellierDesign@aol.com

REVISIONS

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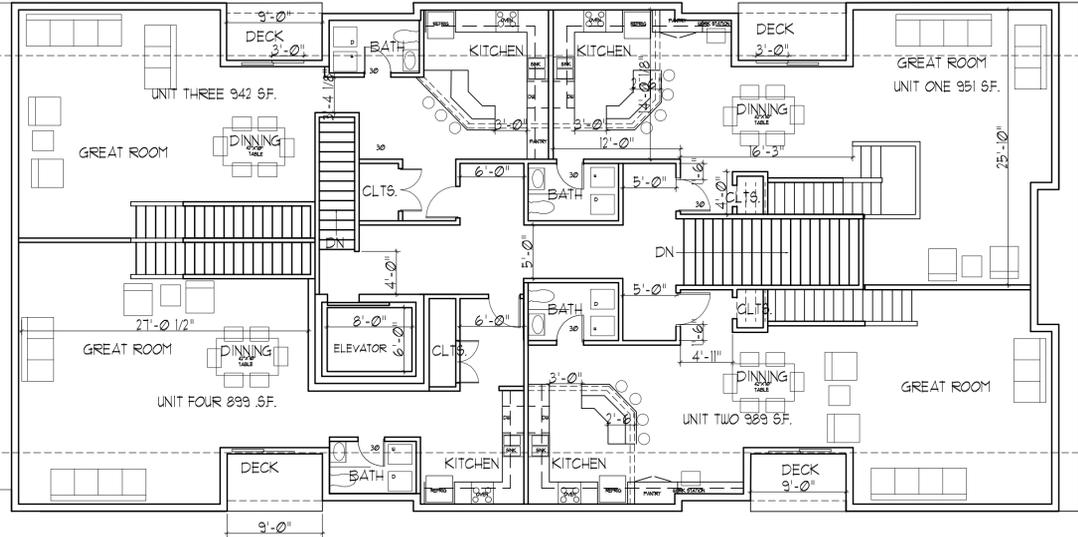
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93??

FILENAME

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A.0



MAIN FLOOR PLAN
1/8"=1'-0"



LYNDALE AVE. S.
(SOUTHBOUND)

LYNDALE AVE. S.
(NORTHBOUND)

T:\01191\dwg_12-27-01_12404.dwg EST

SECOND FLOOR PLAN
5336 LYNDALE AVE. S.

FDR 5-05-14
LUP 5-20-14

DRAWN BY: BGH
CHECKED BY: BGH

HELLIER DESIGN
9480 ASPEN CIRCLE 612-419-3012
EDEN PRAIRIE, MN. 55341
HellierDesign@aol.com

REVISIONS

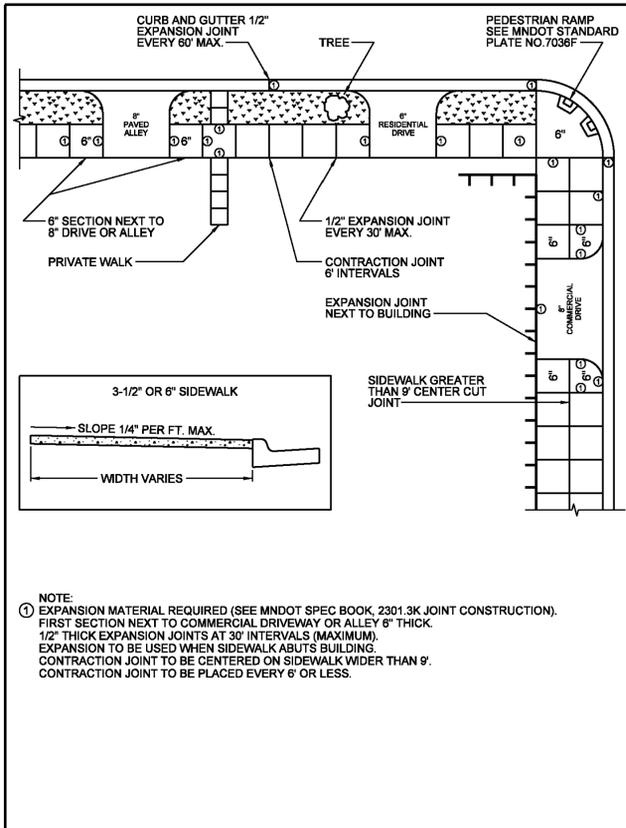
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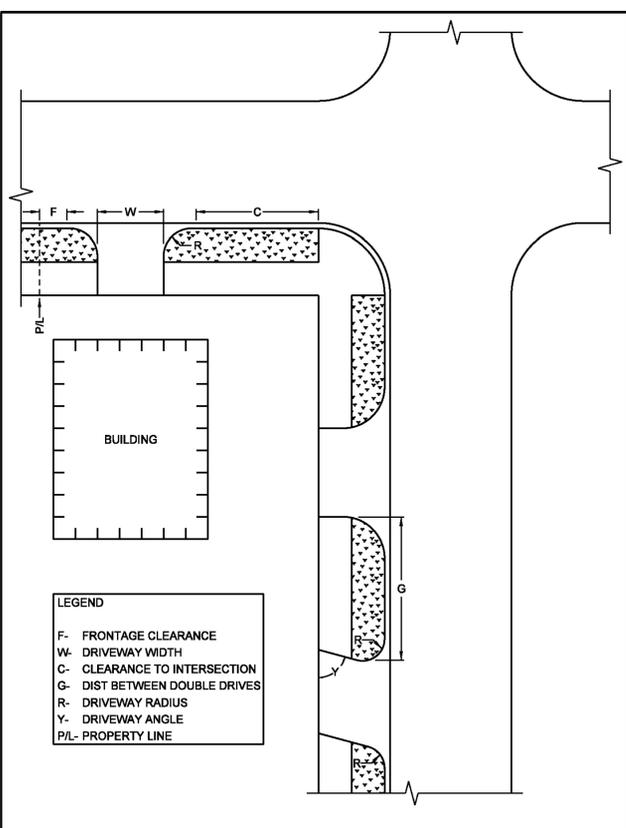
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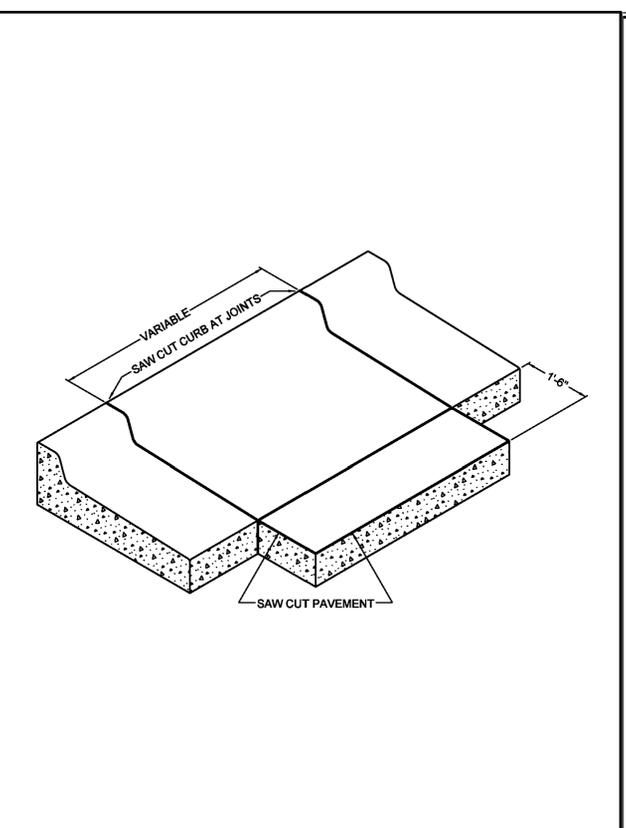
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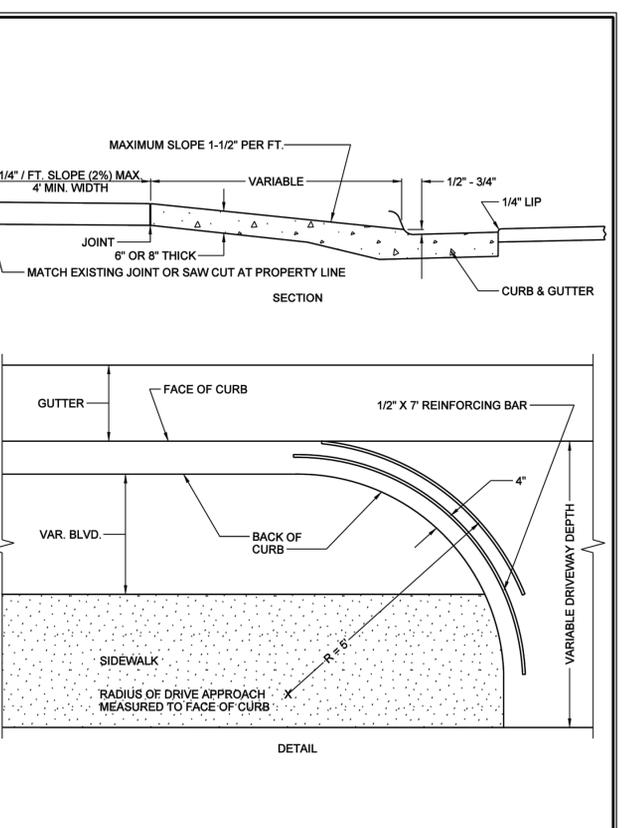
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APPROVED: GAS	DATE: 9/19/08		



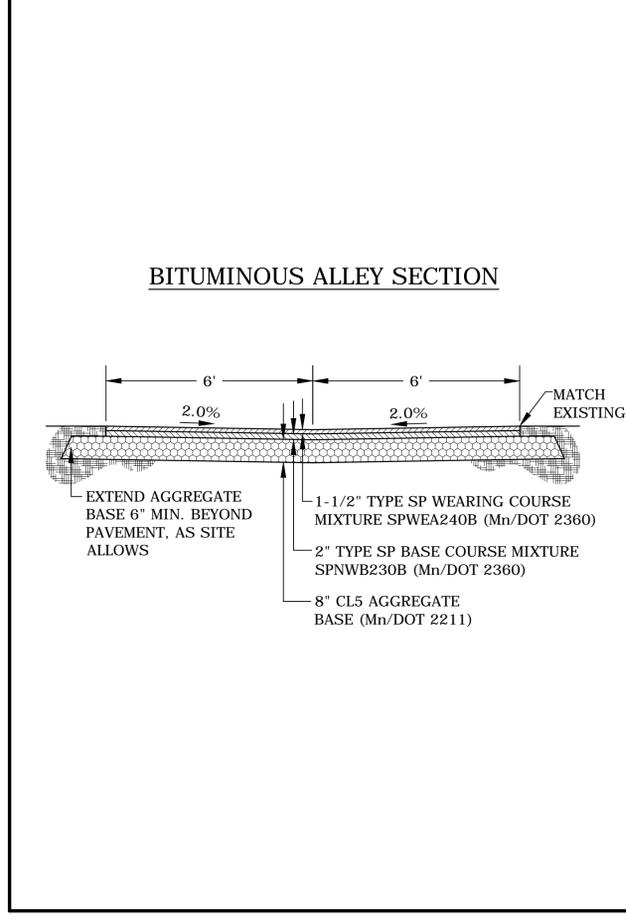
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APPROVED: GAS	DATE: 9/19/08		



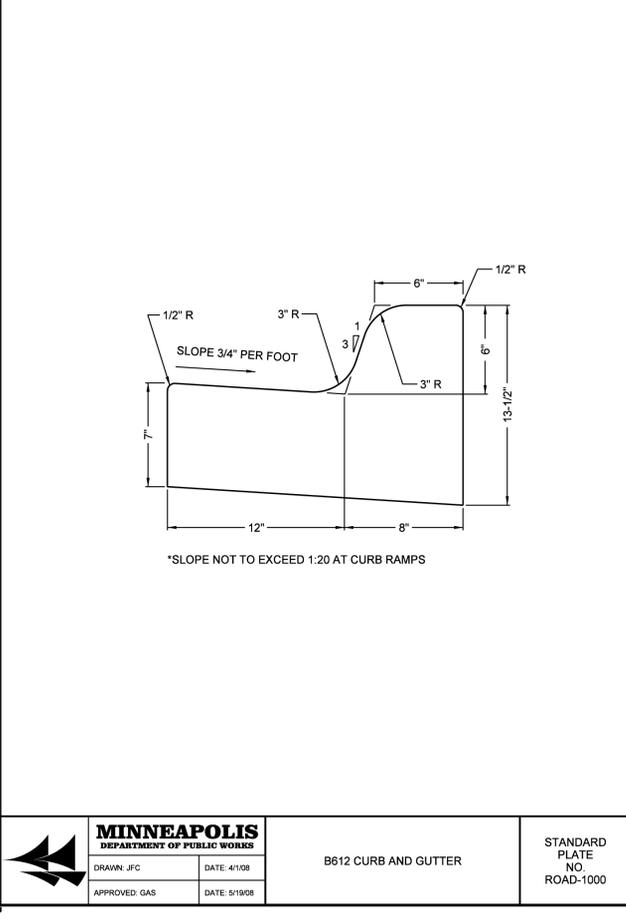
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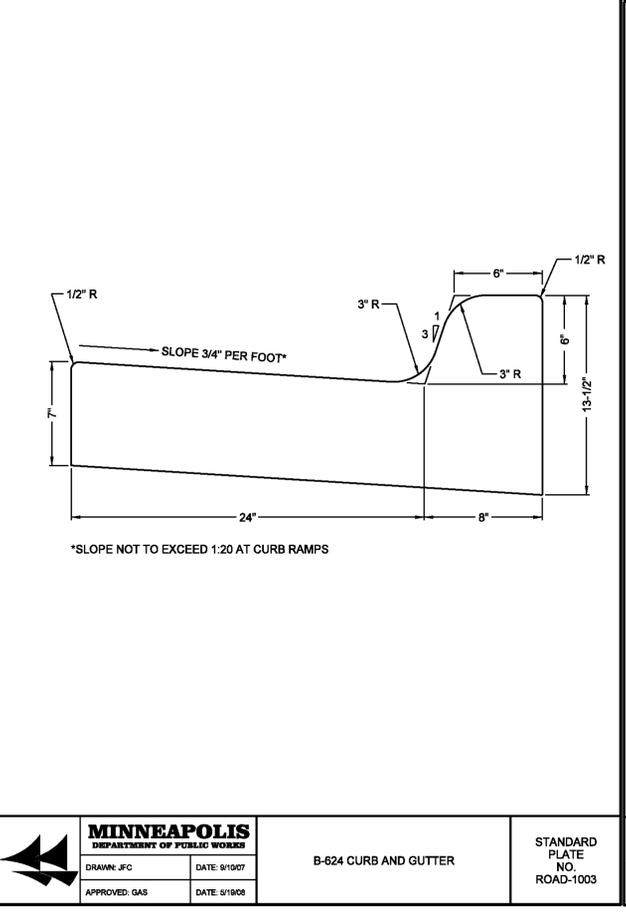
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APPROVED: GAS	DATE: 9/19/08		



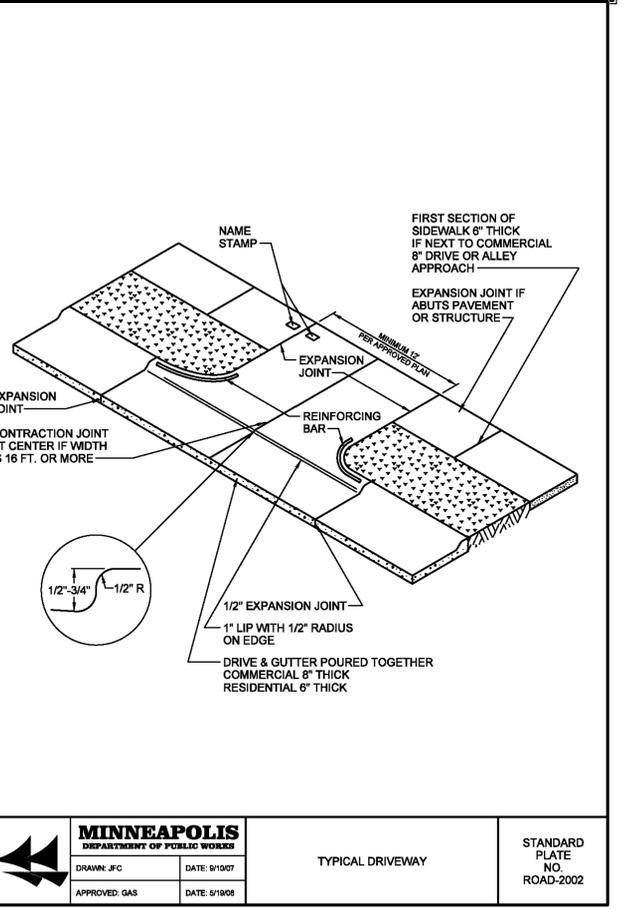
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DRAWN: JFC	DATE: 4/1/08		
APPROVED: GAS	DATE: 5/19/08		



MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS		B-624 CURB AND GUTTER	STANDARD PLATE NO. ROAD-1003
DRAWN: JFC	DATE: 9/10/07		
APPROVED: GAS	DATE: 9/19/08		



MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS		TYPICAL DRIVEWAY	STANDARD PLATE NO. ROAD-2002
DRAWN: JFC	DATE: 9/10/07		
APPROVED: GAS	DATE: 9/19/08		



MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS		TYPICAL DRIVEWAY	STANDARD PLATE NO. ROAD-2002
DRAWN: JFC	DATE: 9/10/07		
APPROVED: GAS	DATE: 9/19/08		

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7510 Market Place Drive • Eden Prairie, MN 55344
952-928-0700 • 952-928-7806 fax

REVISIONS
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CIVIL DETAILS

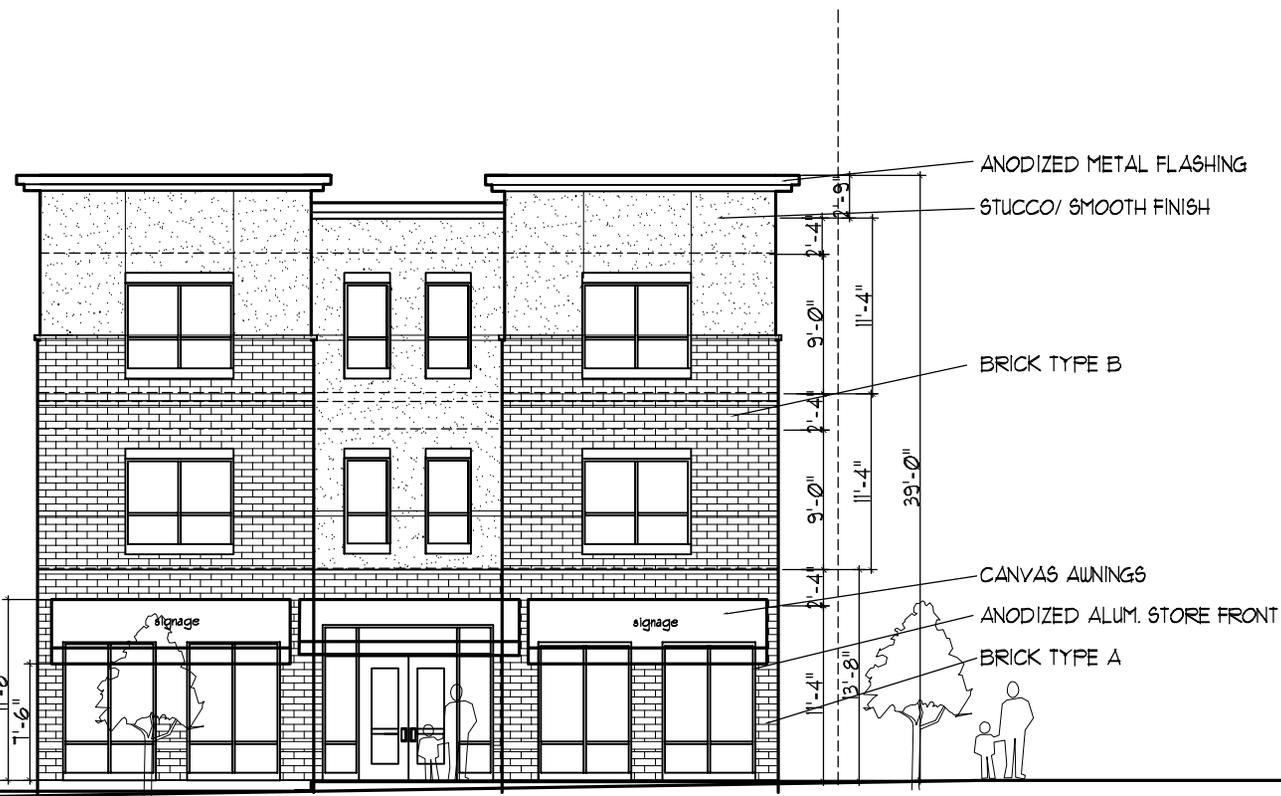
PRELIMINARY - NOT FOR CONSTRUCTION

LUP 5-20-14

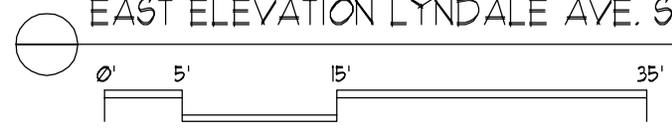
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CHECKED BY: CJH

5340 LYNDALE AVE. S.

C.3



EAST ELEVATION LYNDAL AVE. SIDE



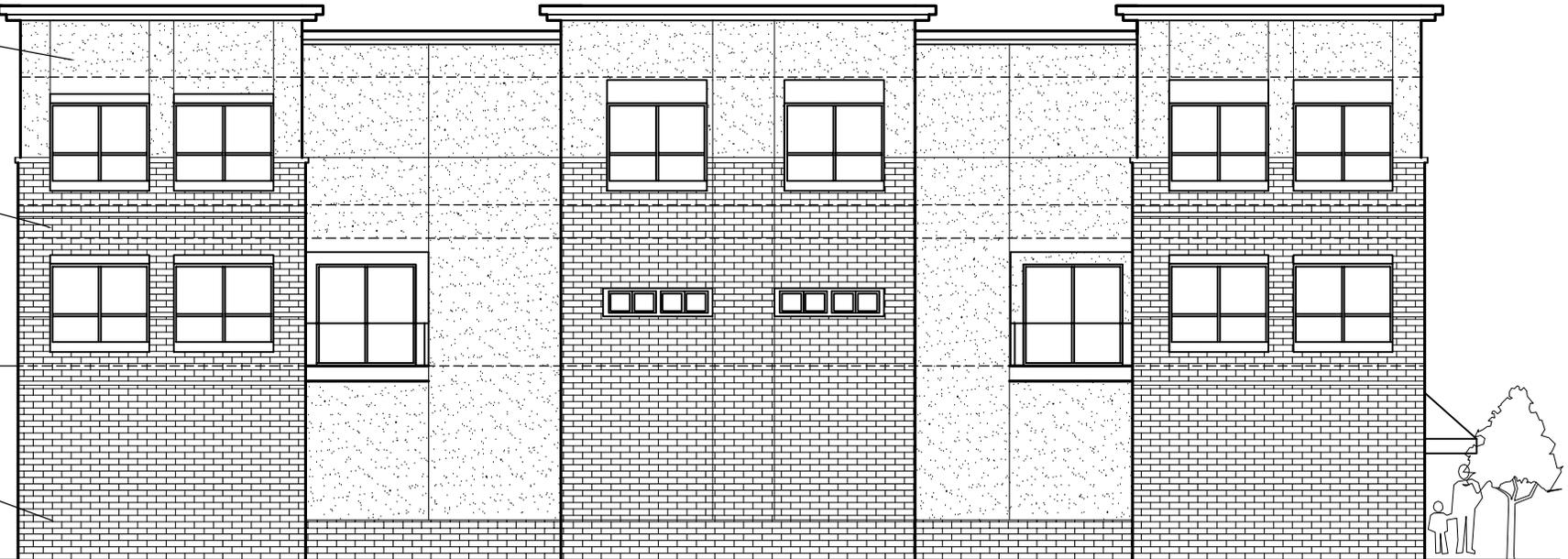
ANODIZED METAL FLASHING

STUCCO/ SMOOTH FINISH

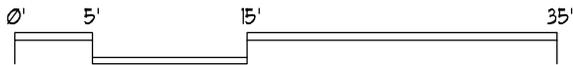
BRICK TYPE B

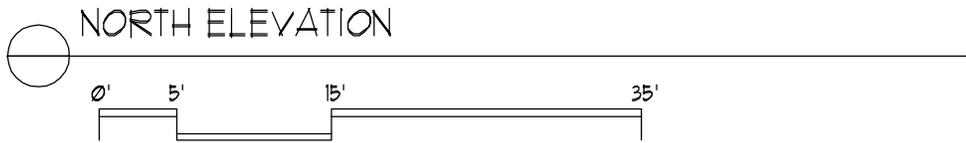
39'-0"

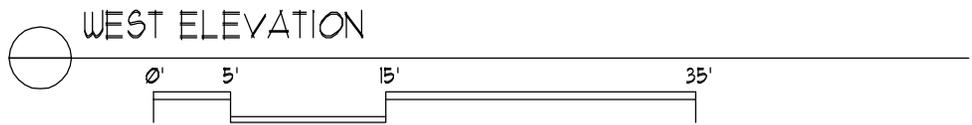
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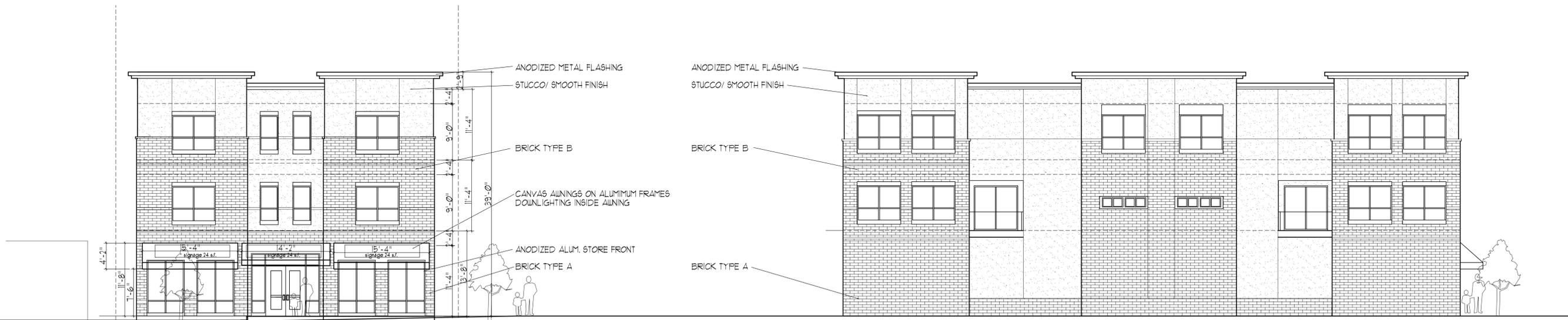


SOUTH ELEVATION









EAST ELEVATION LYNDALE AVE. SIDE
1/8"=1'-0"

SIGNAGE
PER ZONING CODE, 156F. OF SIGNAGE PER IL.F. OF PRIMARY BUILDING WALL IS ALLOWED, NO FREE STANDING SIGNS ARE PLANNED FOR THIS SITE.
48 L.F. FACADE X 15' = 12 SF. SIGNAGE ALLOWED. 12/3 AWNINGS = 24 SF. PER SIGN.

SOUTH ELEVATION
1/8"=1'-0"

BUILDING ROOF DRAINS FROM EAST TO WEST INTO EXISTING ALLEY



NORTH ELEVATION
1/8"=1'-0"



WEST ELEVATION
1/8"=1'-0"

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REVISIONS

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HELLIER DESIGN
9480 ASPEN CIRCLE 612-419-3012
EDEN PRAIRIE, MN 55347
HellierDesign@aol.com

REVISED: 8-25-13
LUP: 5-20-14
DRAWN BY: BGH
CHECKED BY: BGH

ELEVATIONS
5336 LYNDALE AVE. S.

A.4
93?? FILENAME

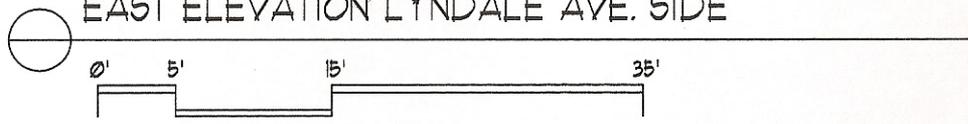


ANODIZED METAL FLASHING
 STUCCO/ SMOOTH FINISH

BRICK TYPE B

CANVAS AWNINGS
 ANODIZED ALUM. STORE FRONT
 BRICK TYPE A

EAST ELEVATION LYNDAL AVE. SIDE



ANODIZED METAL FLASHING

STUCCO/ SMOOTH FINISH

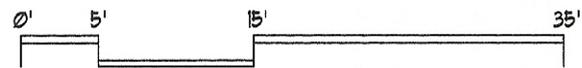
BRICK TYPE B

39'-0"

BRICK TYPE A

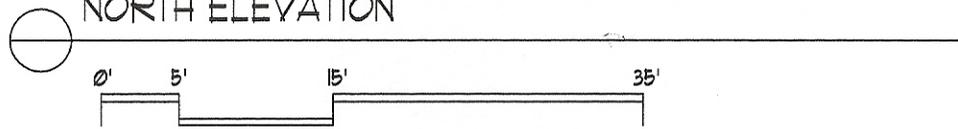


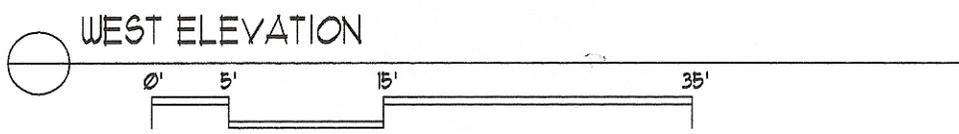
SOUTH ELEVATION





NORTH ELEVATION









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MUST
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Beek's

LAKE

Minneapolis Community Clinic



3rd St

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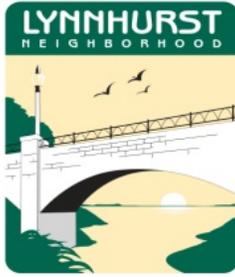
ch Ave

Lyndale Ave

Garfield Ave

22





June 13, 2014

Mei-Ling Anderson
City Planner
City of Minneapolis
250 South 4th Street, Room 300
Minneapolis, MN 55415

Re: variance requests and site plan review for 5336 Lyndale Ave S

Dear Planner Anderson,

Lynnhurst Neighborhood Association (LYNAS) has considered the zoning and variance requests from Bill Graham for the property located at 5336 Lyndale Ave S. We make the following recommendations:

LYNAS does not oppose the variance request to reduce the north interior side yard setback from 9 feet to 4 feet.

LYNAS does not oppose the variance request to reduce the south interior side year setback from 9 feet to 3.5 feet.

LYNAS does not oppose the Site Plan review for a new three-story, approximately 14,163 square foot building with four residential units.

Please do not hesitate to contact me should you have any questions or concerns.

Sincerely,

A handwritten signature in black ink that reads "Jessica Reinhardt". The signature is written in a cursive, flowing style.

Jessica Reinhardt
President, Lynnhurst Neighborhood Association